



# REPORT TO MAYOR AND COUNCIL

<b>PRESENTED:</b>	JUNE 29, 2015 - REGULAR EVENING MEETING	<b>REPORT:</b>	15-76
<b>FROM:</b>	COMMUNITY DEVELOPMENT DIVISION	<b>FILE:</b>	08-23-0125
<b>SUBJECT:</b>	REZONING APPLICATION NO. 100432 DEVELOPMENT PERMIT APPLICATION NO. 100769 (QC HOLDINGS LTD. / 20700 BLOCK WILLOUGHBY TOWN CENTRE DRIVE)		

**PROPOSAL:**

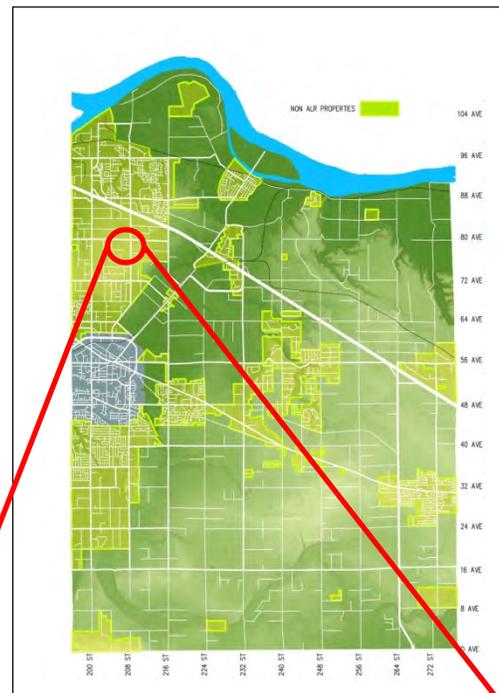
Rezoning application to amend Comprehensive Development Zone CD-89 (B) and Development Permit application to facilitate a two-storey commercial development on 0.72 ha (1.78 ac) of land located on the north side of Willoughby Town Centre Drive between 206A Street and 208 Street.

**RECOMMENDATION SUMMARY:**

That Council give first and second reading to Bylaw No. 5160 subject to four (4) development prerequisites being completed prior to final reading; issuance of Development Permit No. 100769 subject to eight (8) conditions, noting six (6) building permit conditions; and that staff be authorized to schedule the required Public Hearing.

**RATIONALE:**

The proposed development meets the intent of the Development Permit Area provisions of the Willoughby Community Plan, and complies with the land use provisions of the Yorkson Neighborhood Plan.



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### RECOMMENDATIONS:

**That** Council give first and second reading to Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (QC Holdings Ltd.) Bylaw 2015 No. 5160 to amend Comprehensive Development Zone CD-89(B) to facilitate a two-storey commercial development located at the 20700 block of Willoughby Town Centre Drive, subject to the following development prerequisites being satisfied prior to final reading:

1. Registration of a restrictive covenant securing 72 residential units on Lot 1 Plan 22305 and Lot 3 Plan BCP50948 within the Willoughby Town Centre to the acceptance of the Township;
2. Provision of a revised Child Friendly Amenity Area Master Plan for the Willoughby Town Centre to the acceptance of the Township;
3. Compliance with the requirements of the Yorkson Greenway Amenity Zoning Policy including payment of applicable Yorkson amenity fee; and,
4. Payment of applicable Neighbourhood Planning Administration fees, supplemental Rezoning fees, Site Servicing Review fee, ISDC review fee, Development Works Agreement (DWA) and Latecomer charges;

**That** Council at the time of final reading of Rezoning Bylaw No. 5160 authorize the issuance of Development Permit No. 100769 for the proposed development subject to the following conditions:

- a. Building plans being in substantial compliance with Schedules "A" through "P";
- b. Section 107 of the Township's Zoning Bylaw being varied to accommodate the 170 parking spaces proposed through a 10% reduction in the required parking and authorization to include the parking spaces fronting the site on Willoughby Town Centre Drive and 206A Street in the total on-site parking count as per the Yorkson Neighbourhood Plan;
- c. On-site landscaping plans being in substantial compliance with Schedules "Q" through "U" including an art feature, and in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection) and the Township's Street Trees and Boulevard Planting Policy, to the acceptance of the Township;
- d. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
- e. Payment of a non-refundable deposit for the replacement trees that are not provided on the subject site;
- f. Signage being in substantial compliance with Schedules "G" through "L" and "P" and the Township's Sign Bylaw;
- g. Refuse areas being located in a screened enclosure in compliance with Schedule "N"; and,
- h. Rooftop mechanical equipment being screened from view from adjacent properties and roads with compatible architectural treatments in compliance with Schedule "N".

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

- a. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township's Exterior Lighting Impact Policy to the acceptance of the Township;
- b. Security of Highways Use Permits for all canopies and signage that project over municipal road dedications;
- c. Security of on-site landscaping by letter of credit at Building Permit stage;

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- d. Written confirmation from the owner and Landscape Architect or Arborist that tree protection fencing identified in the Tree Management Plan is in place;
- e. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township; and,
- f. Payment of supplemental Development Permit application fees, Development Cost Charges, and Building Permit Administration Fees; and further

**That** Council authorize staff to schedule the required Public Hearing for Rezoning Bylaw No. 5160 in conjunction with the hearing for proposed Development Permit No. 100769.

**EXECUTIVE SUMMARY:**

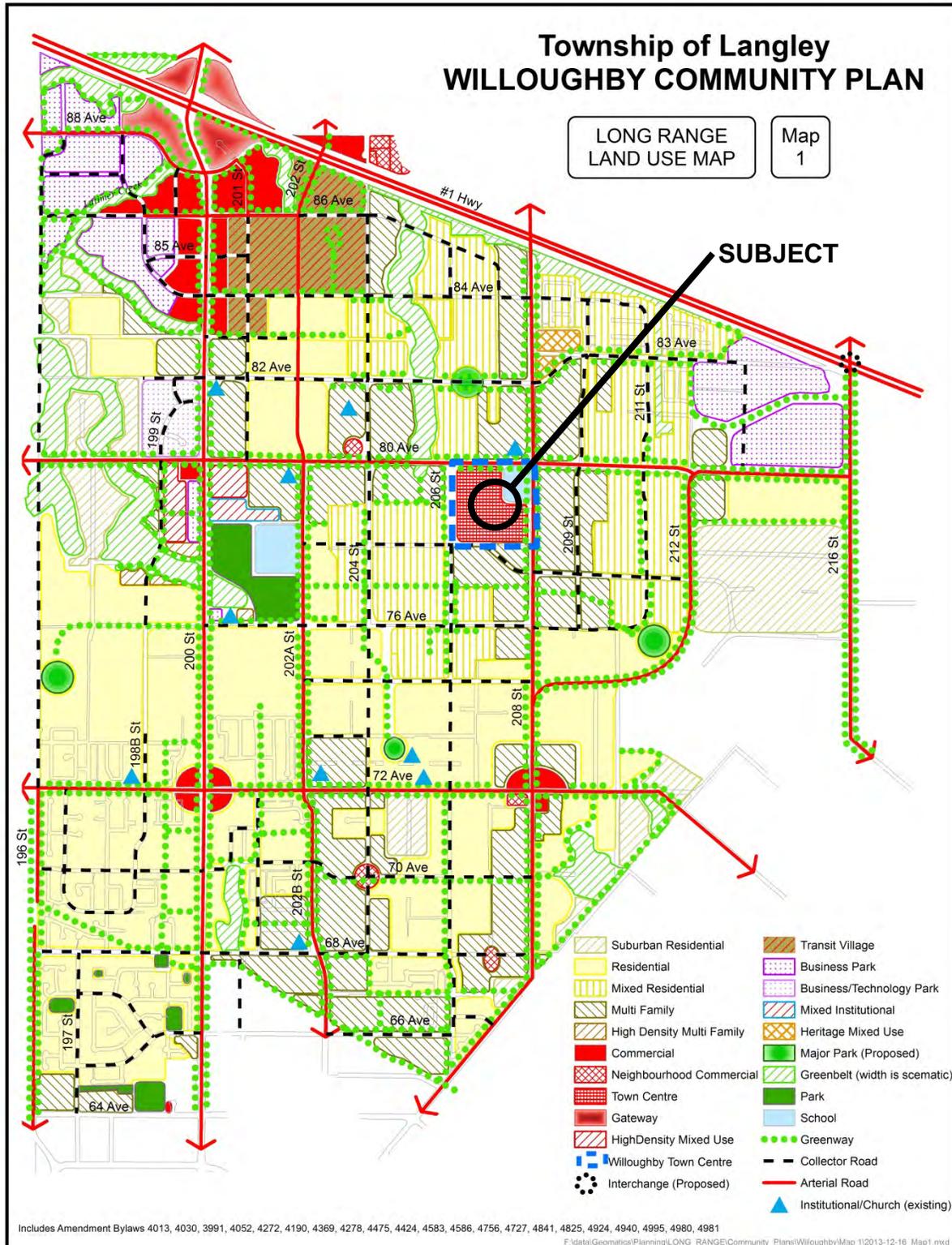
QC Holdings Ltd. has applied to amend Comprehensive Development Zone CD-89(B) to remove the minimum residential density requirement. The proposed amendment will facilitate development of a two-storey commercial development on 0.72 ha (1.78 ac) of land located on the north side of the 20700 block of Willoughby Town Centre Drive. The applicant proposes to provide the required residential units on adjacent parcels in the Willoughby Town Centre at time of future development of those lots. A Development Permit is proposed in conjunction with the rezoning application to provide Council the opportunity to review the form, character and siting of the development.

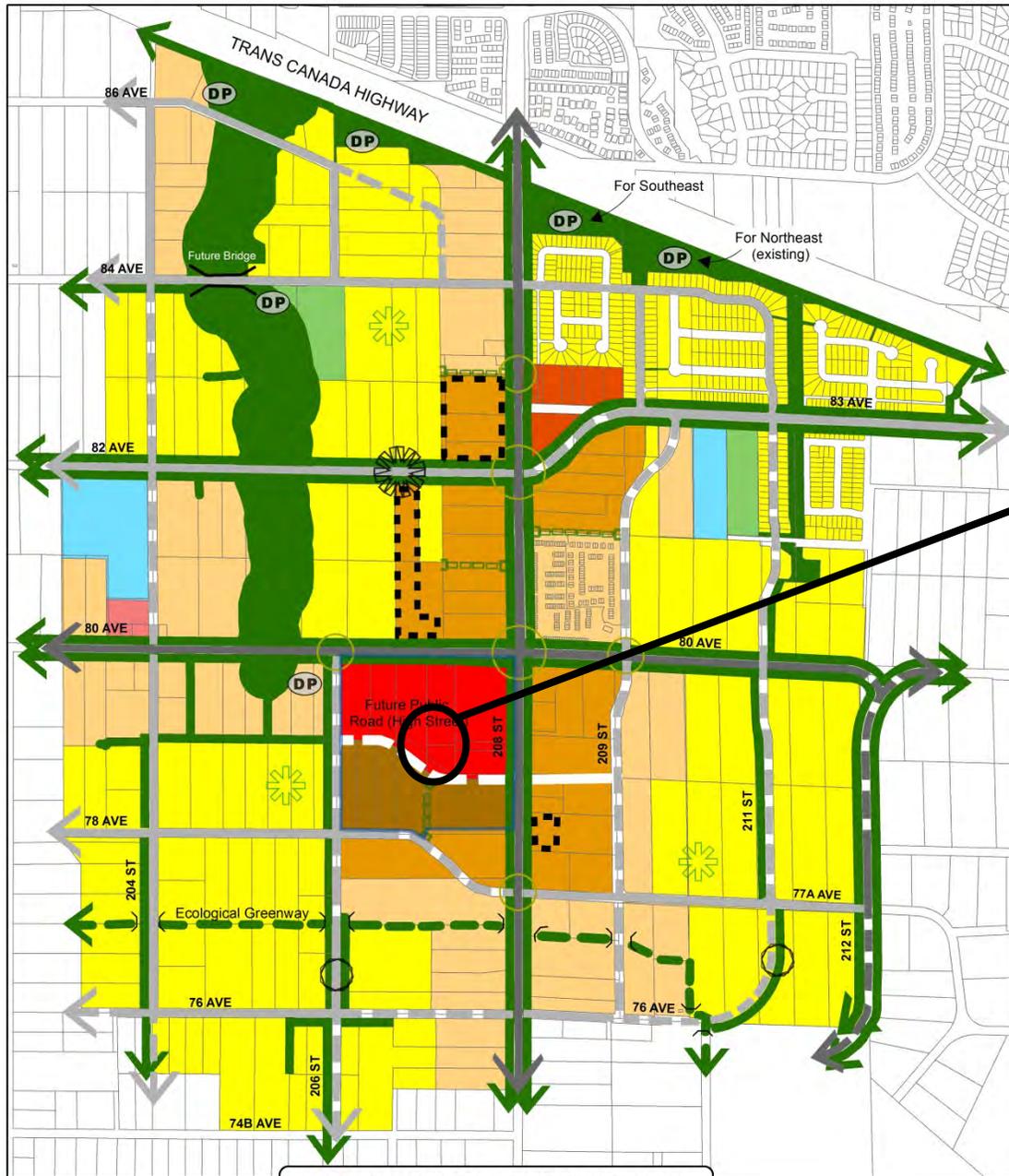
The development proposal complies with the provisions of the Willoughby Community Plan and Yorkson Neighbourhood Plan and the intent of the development permit area provisions of the Willoughby Community Plan. Final reading of the rezoning bylaw is contingent upon completion of the four (4) development prerequisites outlined in this report.

**PURPOSE:**

The purpose of this report is to advise and make recommendations to Council with respect to Rezoning Bylaw No. 5160 and Development Permit No. 100769 in the Yorkson neighbourhood of Willoughby.

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SUBJECT

YORKSON NEIGHBOURHOOD PLAN  
 MAP 1 - LAND USE CONCEPT

- |   |   |  |
|---|---|--|
| <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: red; margin-right: 5px;"></span> Town Market Commercial</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: brown; margin-right: 5px;"></span> Town Market Mixed Use</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: orange; margin-right: 5px;"></span> Mixed Use</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: pink; margin-right: 5px;"></span> Neighbourhood Commercial</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightorange; margin-right: 5px;"></span> Apartment</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: yellow; margin-right: 5px;"></span> Townhouse</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightyellow; margin-right: 5px;"></span> Mixed Residential</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: lightblue; margin-right: 5px;"></span> Institutional</li> <li><span style="display: inline-block; width: 15px; height: 10px; background-color: green; margin-right: 5px;"></span> Park</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; width: 15px; border-bottom: 2px solid green; margin-right: 5px;"></span> Greenway</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dashed green; margin-right: 5px;"></span> Greenlink and Commons</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px solid blue; margin-right: 5px;"></span> Willoughby Town Centre</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px solid grey; margin-right: 5px;"></span> Arterial Road</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dashed grey; margin-right: 5px;"></span> Collector Road</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dashed black; margin-right: 5px;"></span> Wildlife Tunnel</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dashed black; margin-right: 5px;"></span> Gateways</li> <li><span style="display: inline-block; width: 15px; border-bottom: 2px dashed black; margin-right: 5px;"></span> Permitted Maximum Building Height of 6 storeys</li> </ul> | <ul style="list-style-type: none"> <li><span style="display: inline-block; border: 1px solid black; border-radius: 50%; padding: 2px; margin-right: 5px;">DP</span> There is need for detention ponds to service development. The size, location and design of each site is yet to be determined.</li> <li><span style="display: inline-block; border: 1px solid black; border-radius: 50%; padding: 2px; margin-right: 5px;">[Sun Symbol]</span> There is need for a Community Park and Secondary School to serve Yorkson. The size, location and design of each site is yet to be determined.</li> <li><span style="display: inline-block; border: 1px solid black; border-radius: 50%; padding: 2px; margin-right: 5px;">[Star Symbol]</span> There is need for a Neighbourhood Park and Elementary School to serve this quadrant of Yorkson. The location and design of each site is yet to be determined.</li> <li><span style="display: inline-block; border: 1px solid black; border-radius: 50%; padding: 2px; margin-right: 5px;">[Circle Symbol]</span> There is need for a Pocket Patch to serve this quadrant of Yorkson. The location and design of each site is yet to be determined.</li> </ul> |
|---|---|--|



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PERSPECTIVE 1 LOOKING NORTH-EAST



KEY PLAN  
SCALE: NTS



PERSPECTIVE 2 LOOKING EAST

**RENDERINGS – SUBMITTED BY APPLICANT**

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PERSPECTIVE 3 LOOKING WEST



PERSPECTIVE 4 LOOKING NORTH

RENDERINGS – SUBMITTED BY APPLICANT

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**PARCEL 2 STATISTICS:**

SITE AREA 77,679.2 ft<sup>2</sup> 7,216.63 m<sup>2</sup>  
 LOT COVERAGE 51,467.9 ft<sup>2</sup> 4,781.52 m<sup>2</sup> (66%)  
 LEGAL ADDRESS LOT 2 SECTION 23 TOWNSHIP 8 NEW  
 WESTMINSTER DISTRICT PLAN BCP 50948

**BUILDING GROSS AREA:**  
 CRU A 11,811.2 ft<sup>2</sup> 1,097.3 m<sup>2</sup>  
 CRU B 13,133.2 ft<sup>2</sup> 1,220.1 m<sup>2</sup>  
 CRU C 10,126.9 ft<sup>2</sup> 940.8 m<sup>2</sup>  
 CRU D 6,545.7 ft<sup>2</sup> 617.4 m<sup>2</sup>  
 TOTAL 41,717.0 ft<sup>2</sup> 3,875.6 m<sup>2</sup>

**PARKING REQUIRED:**  
 CRU A RETAIL: 1 STALL PER 20 m<sup>2</sup> = 1,097.3 m<sup>2</sup> / 20 m<sup>2</sup> = 54.86  
 CRU B RETAIL: 1 STALL PER 20 m<sup>2</sup> = 1,220.1 m<sup>2</sup> / 20 m<sup>2</sup> = 61.00  
 CRU C OFFICE: 1 STALL PER 28 m<sup>2</sup> = 940.8 m<sup>2</sup> / 28 m<sup>2</sup> = 33.60  
 CRU D OFFICE: 1 STALL PER 28 m<sup>2</sup> = 617.4 m<sup>2</sup> / 28 m<sup>2</sup> = 22.05  
 TOTAL PARKING REQUIRED: 171.51

**PARKING PROVIDED:**  
 ON GRADE 83 STALLS  
 DECK 57 STALLS  
 STREET 33 STALLS  
 TOTAL 173 STALLS

**LOADING PROVIDED:**  
 2 STALLS (3 m x 9.25 m)

**SITE PLAN – SUBMITTED BY APPLICANT**

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**REFERENCE:**

<b>Owner / Applicant:</b>	QC Holdings Ltd. 310 - 5620 - 152 Street Surrey, BC V3S 3K2
<b>Legal Description:</b>	Lot 2 Section 23 Township 8 New Westminster District Plan BCP50948
<b>Location:</b>	20700 block of Willoughby Town Centre Drive
<b>Area:</b>	0.72 ha (1.78 ac)
<b>Existing Zoning:</b>	Comprehensive Development Zone CD-89(B)
<b>Proposed Zoning:</b>	Amended Comprehensive Development Zone CD-89(B)
<b>Willoughby Community Plan:</b>	Town Centre
<b>Yorkson Neighbourhood Plan:</b>	Town Market Commercial

**BACKGROUND/HISTORY:**

The subject property is designated Town Market Commercial in the Yorkson Neighbourhood Plan and zoned Comprehensive Development Zone CD-89(B). In 2011, the subject property and various adjacent properties were rezoned by QC Holdings Ltd. to Comprehensive Development Zone CD-89. The rezoning was intended to “jump-start” development of the Willoughby Town Centre.

As stated in the July 20, 2009 rezoning report to Council, the zoning anticipated construction of “seven mixed commercial / residential buildings consisting of retail units at grade with three stories of residential above”. The mixed use buildings were proposed to front Willoughby Town Centre Drive and, in future phases, 206A Street. The applicant proposes to amend the Comprehensive Development CD-89(B) zone to allow construction of commercial space without the originally proposed residential component. The applicant asserts that there is currently not enough commercial space to meet demand and that there is no current demand for apartment residential in the Willoughby Town Centre. The subject property is currently vacant.

**DISCUSSION/ANALYSIS:**

QC Holdings Ltd. has applied to amend Comprehensive Development Zone CD-89(B) to remove the requirement for a minimum residential density. The proposed amendment will facilitate the development of a two-storey commercial development (without any residential units) on 0.72 ha (1.78 ac) of land located at the 20700 block of Willoughby Town Centre Drive. A Development Permit is being proposed in conjunction with the rezoning application to provide Council the opportunity to review the form, character and siting of the development.

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**Adjacent Uses:**

North: Vacant land zoned Comprehensive Development Zone CD-89(E) and a suburban residential use zoned Suburban Residential Zone SR-2 both designated Town Market Commercial in the Yorkson Neighbourhood Plan;

South: Willoughby Town Centre Drive beyond which are commercial uses zoned Comprehensive Development Zone CD-89(A) designated Town Market Mixed Use in the Yorkson Neighbourhood Plan;

East: Vacant land zoned Comprehensive Development Zone CD-89(C) and a suburban residential use zoned Suburban Residential Zone SR-2 both designated Town Market Commercial in the Yorkson Neighbourhood Plan; and

West: Willoughby Town Centre Drive, beyond which are commercial uses zoned Comprehensive Development Zone CD-89(A) designated Town Market Mixed Use in the Yorkson Neighbourhood Plan and 206A Street, beyond which is vacant land zoned Suburban Residential Zone SR-2 designated Town Market Commercial in the Yorkson Neighbourhood Plan.

**Yorkson Neighbourhood Plan:**

The subject site is designated Town Market Commercial in the Yorkson Neighbourhood Plan. Section 4.2.2.1 of the Yorkson Neighbourhood Plan states the following regarding the Town Market Commercial area:

*The Town Market area at 208 Street and 80 Avenue shall be designed as the major commercial centre for the Willoughby community with a grocery store, entertainment (including neighbourhood pub), drug store, financial institution and other commercial retail and office uses.*

Furthermore, as stated in Section 4.2.2.4 of the Yorkson Neighbourhood Plan:

*Commercial uses shall occupy the ground floor of buildings in the Town Market area, with commercial or residential uses on upper floors.*

Given that Section 4.2.2.4 provides the option of developing commercial or residential uses on upper floors, the subject rezoning application (which deletes the requirement for residential uses in CD-89(B)) is considered to be consistent with the provisions of the Yorkson Neighbourhood Plan.

**Zoning Bylaw:**

Rezoning Bylaw No. 5160 proposes to amend Comprehensive Development Zone CD-89(B) to remove the requirement for a residential density. As the subject property is the only property in the Township of Langley zoned Comprehensive Development Zone CD-89(B), the proposed Zoning Bylaw amendment only affects the subject property.

Section 4.1 of the Yorkson Neighbourhood Plan describes the Willoughby Town Centre as a vibrant 'village' core with controlled uses and heights while providing significant supportive uses and residential densities on the periphery. Staff notes that achieving residential densities is necessary to support the vitality of the commercial core.

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At time of original rezoning, the applicant proposed mixed use buildings fronting Willoughby Town Centre Drive to meet the objectives of the land use plan. To ensure that the goals of the land use plan continue to be met in the revised form and through the proposed rezoning, the applicant proposes to provide the minimum residential units currently required on the subject site (72 units) on two (2) nearby sites (also owned by the applicant).

20650 – 80 Avenue (Lot 1 Plan 22305) northwest of the subject site across 206A Street and Lot 3 Plan BCP50948 north of the subject site (highlighted in blue on the Zoning Bylaw No. 2500 map on page 6 of this report) are proposed to receive the 72 units in addition to the base residential units required on those lots. Lot 3 Plan BCP50948 is currently zoned CD-89(E) with a base residential unit requirement of 65 units (if low rise form) or 129 units (if mid-rise form).

20650 – 80 Avenue is currently under application to amend the Yorkson Neighbourhood Plan and rezone to allow development of the site with two single storey commercial buildings and a 5 storey residential apartment building. The Yorkson Neighbourhood Plan Town Market Commercial land use designation requires commercial uses on the ground floor of all buildings and does not allow mixed uses in separate buildings. As a result, the base density required on 20650 – 80 Avenue has not been resolved. The applicant proposes to register a restrictive covenant on each lot requiring the provision of the 72 units required on the subject site in addition to the base residential density required on 20650 – 80 Avenue (Lot 1 Plan 22305) and on Lot 3 Plan BCP50948. The restrictive covenant is required as a condition of rezoning.

The provisions of CD-89(B) as amended accommodate the proposed two-storey commercial development.

#### **Development Permit:**

The Yorkson Neighbourhood Plan area is designated as a mandatory Development Permit area in the Willoughby Community Plan. The subject site is located in “Development Permit Area ‘J’ – Town Market Commercial” which establishes objectives and guidelines for the form and character of commercial and residential development. The primary objective of the development permit area designation is to encourage the development of a pedestrian oriented commercial and residential community centre.

This Development Permit proposal is the third phase of development in the overall Willoughby Town Centre. The project is comprised of two (2) two-storey commercial buildings connected by structured parking in the rear. The building site is located north of Willoughby Town Centre Drive between 206A Street in the west and a north/south Greenlink (similar to a public Greenway but owned and maintained privately with full public access provided by legal right of way) to the east. In accordance with Council’s policy, supporting materials have been provided detailing the development’s form, character and siting. Proposed Development Permit No. 100769 is attached to this report (see Attachment A).

The site has been designed with ground floor commercial units fronting Willoughby Town Centre Drive and 206A Street. Commercial units on the second storey can be accessed from a parking structure behind the building or a stairwell connecting the second storey to Willoughby Town Centre Drive. A plaza area is provided at the base of the stairs between the two buildings and is highlighted by a clock tower. The off-street parking is located behind the buildings, either on the surface or on the second-storey parking structure. A total of 22 commercial units are currently proposed with a total gross floor area of 3,876 m<sup>2</sup> (41,717 ft<sup>2</sup>).

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Both buildings are designed to look and function like multiple storefronts, with individual unit entries on the ground floor provided from the public street. The storefronts create a pedestrian oriented streetscape through the incorporation of a variety of materials and colours, canopies providing weather protection, building articulation and hanging signage. The buildings also incorporate staggering in plan and roofline variation to provide additional visual interest and to highlight the architectural features of the buildings. These features complement the pedestrian realm created by the Greenlink and the comprehensive design of Willoughby Town Centre Drive, and improve the pedestrian experience.

The Development Permit area guidelines encourage applicants to incorporate green building elements such as green roofs, biolungs and green walls. The proposed site and building design incorporates green screens on the north side of the parking structure and along the west side of the Greenlink, as well as landscaping on the second storey parking deck and patios.

The applicant's design rationale (Attachment C) states the following:

*“The frontages along the High Street are subdivided into a series of interesting storefronts to serve a variety of stores including restaurants, cafes and other ground-oriented tenants. These are further enriched by a wide variety of architectural treatments and quality materials of varying colour and textures to add to the animation and contribute to the experience of the pedestrian realm. The exterior has been articulated to maximize the difference in materials, window treatment, degrees of setback and shading and signage to reinforce a character of individual storefronts.”*

*“The corner of Willoughby Town Centre Drive and 206A Street is acknowledged and highlighted by the tallest tower/parapet element along both facades. The tower is further emphasized with a large overhanging roof and soffit that is finished with decorative wood beams. It is very much a feature piece. At the corner of Willoughby Town Centre Drive and the green link, we have created a similar corner tower element incorporating the same tower/parapet feature element with extended roof and soffit overhangs that wrap around the corner to acknowledge and emphasize the building at this intersection.”*

*“A breezeway plaza at the center of the development creates a welcoming public place and a vibrant area of activity. With parking located on the second level, the central stair and elevation will become natural focal points for activity going up to and down from the second level. The plaza is highlighted with hard and soft landscaping and seating furniture. In addition, a unique clock tower feature will highlight the plaza and create an important focal point for the overall development.”*

*“The upper parking deck will be landscaped with tree planters to create shaded areas on the deck. Landscaped patios will also be provided on the east and north ends and will feature extensive planting within raised planters. The second floor end tenants are anticipated to be a daycare and office-type tenancies on the north end and fitness centre on the east end. A high albedo roof will be provided in the flat roof areas to mitigate urban heat island.”*

As conditions of the Development Permit, refuse areas are required to be located in a screened enclosure (see Attachment A – Schedule N) and rooftop mechanical equipment must be screened with compatible architectural treatments (see Attachment A – Schedule N).

The proposed height (2 storeys), lot coverage (66%), and siting comply with the provisions of the CD-89(B) zone as amended. The development in staff’s opinion meets the objectives of the applicable Development Permit guidelines (Attachment B).

**Signage:**

Fascia and blade signage are proposed for the ground floor units below the canopies as shown on the building elevations. Details have been provided for typical fascia and blade signage as shown in Schedule P to the Development Permit. The second-storey units are each proposed to have one fascia sign on the Willoughby Town Centre Drive or 206A Street side of the building. Window signage is limited to ensure that visibility is maintained into the commercial units and to reduce visual clutter. Signage details are included in the Development Permit (Schedules G through L and P) and signs are also required to comply with the Township’s Sign Bylaw.

**Access and Parking:**

Vehicular access to the development will be provided via one (1) driveway each from the rights-of-way north and east of the subject site. Two loading bays are accommodated behind the building and screened in the structured parking and by the green screen.

Section 4.2.2.8 of the Yorkson Neighbourhood Plan stipulates that no more than 50% of the required parking in the Town Market area shall be provided above ground, with remaining parking to be provided underground or as part of the building structure. In return for meeting these requirements, the Plan provides for a 10% reduction in overall parking requirements. Section 4.2.2.8 also allows on-street parking spaces on Willoughby Town Centre Drive and 206A Street to be counted towards the off-street parking requirements for fronting developments.

Based on these provisions, 170 parking spaces are required for the proposed development. The applicant is providing 140 parking spaces on the site (at ground level in a surface parking area and in a parking structure to the north of the two proposed buildings, and on an upper parking deck). Thirty-three (33) parking spaces are provided on Willoughby Town Centre Drive and 206A Street fronting the development site, resulting in a total of 173 parking spaces for the development.

The 10% reduction in overall parking requirements permitted in section 4.2.2.8 of the Yorkson NP is being accommodated through a variance to the Zoning Bylaw’s parking requirements. This variance is incorporated into Development Permit No. 100769. The parking proposed is summarized in the following table:

	<b>Parking Spaces Required</b>	<b>Parking Spaces Provided</b>
Retail (1 space per 20 m <sup>2</sup> ) (3786.6 m <sup>2</sup> gross floor area)	189	
10% reduction	- 18.9	
On-site parking spaces		140
On street parking spaces		33
<b>Total</b>	<b>170.1</b>	<b>173</b>

**Landscaping:**

The landscape plan (Attachment A – Schedules Q through U) proposes the planting of trees, shrubs and groundcovers on the north, west and east sides of the lot, in the plaza area between the buildings, on the patios at the ends of each building and in the surface and structured parking areas. Green screens are proposed on the north side of the building to soften the parkade adjacent to the right of way, and on the east side of the surface parking to screen the loading and parking from the right of way.

The applicant is proposing to install an art feature in the plaza area between the two buildings. Final approval of the landscape plans, including the art feature, by the Township is required as a condition of the Development Permit. The applicant had developed a comprehensive Child Friendly Amenity Area Master Plan for their projects in the Willoughby Town Centre. This plan is required to be updated as a condition of rezoning to reflect the amended zoning.

**Tree Protection/Replacement:**

Tree retention, protection and replacement plans were secured by the Township as part of the previous rezoning application and included 612 replacement trees for the Willoughby Town Centre. The applicant proposes to plant 76 trees on the site in keeping with Zoning Bylaw and Development Permit area requirements of which 66 meet the requirements for replacement trees under the Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection). As seven (7) of the replacement trees can be accommodated on the subject lot, a condition of the Development Permit is provision of a non-refundable deposit allowing those trees to be planted elsewhere in the Township. Staff notes that street trees and boulevard landscaping were installed as a condition of the overall rezoning and subdivision applications.

**Exterior Lighting:**

As the subject site is located within 150 metres of land zoned for residential purposes, compliance with the Township's Exterior Lighting Impact Policy is required. A condition of the building permit is acceptance of an Exterior Lighting Impact Plan by the Township.

**Servicing:**

Full municipal services were secured through the previous rezoning and subdivision applications. A condition of development is construction of the rights-of-way on the north and east sides of the site to the acceptance of the Township. At the building permit stage, the applicant will be required to submit a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township.

**Environmental Considerations:**

The Township's Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township's Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Streamside Protection Bylaw, Erosion and Sediment Control Bylaw, and Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations. The provision of stormwater management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter.

REZONING APPLICATION NO. 100432  
 DEVELOPMENT PERMIT APPLICATION NO. 100769  
 (QC HOLDINGS LTD. / 20700 BLOCK WILLOUGHBY TOWN CENTRE DRIVE)  
 Page 16 . . .

**Transit:**

Transit has not yet been extended into the Yorkson neighbourhood. The road layout of the overall Yorkson development has, however, been designed to accommodate the provision of future transit routes in accordance with Translink's operating policy/procedures. Each year Translink provides Council with the opportunity to input/comment on transit routes in the Township. Initially, transit is expected to utilize the 208 Street corridor, 140 metres to the east of the subject site.

**Development Prerequisites:**

Prior to consideration of final reading of the rezoning bylaw, the following prerequisites must be completed:

1. Registration of a restrictive covenant securing 72 residential units on Lot 1 Plan 22305 and Lot 3 Plan BCP50948 within the Willoughby Town Centre to the acceptance of the Township;
2. Provision of a revised Child Friendly Amenity Area Master Plan for the Willoughby Town Centre to the acceptance of the Township;
3. Compliance with the requirements of the Yorkson Greenway Amenity Zoning Policy including payment of applicable Yorkson amenity fee; and,
4. Payment of applicable Neighbourhood Planning Administration fees, supplemental Rezoning fees, Site Servicing Review fee, ISDC review fee, Development Works Agreement (DWA) and Latecomer charges.

**POLICY CONSIDERATIONS:**

The proposed development is located in an area designated as Town Centre in the Willoughby Community Plan and Town Market Commercial in the Yorkson Neighbourhood Plan. The proposed development complies with the intent of the land use and development permit area provisions of these plans, and with the CD-89(B) as amended under the Township's Zoning Bylaw.

Staff recommend that Council give first and second reading to Bylaw No. 5160 (subject to four development prerequisites) and authorize issuance of the accompanying Development Permit No. 100769 (to be issued at time of final reading of the rezoning bylaw), and authorize staff to schedule the required Public Hearing.

Respectfully submitted,

Teresa Hanson  
 DEVELOPMENT PLANNER  
 for  
 COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A	Development Permit No.100769 text and Schedules A through U
ATTACHMENT B	Willoughby Community Plan – Development Permit Guidelines
ATTACHMENT C	Applicant's Design Rationale

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 100769

This Permit is issued this \_\_\_\_\_ day of \_\_\_\_\_ 2015 to:

1. Name: QC Holdings Ltd.

Address: 310 - 5620 - 152 Street  
Surrey, BC V3S 3K2

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Lot 2 Section 23 Township 8 New Westminster District  
Plan BCP50948

CIVIC ADDRESS: 20700 block of Willoughby Town Centre Drive

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:

- a. Building plans being in substantial compliance with Schedules "A" through "P";
- b. Section 107 of the Township's Zoning Bylaw being varied to accommodate the 170 parking spaces proposed through a 10% reduction in the required parking and authorization to include the parking spaces fronting the site on Willoughby Town Centre Drive and 206A Street in the total on-site parking count as per the Yorkson Neighbourhood Plan;
- c. On-site landscaping plans being in substantial compliance with Schedules "Q" through "U" including an art feature, and in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection) and the Township's Street Trees and Boulevard Planting Policy, to the acceptance of the Township;
- d. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
- e. Payment of a non-refundable deposit for the replacement trees that are not provided on the subject site;
- f. Signage being in substantial compliance with Schedules "G" through "L" and "P" and the Township's Sign Bylaw; and,
- g. Refuse areas being located in a screened enclosure in compliance with Schedule "N"; and,
- h. Rooftop mechanical equipment being screened from view from adjacent properties and roads with compatible architectural treatments in compliance with Schedule "N".

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

- a. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township's Exterior Lighting Impact Policy to the acceptance of the Township;

- b. Security of Highways Use Permits for all canopies and signage that project over municipal road dedications;
  - c. Security of on-site landscaping by letter of credit at Building Permit stage;
  - d. Written confirmation from the owner and Landscape Architect or Arborist that tree protection fencing identified in the Tree Management Plan is in place;
  - e. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township; and,
  - f. Payment of supplemental Development Permit application fees, Development Cost Charges, and Building Permit Administration Fees; and further,
4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Development Permit shall be substantially commenced within two years after the date the Development Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2015.

Attachments:

- SCHEDULE A      Rendering
- SCHEDULE B      Site Plan
- SCHEDULE C      Second Floor Plan
- SCHEDULE D      Roof Plan
- SCHEDULE E      CRU C Patio Option One
- SCHEDULE F      CRU C Patio Option Two
- SCHEDULE G      South Building Elevations
- SCHEDULE H      South Building Elevations
- SCHEDULE I      South Building Elevations
- SCHEDULE J      North Building Elevations
- SCHEDULE K      North Building Elevations
- SCHEDULE L      North Building Elevations
- SCHEDULE M      Building Sections
- SCHEDULE N      Garbage Enclosure and Rooftop Screen
- SCHEDULE O      Colour and Materials
- SCHEDULE P      Signage and Architectural Details
- SCHEDULE Q      Landscape Material Plan Ground Level

DEVELOPMENT PERMIT NO. DP100769

(QC Holdings Ltd.)

Page 3 . . .

SCHEDULE R	Landscape Material Plan Second Level
SCHEDULE S	Planting Plan Ground Level
SCHEDULE T	Planting Plan Second Level
SCHEDULE U	Landscape Sections and Details



# SCHEDULE A RENDERING



GALLOP, CROW & LJ

WILLOUGHBY  
TOWN CENTRE

208th STREET &  
80th AVENUE  
LANGLEY, BC

Parcel 2  
Site Plan

DATE: JUNE 17, 2016  
SCALE: 1:250  
PROJECT #: 806

A-1.2

**PARCEL 2 STATISTICS:**

SITE AREA: 37,693.9 sq. ft. 8,746.63 m<sup>2</sup>  
LOT COVERAGE: 51,487.9 sq. ft. 4,781.53 m<sup>2</sup> (86%)  
LEGAL ADDRESS: LOT 2 SECTION 23 TOWNSHIP 9 NEW  
WESTMINSTER DISTRICT PLAN BCP 50648

**BUILDING GROSS AREA:**  
CRU A 1,097.3 m<sup>2</sup>  
CRU B 13,133.2 m<sup>2</sup> 1,220.1 m<sup>2</sup>  
CRU C 10,296.9 m<sup>2</sup> 940.8 m<sup>2</sup>  
TOTAL 24,527.4 m<sup>2</sup> 2,261.1 m<sup>2</sup>

**PARKING REQUIRED:**  
CRU A RETAIL: 1 STALL PER 20 m<sup>2</sup> = 1,097.3 m<sup>2</sup> / 20 m<sup>2</sup> = 54.86  
CRU B RETAIL: 1 STALL PER 20 m<sup>2</sup> = 1,220.1 m<sup>2</sup> / 20 m<sup>2</sup> = 61.00  
CRU C OFFICE: 1 STALL PER 28 m<sup>2</sup> = 940.8 m<sup>2</sup> / 28 m<sup>2</sup> = 33.60  
TOTAL PARKING REQUIRED: 149 STALLS  
TOTAL PARKING PROVIDED: 173 STALLS

**PARKING PROVIDED:**  
ON GRADE: 85 STALLS  
UNDERGROUND: 88 STALLS  
TOTAL: 173 STALLS  
**LOADING PROVIDED:**  
2 STALLS (3 m x 8.25 m)



NOTE:  
POSSIBLE WALL LOCATIONS ARE  
SUBJECT TO CHANGE DUE TO LEASING.



SITE PLAN  
SCALE: 1:250

**SCHEDULE B  
SITE PLAN**

F.1





# SCHEDULE C SECOND FLOOR PLAN

 Chandler Associates  
Architects Inc.  
The Metro Building  
1901 - 3055, Sargent Street  
Vancouver, BC V6M 4G6  
Tel: 604.687.3300  
Fax: 604.687.3305  
www.chandlerassociates.com

GUALOGOROV & LI

**WILLOUGHBY  
TOWN CENTRE**

**2084H STREET &  
804H AVENUE  
LANGLEY, BC**

**Parcel 2  
Site Plan  
2nd LEVEL**

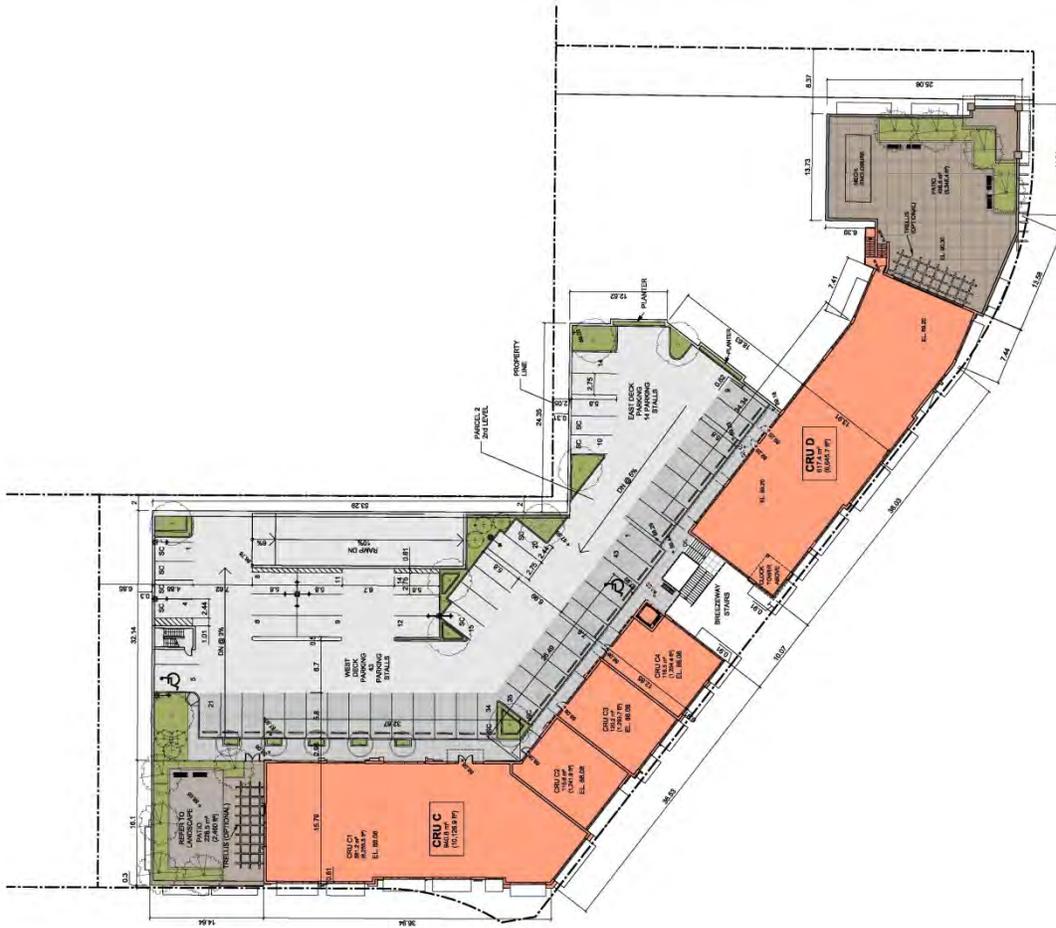
DATE: JUNE 15, 2015  
SCALE: 1:200  
PROJECT #: 0046

**A-1.3**

NOTE: DEMISING WALLS LOCATIONS ARE  
SUBJECT TO CHANGE DUE TO LEASING.



SITE PLAN  
SCALE: 1:200





# SCHEDULE D ROOF PLAN

**Chandler Associates**  
Architects Inc.  
The Metro Building  
100 - 1055 St. James Street  
Vancouver, BC V6C 2P8  
Tel: 604 683 2300  
Fax: 604 683 2305  
info@chandlerassociates.com

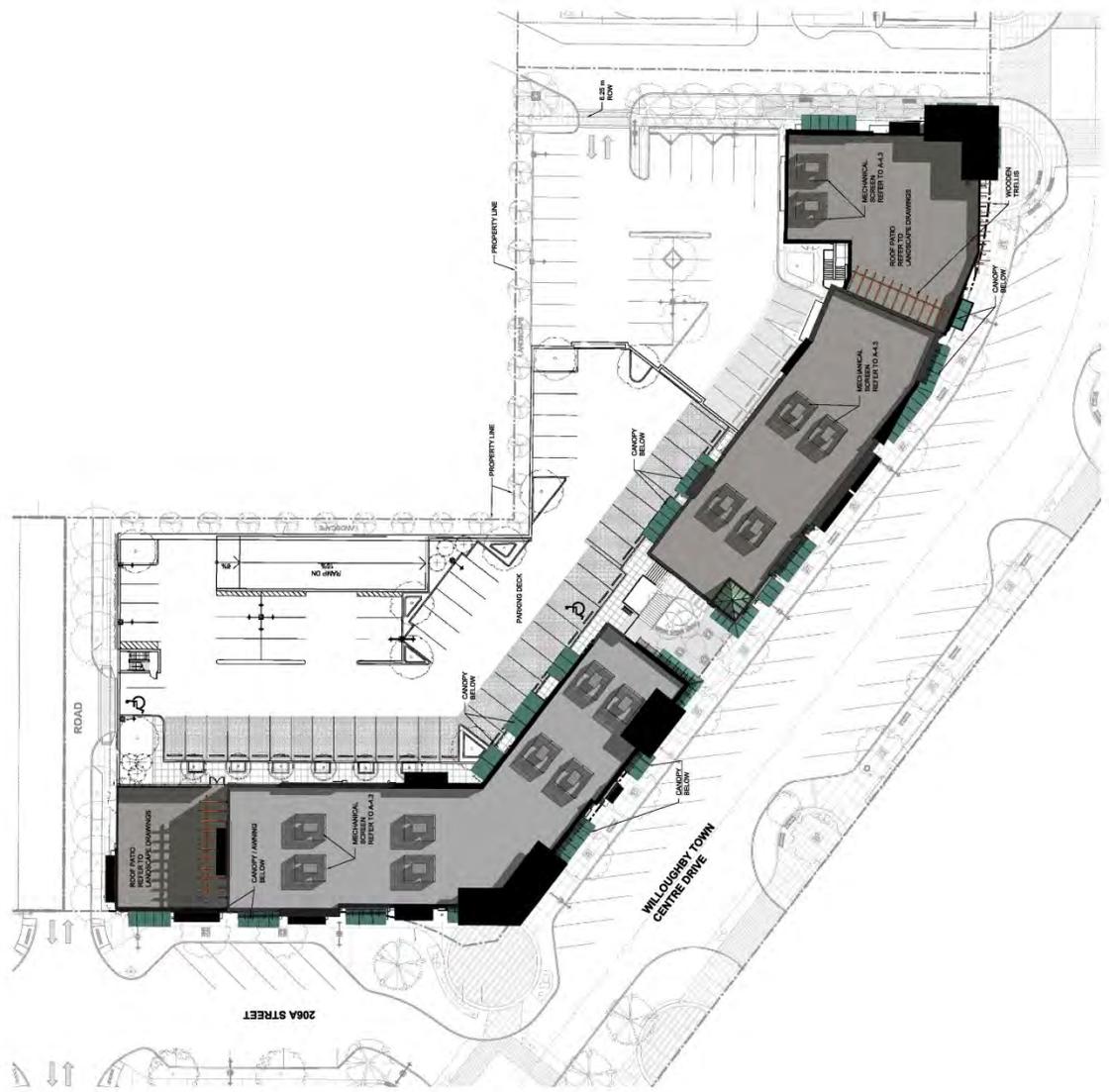
**QUALIFIED ROW & U**  
**WILLOUGHBY  
TOWN CENTRE**  
**208H STREET &  
80H AVENUE  
LANGLEY, BC**

**Parcel 2  
Roof Plan**

DATE: JUNE 12, 2015  
DRAWN BY: [unintelligible]  
PROJECT #:

**A-1.4**

  
ROOF PLAN  
SCALE: 1:250



# SCHEDULE E CRU C PATIO OPTION ONE

**Chandler Associates**  
Architectural Inc.  
The Market Building  
180 - 2055 St. James Street  
Vancouver, BC V6L 2S8  
Tel: 604 687 2000  
Fax: 604 687 2005  
www.chandlerassociates.com

**QUALICOCHOW & LU**  
**WILLOUGHBY TOWN CENTRE**  
208th STREET &  
80th AVENUE  
LANGLEY, BC

**Parcel 2  
2nd Level  
CRU C**

DATE: JUNE 15, 2016  
SCALE: AS NOTED  
PROJECT#: 6048

**A-2-3a**



NOTE: FINISH WALL CONDITIONS ARE SUBJECT TO CHANGE DUE TO LEASING.



CRU C - 2ND LEVEL  
SCALE: 1:100



**QUALIFICATION & U.I.**  
**WILLOUGHBY TOWN CENTRE**  
**208H STREET & 80TH AVENUE LANGLEY, BC**

**Parcel 2**  
**2nd Level**  
**CRU C - Option 2**  
**Daycare**

DATE: JUNE 15, 2015  
AS NOTED  
PROJECT #:

**A-2.3b**



NOTE: DIMENSION WALL LOCATIONS ARE SUBJECT TO CHANGE DUE TO LEASING.

CRU C - 2nd LEVEL  
SCALE: 1:100

**SCHEDULE F**  
**CRU C PATIO OPTION TWO**





# SCHEDULE I SOUTH BUILDING ELEVATIONS

**Chandler Associates**  
Architects Inc.  
110-260 Arden Street  
Vancouver, BC V6C 1B8  
Tel: 604-687-2322  
info@chandlerassociates.com

**QUALICO**  
+  
**CHOW & LI**

**WILLOUGHBY  
TOWN CENTRE**

**208th STREET &  
80th AVENUE  
LANGLEY, BC**

**Parcel 2  
CRU A-D  
Elevations**

DATE: JUNE 15, 2015  
SCALE: AS SHOWN  
PROJECT # 0940

**A-3-3**



**NORTH WEST ELEVATION 7**  
SCALE: 1/100

**SIGNAGE ANALYSIS**

REQUIRED	PROPOSED	TOTAL SIGN AREA
ELEV. FRONTAGE	1351 M	24,920 M <sup>2</sup>
ROOFSCAPE	0.91-40	24,920 M <sup>2</sup>
TOTAL	0.91-40	49,840 M <sup>2</sup>



**KEY PLAN**  
SCALE: 1/100

**FINISH LEGEND AND COLOUR SCHEDULE:**

- |    |                                 |    |   |
|----|---------------------------------|----|---|
| 14 | STUCCO, COLOUR TO MATCH         | 26 | FREE CEMENT STUCCO, COLOUR TO MATCH BM CC-16JANETOWN BLUE |
| 15 | BM CC-16 NEW LONDON BERRY/IVORY | 27 | CANVAS AWNING COLOUR BLACK                                |
| 16 | STUCCO, COLOUR TO MATCH         | 28 | GLASS CANOPY METAL STRUCTURE CANOPY - BACK COLOUR         |
| 17 | BM CC-16 ROUSSEAU CHAMEL        | 29 | METAL CANOPY / FETTERBOW COLOUR BLACK                     |
| 18 | BM CC-16 STONEMASONRY           | 30 | METAL PANEL COLOUR TO MATCH BM CC-16D FOLIAR WHITE        |
| 19 | STUCCO, COLOUR TO MATCH         | 31 | CONCRETE MATING AND OVERCOAT                              |
| 20 | BM CC-16 DOOR WIND              | 32 | SPLIT FACE CONCRETE BLOCK TO MATCH TRIPART LIGHT BUFF     |
| 21 | STUCCO, COLOUR TO MATCH         | 33 | METAL SCREEN - BRG GRATING COLOUR LIGHT GREY              |
| 22 | BM CC-16H HOT CHOCOLATE         | 34 | WOOD PANELS   |
| 23 | BM CC-38 OYDOR WHITE            | 35 | SPANDREL GLASS TO MATCH DP FAC CLT 1 BAL 7008 SIGNAL GREY |
| 24 | BM CC-38 SEURUS BAY             | 36 | STORM MANDAY METAL SQUARE RAIL BRG CC-16D FOLIAR WHITE    |
| 25 | STUCCO, COLOUR TO MATCH         | 37 | BM CC-38 ELK  |







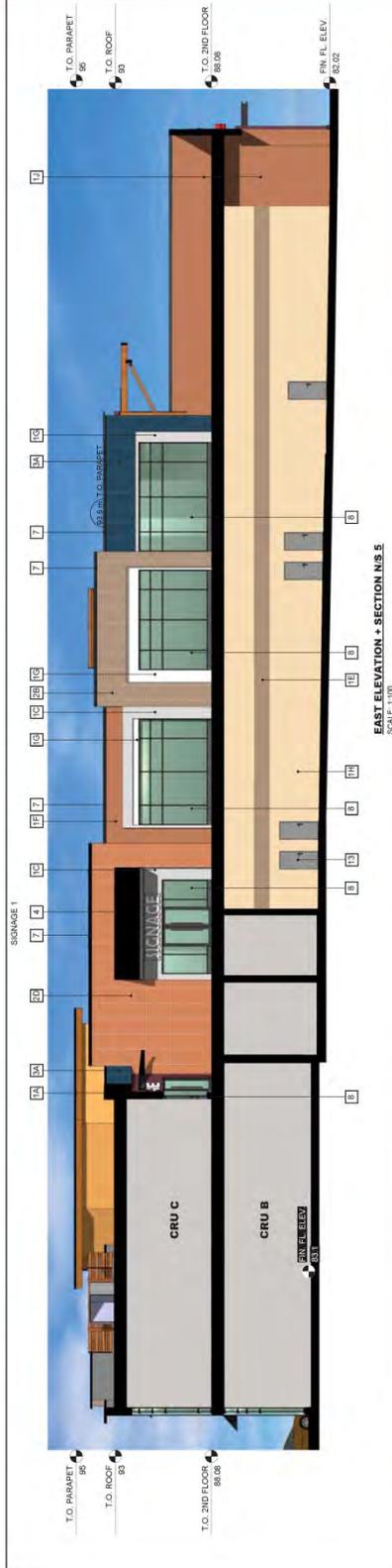
**QUALICO**  
+  
**CHOW & LI**

**WILLOUGHBY  
TOWN CENTRE**  
**208th STREET &  
80th AVENUE  
LANGLEY, BC**

**Parcel 2  
CRU B & C  
Elevations**

DATE: JUNE 15, 2015  
SCALE: AS SHOWN  
PROJECT #: 5849

**A-3.6**



**FINISH LEGEND AND COLOUR SCHEDULE**

- 15 FIBRE CEMENT BOARD, GRASS  
TO MATCH BM 100-40 STONE BLUE
- 16 METAL PANEL, POLAR WHITE  
TO MATCH BM 100-40 POLAR WHITE
- 17 CORRUGATED METAL  
TO MATCH BM 2119-40
- 18 CORRUGATED METAL  
TO MATCH BM 2119-40
- 19 METAL PANEL, POLAR WHITE  
TO MATCH BM 2119-40
- 20 CONCRETE UPSTAND, PAINTED  
COLOUR TO MATCH BM 100-40 ON ROOF
- 21 METAL PANEL, POLAR WHITE  
TO MATCH BM 2119-40
- 22 METAL SCREEN, BAR GRATING  
COLOUR LIGHT GREY
- 23 CORRUGATED METAL  
TO MATCH BM 100-40 POLAR WHITE
- 24 CORRUGATED METAL  
TO MATCH BM 2119-40
- 25 STORM HATCHWAY METAL GLAZING  
BLACK GLASS-CLEAR
- 26 FIBRE CEMENT BOARD, GRASS  
TO MATCH BM 100-40 STONE BLUE
- 27 CANVAS AWNING COLOUR BLACK
- 28 GLASS CANOPY - METAL STRUCTURE  
COLOUR BLACK
- 29 METAL CANOPY / EXTENSION  
COLOUR BLACK
- 30 METAL PANEL, POLAR WHITE  
TO MATCH BM 2119-40
- 31 METAL FLASHING  
COLOUR CHROME
- 32 ALUMINUM TRIM  
COLOUR LIGHT GREY
- 33 EXTERIOR LIGHT
- 34 WOOD PANELS
- 35 FINISH: BLACK STAINLESS  
SPACED ALUMINUM TRIM
- 36 FINISH: BLACK STAINLESS  
SPACED ALUMINUM TRIM
- 37 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 38 STUCCO COLOUR TO MATCH  
BM 100-40 STONE
- 39 STUCCO COLOUR TO MATCH  
BM 100-40 STONE
- 40 BRICK VENEER COLOUR TO MATCH  
BM 100-40 STONE
- 41 BRICK VENEER COLOUR TO MATCH  
BM 100-40 STONE
- 42 BRICK VENEER COLOUR TO MATCH  
BM 100-40 STONE
- 43 BRICK VENEER COLOUR TO MATCH  
BM 100-40 STONE
- 44 BRICK VENEER COLOUR TO MATCH  
BM 100-40 STONE
- 45 BRICK VENEER COLOUR TO MATCH  
BM 100-40 STONE
- 46 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 47 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 48 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 49 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 50 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 51 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 52 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 53 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 54 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 55 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 56 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 57 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 58 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 59 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE
- 60 FIBRE CEMENT BOARD TO MATCH  
BM 100-40 STONE

**SIGNAGE ANALYSIS**

REQUIRED	PERMITTED	TOTAL SIGN
ELEV.	19.73 M	19.73 M
LENGTH	0.682 M	0.682 M
FRONTAGE	19.082 M	19.082 M
AREA	13.47 SQ. M	13.47 SQ. M
PERMITTED	19.73 M	19.73 M
FRONTAGE	0.682 M	0.682 M
AREA	13.47 SQ. M	13.47 SQ. M
PERMITTED	19.73 M	19.73 M
FRONTAGE	0.682 M	0.682 M
AREA	13.47 SQ. M	13.47 SQ. M



**SCHEDULE L  
NORTH BUILDING ELEVATIONS**

# SCHEDULE M BUILDING SECTIONS



Chandler Associates  
Architects Inc.  
The Metro Building  
100-1050 Burnaby Street  
Burnaby, BC V5A 4E9  
Tel: 604.461.7208  
Fax: 604.461.7200  
chandlerassociates.com

**QUALICO**  
+  
**CHOW & LI**

**WILLOUGHBY  
TOWN CENTRE**

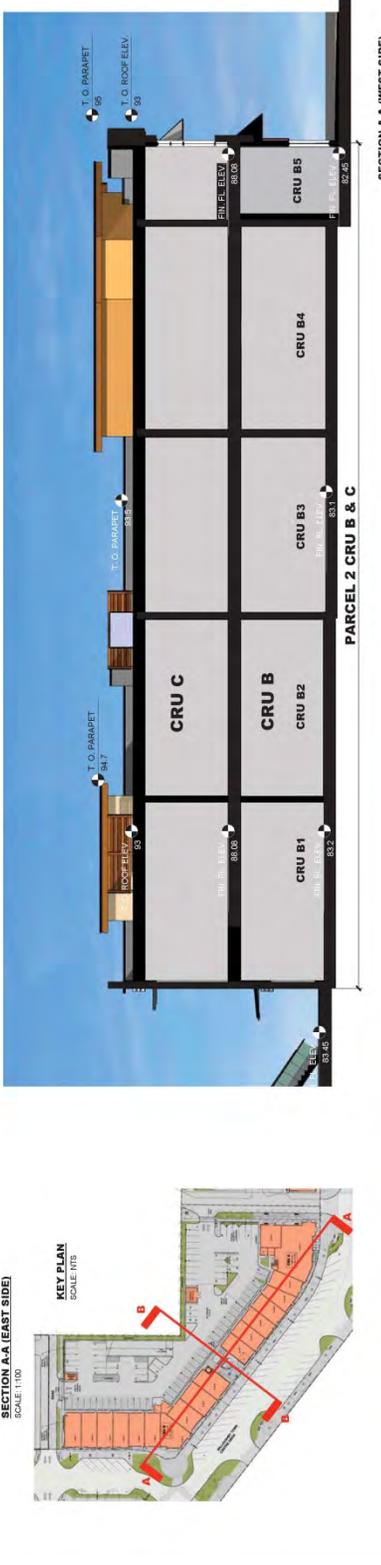
**208th STREET &  
80th AVENUE  
LANGLEY, BC**

**Parcel 2  
Site Sections**

DATE: JUNE 15, 2015  
PROJECT # 15-0001  
PROJECT # 6048



**SECTION A-A (EAST SIDE)**  
SCALE: 1/100



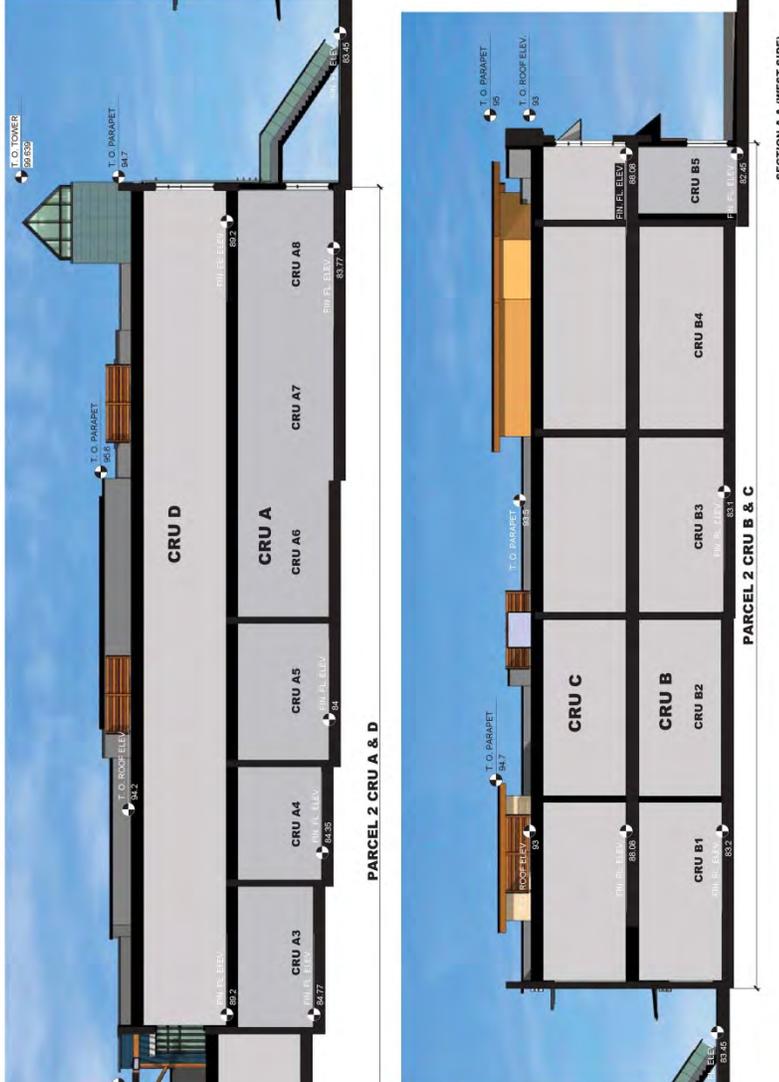
**SECTION A-A (WEST SIDE)**  
SCALE: 1/100



**SECTION B-B**  
SCALE: 1/100

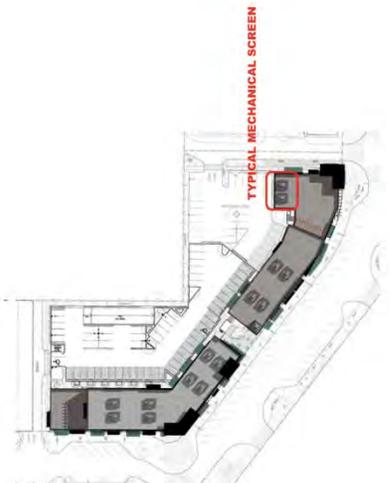
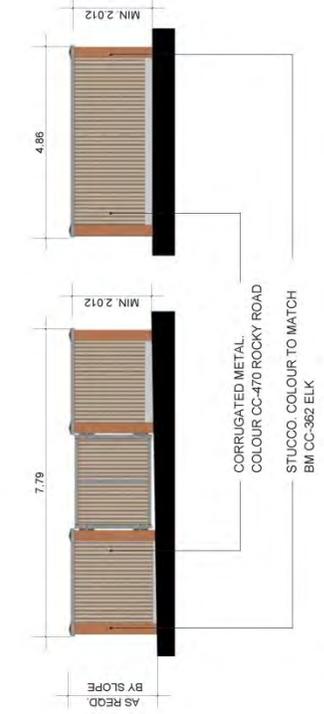


**KEY PLAN**  
SCALE: 1/100



**PARCEL 2 CRU A & D**      **PARCEL 2 CRU B & C**

**A-4.1**



# SCHEDULE N GARBAGE ENCLOSURE AND ROOFTOP SCREEN

# SCHEDULE O COLOUR AND MATERIALS



Chandler Associates  
Architects Inc.  
7750 Victoria Park  
Vancouver BC V6C 2G8  
Tel: (604) 887-5222  
info@chandlerassociates.com

**QUALICO  
+  
CHOW & LI**

**WILLOUGHBY  
TOWN CENTRE**

**208th STREET &  
80th AVENUE  
LANGLEY, BC**

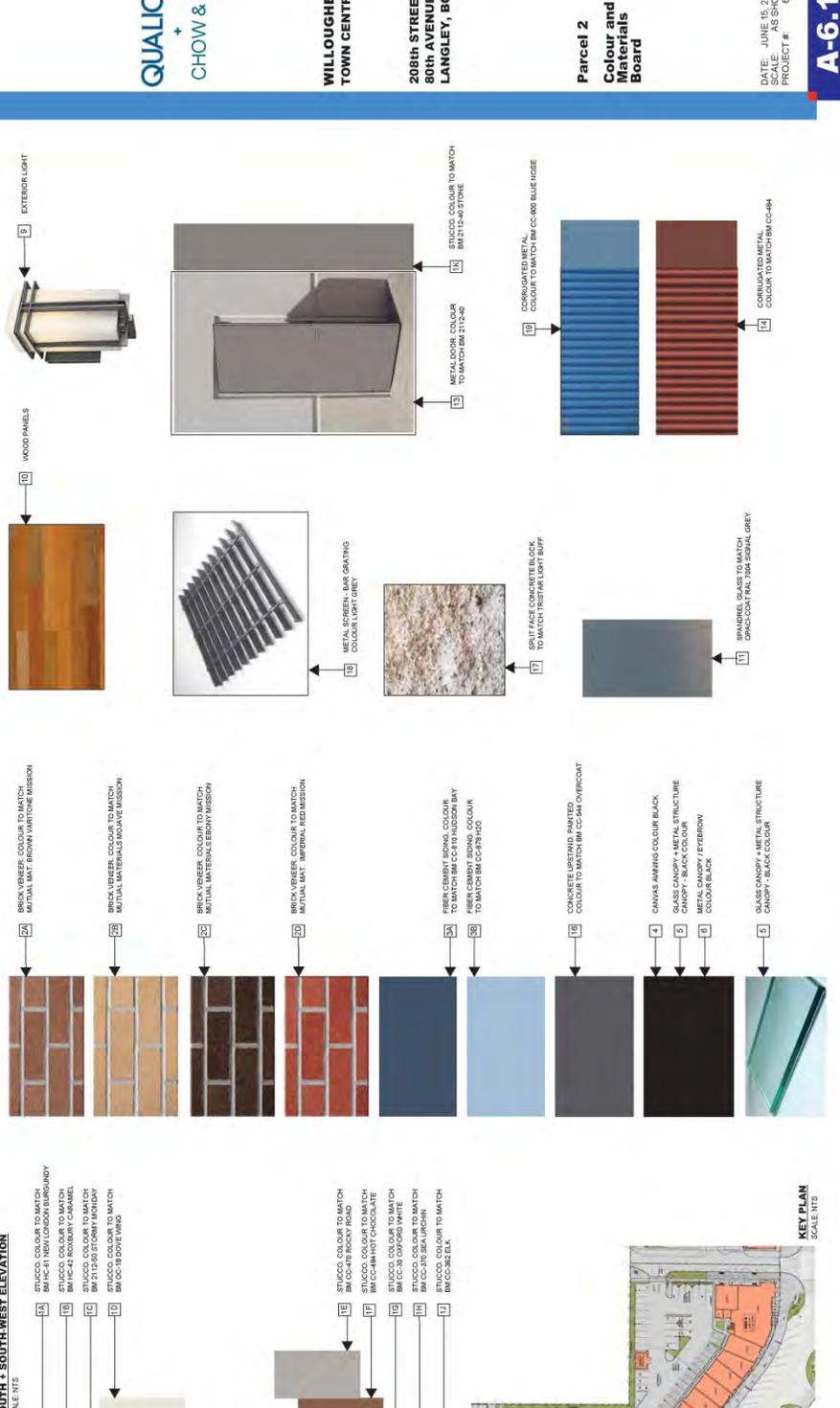
**Parcel 2  
Colour and  
Materials  
Board**

DATE: JUNE 15, 2015  
SCALE: AS SHOWN  
PROJECT #: 6045

**SOUTH + SOUTH-WEST ELEVATION**  
SCALE: NTS





- 1A STUCCO COLOUR TO MATCH  
BM CC-16 NEW LONDON BURGUNDY
- 1B STUCCO COLOUR TO MATCH  
BM CC-12 ROBERT CANNELL
- 1C STUCCO COLOUR TO MATCH  
BM CC-13 TOWNY MONDAY
- 1D STUCCO COLOUR TO MATCH  
BM CC-18 DOVE WING
- 1E STUCCO COLOUR TO MATCH  
BM CC-19 ROCKY ROAD
- 1F STUCCO COLOUR TO MATCH  
BM CC-20 CHOCOLATE
- 1G STUCCO COLOUR TO MATCH  
BM CC-21 OXFORD WHITE
- 1H STUCCO COLOUR TO MATCH  
BM CC-26 SEA URCHIN
- 1I STUCCO COLOUR TO MATCH  
BM CC-28 SEA
- 1J BRICK VENEER COLOUR TO MATCH  
MUTUAL MAT: BROWN VARI-TONE MISSION
- 1K BRICK VENEER COLOUR TO MATCH  
MUTUAL MATERIALS: BROWN MISSION
- 1L BRICK VENEER COLOUR TO MATCH  
MUTUAL MATERIALS: BROWN MISSION
- 1M BRICK VENEER COLOUR TO MATCH  
MUTUAL MAT: IMPERIAL RED MISSION
- 1N STUCCO COLOUR TO MATCH  
BM CC-10 HIDDEN BAY
- 1O FIBER CEMENT SIDING COLOUR  
TO MATCH BM CC-19 HIDDEN BAY  
TO MATCH BM CC-20 VANCE
- 1P SPIT FACE CONCRETE BLOCK  
TO MATCH TYPICAL LIGHT SPIT
- 1Q CONCRETE UPSTAND, PAINTED  
COLOUR TO MATCH BM CC-544 OVERCOAT
- 1R GYNAS FINISH COLOUR BLACK
- 1S GLASS CANOPY + METAL STRUCTURE  
CANOPY: BLACK COLOUR
- 1T METAL CANOPY / EXTERIOR  
COLOUR BLACK
- 1U BRANDED GLASS TO MATCH  
ORANGE/CANTAL BM 550XAL GREY

**WOOD PANELS**



**EXTERIOR LIGHT**



**METAL SCREEN, GLASS GRATING  
COLOUR LIGHT GREY**



**BRICK VENEER COLOUR TO MATCH  
MUTUAL MAT: BROWN VARI-TONE MISSION**



**BRICK VENEER COLOUR TO MATCH  
MUTUAL MATERIALS: BROWN MISSION**



**BRICK VENEER COLOUR TO MATCH  
MUTUAL MATERIALS: BROWN MISSION**



**BRICK VENEER COLOUR TO MATCH  
MUTUAL MAT: IMPERIAL RED MISSION**



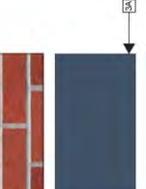
**STUCCO COLOUR TO MATCH  
BM CC-10 HIDDEN BAY**



**FIBER CEMENT SIDING COLOUR  
TO MATCH BM CC-19 HIDDEN BAY  
TO MATCH BM CC-20 VANCE**



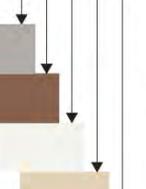
**SPIT FACE CONCRETE BLOCK  
TO MATCH TYPICAL LIGHT SPIT**



**CONCRETE UPSTAND, PAINTED  
COLOUR TO MATCH BM CC-544 OVERCOAT**



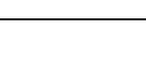
**GYNAS FINISH COLOUR BLACK**



**GLASS CANOPY + METAL STRUCTURE  
CANOPY: BLACK COLOUR**



**METAL CANOPY / EXTERIOR  
COLOUR BLACK**



**BRANDED GLASS TO MATCH  
ORANGE/CANTAL BM 550XAL GREY**



**KEY PLAN**  
SCALE: NTS



**A-6.1**

# SCHEDULE P SIGNAGE AND ARCHITECTURAL DETAILS



DETAIL 1 - TYP. FASCIA SIGN - ELEVATION  
SCALE: 1/80

**FASCIA SIGN MATERIALS AND ILLUMINATION**

- PERMITTED:**
- INDIVIDUAL ILLUMINATED OR NON ILLUMINATED LETTERS
  - INDIVIDUAL METAL LETTERS REVERSE CHANNEL - HALO ILLUMINATED
  - INDIVIDUAL METAL CHANNEL LETTERS - ACRYLIC FACE, INTERNAL ILLUMINATION
  - PAINTED RAISED LETTERS ON COLOURED BOARD FASCIA SIGNS - METAL, WOOD, OR STONE - ILLUMINATED OR NON-ILLUMINATED LETTERS.
  - RECESSED OR INTEGRATED INTERNALLY ILLUMINATED, ALUMINUM FACE WITH PUSH THROUGH ACRYLIC LETTERS
  - LIGHTING OF SIGNAGE WITH OUTRIGGER OR GOOSENECK TYPES FIXTURES
  - SIGNAGE TYPES, MATERIALS AND COLOURS THAT ARE COMPATIBLE WITH MATERIALS AND COLOURS OF THE BUILDING UPON WHICH THEY ARE PLACED

**PROHIBITED:**

- BLINKING, FLASHING, ANIMATED, OR AUDIBLE SIGNS
- SIGNS WITH MOVING ELEMENTS OR MOVING LIGHTS
- EXPOSED NEON SIGNS
- EXPOSED SIGN SECTION INCL. RUBBER, PLASTIC, VACUUM FORMED PLASTIC LETTERS
- EXPOSED INTERNALLY ILLUMINATED BOX SIGNS WITH LIT BACKGROUND FACES
- EXPOSED OR SURFACE MOUNTED BOX OR CABINET TYPE SIGNS
- VINYL LETTERING AS PRIMARY SIGN
- SIGNS WITH CLOTH, PAPER CARDBOARD, OR GATORBOARD.

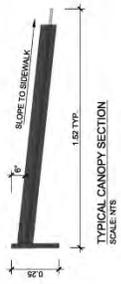


DETAIL 1  
KEY PLAN  
SCALE: 1/100

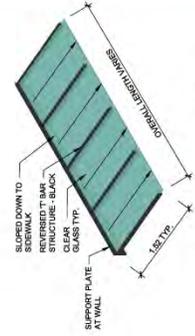
**NOTE:**  
ALL TENANT SIGNAGE MUST FULLY COMPLY WITH TOWNSHIP OF LANGLEY SIGNAGE BY-LAW. ALL SIGNAGE MUST BE FULLY APPROVED, MUNICIPAL PERMIT AND LANDLORD APPROVAL. PERMITS TO HAVE ONE FASCIA AND ONE SIGNAGE SIGNAGE PER ELEVATION IN A LOCATION AS GENERALLY SHOWN ON SHEETS A3.1 TO A3.7. SIGNAGE SIGNS TO BE LIMITED TO ONE SIGN PER WINDOW ONLY AND BE NOT LARGER THEN 20% OF THE WINDOW AREA. AWNING SIGNS ARE NOT PERMITTED ON THE SECOND STOREY.



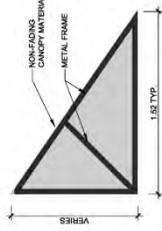
TYPICAL SUNSHADE COLOUR TO MATCH WINDOW FRAME  
SCALE: NTS



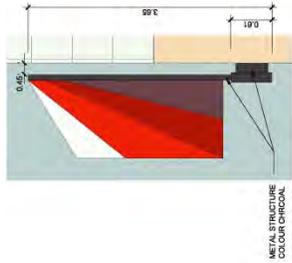
TYPICAL CANOPY SECTION  
SCALE: NTS



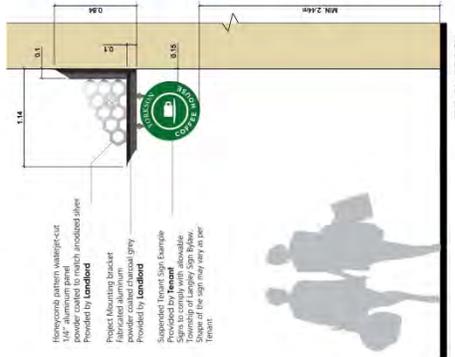
TYPICAL CANOPY PERSPECTIVE  
SCALE: NTS



TYPICAL AWNING SECTION  
SCALE: NTS



TYPICAL DECORATIVE FLAG  
SCALE: NTS



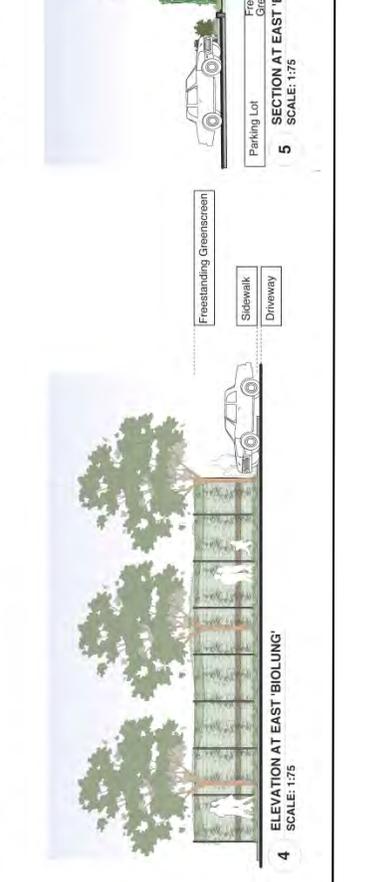
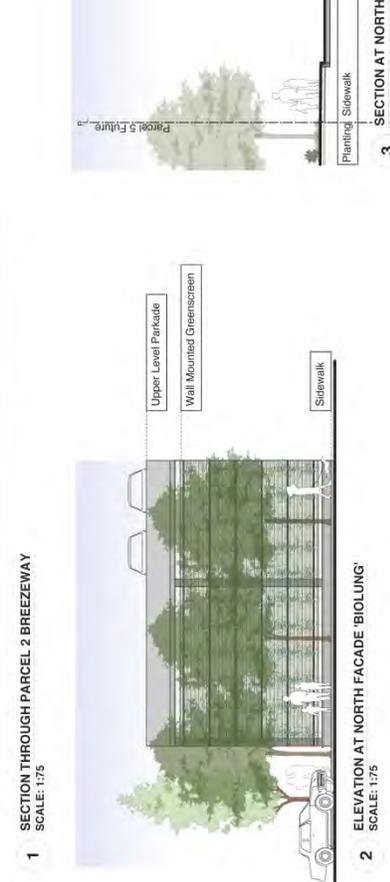
TYP. BLADE SIGN  
SCALE: 1/80











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QUALICO  
+  
CHOW & LI

WILLOUGHBY  
TOWN CENTRE

206A STREET &  
80th AVENUE  
LANGLEY, BC

WTC Parcel 2  
SECTIONS AND  
ENLARGEMENT PLAN

DATE: August 18, 2014  
SCALE: AS NOTED  
PROJECT #: 06-385

L-3.1

# SCHEDULE U LANDSCAPE SECTIONS AND DETAILS

## 4.4 MIXED USE DEVELOPMENT PERMIT PROVISIONS

### 4.4.1 DEVELOPMENT PERMIT AREA “J” – TOWN MARKET COMMERCIAL

#### *General*

Lands identified as “Development Permit Area “J” – Town Market Commercial” on Map 4, Development Permit Areas are hereby designated as development permit areas under Section 919.1 (1)(f) of the Local Government Act to establish objectives and provide guidelines for the form and character of commercial and residential development.

The objective of this development permit area designation is to encourage development of a pedestrian oriented commercial and residential community centre.

Unless the owner of land first obtains a development permit, land within this development permit area shall not be subdivided, and construction of, addition to or alteration of development must not be started.

Development permit guidelines are as follows:

Development with residential above shall also conform to the development permit guidelines in section 4.1.2.3 (Multi Family).

Mid-rise development shall also comply with the mixed use design guidelines in section 4.1.2.3 (Town Centre Mixed Use).

These provisions apply to all buildings and all phases.

#### *Site Design*

- Development shall provide a walkable ‘pedestrian-scale’ Town Market.
- The Town Market shall be designed, as reflected in the accompanying concept illustration. The required design elements are:
  - A centrally located public plaza with food services (such as restaurants, neighbourhood pubs, cafes, coffee shops, bistro’s, etc.) facing the plaza and including outdoor seating located adjacent to the intersection of the main pedestrian connection and main street surrounded by pedestrian scale development;
  - A main ‘pedestrian scale’ street through the site ;
  - Continuous weather protection;
  - A minimum of 50% of the required parking shall be provided underground with no more than 50% of parking being surface parking. Remaining surface parking should be located to the rear or sides of buildings and designed sympathetically to the pedestrian environment;
  - A *bio-lung* designed into the main pedestrian corridor through the development and connecting to adjacent properties;
  - Decorative amenity features in the plaza area;
  - Street facing commercial development; and
  - Consistent complementary exterior design and finish.
- A landmark building defining the intersection shall be located at the main corner and/or entrance.
- Garbage containers must be located so they are not visible from surrounding residential and commercial development and roadways and fully enclosed (i.e. roofed) within a screened enclosure, or alternatively located within a building. Such enclosures shall be architecturally detailed to compliment the development.

- o Design shall take into account CPTED (Crime Prevention Through Environmental Design) principles.

**Building Form**

- o The height, massing and siting of buildings and design of signage and other elements should contribute to creating a community commercial ‘landmark’ destination.
- o Balconies above the ground floor are encouraged.
- o Buildings fronts shall be consistent with Table 1 Building Front Typology.

**Building Front Typology**

Building Fronts		
<p><b>Building character</b></p> <p>The character of the mixed and commercial land use areas are intended to reflect a walkable pedestrian-friendly urban atmosphere. Buildings shall have high quality exterior finishes and street furnishings that attract people to shop and meet. Design for the site shall include a mix of building fronts and provide multiple opportunities for sidewalk cafes and patios. Specific design considerations should be given to promoting transparency to building fronts and other qualities that engage the eyes. As such, building design shall consider unique facades for each tenant front (and where large –scale commercial is permitted it shall present a small-scale commercial façade where appropriate), changes in insets for doors and windows to create varying shadow lines. Roof skirts and varied cornice lines help to break the massing of buildings and help provide unique attributes to buildings. Further considerations to help provide visual interest may be achieved through balconies, projecting tops of windows, doors, sill caps and shutters. Ample landscaping shall be provided to create a pleasant atmosphere and opportunities for shade.</p>		
<p>Open with projection for weather protection</p> <ul style="list-style-type: none"> <li>• Weather protection material either fabric or frosted glass</li> </ul>	<p>Gallery with veranda</p>	<p>Gallery without veranda</p>
<p>Required minimum in mixed and commercial land uses</p>	<p>Permitted choice of building front in mixed and commercial uses</p>	<p>Permitted choice of building front in mixed and commercial uses</p>

- Buildings sited on corners shall front both street edges, shall express a visually stimulating 'landmark' architecture, and be massed to define the intersection.
- Street level entrances shall be provided for uses located above the ground floor. When residential uses are above commercial additional architectural distinctions shall be made to clarify the separation of public and private space. These distinctions shall include entrance height variations between the two spaces.
- Servicing and loading areas shall be limited to the rear.
- The rear of all buildings shall have entrances treated with the same architectural details as the fronts and sides of the building.
- Flat roofs are not permitted unless a green roof is provided.
- Building courses should be stringed to align horizontally to adjacent buildings.

#### *Exterior Design and Finish*

- All elevations of buildings shall have architectural details to provide visual interest and reduce the massing of the building. These include changes in roofline height, varied paint treatments, functional windows (i.e. to provide transparency) on the store entrance level and/or above, and articulation in the building envelope.
- The main entrance of the building should be clearly identified by the architecture of the building and include such elements as pedestrian awnings to provide protection from the weather. Exterior materials consisting of wood, brick, stone, metal, glass or ceramics (other than for a roof).
- Storefront windows shall be transparent.
- All buildings shall incorporate high quality exterior design elements that reflect a modern architecture with a Town Market pedestrian scale theme. Such as:
  - All elevations shall incorporate a variety of setbacks and building 'fronts' that reflect the scale and proportion of a pedestrian-scale Town Market. Therefore large walls will have a variety of architectural detailing, setbacks and widths;
  - A mix of façade treatments, cornice and roof lines;
  - A mix of building surface treatments for each façade; and
  - A mix of accent colours and materials.
- No vinyl is permitted other than for architectural grade shingles.
- Stucco siding shall be restricted to no more than 25% of any given elevation.
- All glass weather protection designs shall be comprised of frosted glass.
- Where larger buildings are proposed the façade shall be interrupted to create the impression of multiple buildings. Where practical this may be achieved by siting smaller buildings along the outside wall of larger buildings.
- All exposed base supports for structures that include signage, amenity features, building appurtenances and other site elements shall be architecturally integrated into the overall site design. Unadorned concrete and metal is not permitted.
- If residential units are incorporated above commercial special consideration shall be given the architectural detailing of the building in substantial accordance with Section 4.1.2.3 Development Permit Area "B"– Residential.
- Functional elements, such as mechanical equipment and roof penetrations, shall be located to minimize exposure to the street, nearby buildings or where rises in elevation provide views to rooftops. Mechanical equipment shall be screened or integrated with the roof form in a manner consistent with the overall architecture of the building. All screening must be a permanent part of the building structure.

#### *Landscaping*

- Development is encouraged to retain existing significant trees within the development in accordance with the Township of Langley's Tree Protection Bylaw, as amended.

- Landscaping shall be required to enhance the appearance of the development and to screen parking, loading areas, utility/mechanical equipment and garbage containers from abutting roadways, residential, commercial and institutional developments.
- All areas not covered by buildings, structures, roads and parking areas shall be landscaped. Landscaping, including treed islands, shall be provided in the parking areas to enhance the appearance of the development and to reduce the heat island effect. Further landscaping shall be provided when abutting residential development or when residential views extend or will extend over the parking area.
- To further reduce the urban heat island effect and create a natural visual reference; green walls, green screens and green roofs are encouraged as part of the landscaping component. Passive green walls are required for exposed sides of buildings with active green walls being an option. Green screens are encouraged as an additional landscape option for visual screening purposes. Green roofs are encouraged and may be designed as a corporate logo.
- Streetscape items, such as lighting, banners, trees, benches, tree gates, tree guards, bike racks, directions kiosks, umbrellas for outdoor seating, garbage receptacles etc., should be provided on private property to create a village atmosphere. In addition, a minimum of two amenities (of the developers choice and to the satisfaction of the Township) shall be provided from the following list and reflect in some way the natural and/or cultural heritage of the area. These amenities should be located in or around the central plaza area.
  - An active demonstration green wall of substantial size;
  - A water feature of substantial size (fountain, creek, pond etc.); or
  - A work of public art of substantial size (sculpture, mosaic etc.).
- For speed of coverage, green walls should include clematis (*Clematis* sp.), honeysuckle (*Lonicera* sp.), wisteria (*Wisteria* sp.) or golden hops (*Humulus* sp.) as the climbing plant of choice for green walls and green screens. These vines require high-tensile steel cables to guide and support plants.
- On parking structures and other solid durable surfaced structures Russian-vine (*Fallopia* sp.) and Virginia-creeper (*Parthenocissus* sp.) are common species that cling directly to surfacing.

#### *Parking Lot Landscaping*

- In addition to trees and landscaping around the perimeter of surface parking areas, shade trees and landscaping is required within parking areas at the following frequency:
- One tree per six parking stalls to be located in a minimum of 10 cubic meters of growing medium (structural soil, deep root soil cells, or planting beds) so that the tree will be sustained into maturity. Two adjoining rows of parking stalls (front to front) will require a minimum of one tree per bank of 12 parking stalls spaced no more than 18 meters between trees. A minimum grid placement of 18 meters on center should be attained for trees placed in parking areas. In addition to the foregoing, the end of each single row of parking stalls will require a tree and 2 metre wide landscaped area between the end parking stall and the adjacent drive aisle.
- Trees within parking areas should be of a type and height so that the clearance to the underside of the tree is at least 8 feet. Deciduous shade trees should be a minimum of 6cm calliper with a 1.8 meter clear stem at time of planting. Tree stems must be protected on all sides with a minimum of 1 meter of clearance to the front face of an adjacent barrier curb or other protection from vehicle overhangs.
- Shrubs and groundcovers should be planted around the base of all trees

### *Streetscape*

- All buildings shall front onto a public road in accordance with the street typology.
- Extra sidewalk width shall be provided to allow for permitted sidewalk uses. Design of such sidewalk areas may be accomplished through varied setbacks and design of buildings. Sidewalks abutting fronts and sides of buildings shall be provided to allow for easy pedestrian circulation.
- Streetscape furniture, such as lighting, banners, trees, benches, tree grates, tree guards, bike racks, directions kiosks, umbrellas for outdoor seating, garbage receptacles etc., shall be provided on private property to create a village atmosphere. In addition, a minimum of two amenities (of the developers choice and to the satisfaction of the Township) shall be provided from the following list throughout the development that reflect in some way the character of the area or region:
  - An active demonstration green wall;
  - Water feature (fountain, creek, pond etc.); and
  - Work of public art (sculpture, mosaic etc.).
- Underground parking entrances shall be from the side or rear of buildings.
- Direct common pedestrian access for residential units is encouraged on the main road.

### *Parking and Pedestrian Circulation*

- Pedestrian connections shall be provided throughout the development, including through parking lots, and to adjoining land uses (see Table 1).
- All internal pedestrian links shall be red coloured raised patterned concrete, interlocked brick or other similar natural or semi-natural material to differentiate the pedestrian environment.
- A main pedestrian walkway shall connect diagonally at or near the intersection of 208 Street and 80 Avenue into the surrounding land uses near the southwest corner of the Town Market.
- Surface parking shall be predominantly to the rear or side of buildings and away from the street.
- Where a building has parking to the front and rear building entrances shall be at or near the front of the building.
- Wheelchair access shall be provided throughout the development.

### *Structured Parking*

- At grade frontage shall be for commercial uses with only the access and egress points visible from the street.
- Vehicular access and egress points shall be combined with the presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.
- Horizontal floor designs are preferred to allow for adaptive reuse. Scissored floor designs are not permitted.
- Entrances shall be subordinate the garage entrance to the pedestrian entrance in terms of size, prominence on the streetscape, location and design emphasis. This may be achieved sometimes through:
  - The relative importance of the garage entrance reduced by enhancing the pedestrian entrance.
  - Locating the entry on the side of the facade where it will draw less attention than if it is centered on the facade.

- Recessing the portion of the facade where the entry is located to help conceal it.
- Extending portions of the structure over the garage entry to help conceal it.
- Emphasizing other elements of the facade to reduce the visual prominence of the garage entry.
- Use of screening and landscaping to soften the appearance of the garage entry from the street.
- Locating the garage entry where the topography of the site can help conceal it.
- Pedestrian entrances shall be separate from vehicular access points.
- Uses near access and egress points shall include design elements that reduce conflict between uses.
- Ramps to additional levels are to be contained within the structure and screened from view.
- Access and egress points shall have consistent sidewalk texture, colours and material for that portion intersecting with the streetscape.
- Provide separate parking areas for residential and commercial uses.
- The façade shall be architecturally integrated into the building and otherwise screened from view. Green walls and planters may be used in combination with architectural integration for this effect.
- Setbacks from above the second storey shall be incorporated into the design.
- If rooftop parking is provided additional landscaping shall be required consistent with Parking Lot Landscaping. Planters with arbors shall be provided continuously along the parapet.
- Lighting on the exterior (including the roof) shall be consistent with the entire building. Ornamental lighting shall be used on the rooftop parking areas.
- Public and private parking shall be clearly identified through a system of numbering and signage.

<b>Table 1 - SIDEWALK TYPOLOGY</b>					
Sidewalk	Main pedestrian link	Town Market Road	Parking lot	Multi-way	Mixed/Town Market interface
Width	6 metres minimum	3 metres	1.5 metres	7.5 metres	3 metres
Minimum hard surface width	3 metres	3 metres plus room for patio uses	1.5 metres	8 metres (includes 3m R.O.W. to connect Street greenway)  SEE BUILDING FRONT TYPOLOGY	Varies – min. 3 metres SEE BUILDING FRONT TYPOLOGY
Material	Patterned and coloured concrete or better	Patterned and coloured concrete or better	Patterned and coloured concrete or better	Patterned and coloured concrete or better	Patterned and coloured concrete or better
Crossing treatment	Raised textured surface or better	Raised textured surface (no asphalt permitted)	Raised textured surface (no asphalt permitted)	Raised textured surface (no asphalt permitted)	Raised textured surface (no asphalt permitted)
Adjacent Landscaping	Additional 'Bio-lung' requirement	Additional landscaping encouraged	1.5m both sides Additional landscaping encouraged	Additional landscaping encouraged	1.5m both sides (should include entrance features) Additional landscaping encouraged
Building	Galleries an option	Galleries preferred	N/A	Galleries preferred	Galleries preferred
** NOTE: Accessibility is to be provided universally.					

- Access shall be provided throughout the development for those persons that require functional assistance (this includes mobility, visually, and hearing impaired, as well as those who have reduced strength or dexterity), with parking spaces made available as close as possible to the stores entrance.
- A minimum of 50% of the required parking shall be provided underground or contained within a building with no more than 50% surface parking. Remaining surface parking should be located to the rear or sides of buildings and designed sympathetically to the pedestrian environment.

- Loading areas shall be provided to the rear or sides of buildings, away from residential areas, and include additional screening architecturally integrated into the development. Loading areas on the sides of buildings will only be considered when additional screening and landscaping is provided (i.e. roofed and gated loading areas etc.).
- Loading areas on the Town Market road shall be provided to the rear of buildings, away from residential areas, and include additional screening architecturally integrated into the development.
- Where access and egress points are permitted on arterial roads they shall be consolidated to minimize the number of access points. In all other cases, consolidated access and egress points are preferred.
- Surface parking shall be provided for in a number of smaller areas rather than one large lot, and shall be located primarily in the interior of the site or otherwise screened from view. Surface parking shall integrate landscaping and other design elements to reduce the massing of parking areas.
- Vehicular entrances shall be landscaped.
- Parking to be in accordance with the street type typology where applicable.

#### *Signage*

- All signage should have a pedestrian scale and be architecturally integrated with the building(s) and/or landscaping. Sign design should also be coordinated throughout the development to establish a unified and attractive commercial area. All signage shall comply with the Township's Sign Bylaw, as amended, unless otherwise varied in a Development Permit.
- Projecting signs are encouraged.
- Pedestrian scale monument signs are encouraged only where necessary. Pylon signs are not permitted. Where permitted signs are limited to 3 metres height.
- Fascia signage shall consist of channel lettering (backlit illuminated light boxes and exposed neon signs are not permitted).

#### *Exterior Lighting*

- There shall be sufficient on-site illumination for pedestrian/vehicle safety and good exposure for retail uses. Illumination shall consist of full cut-off lighting fixtures and shall not encroach onto adjacent residential properties and must comply with the provisions of the Township's Exterior Lighting Impact Policy.

### **4.4.2 DEVELOPMENT PERMIT AREA “K” – TOWN MARKET MIXED USE**

Lands identified as “Development Permit Area “K”– Mixed Use” on Map 4, Development Permit Areas are hereby designated as development permit areas under Section 919.1 (1)(f) of the Local Government Act to establish objectives and provide guidelines for the form and character of commercial and residential development.

The objective of this development permit area designation is to encourage development in support of a pedestrian oriented Town Market.

Unless the owner of land first obtains a development permit, land within this development permit area shall not be subdivided, and construction of, addition to or alteration of development must not be started.



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F.1  
**ATTACHMENT C**

PRINCIPALS  
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ASSOCIATES  
**Andre Belliveau**  
DIP ARCH TECH, LEEDS GREEN ASSOCIATE

**John Saliken**  
RFA, M ARCH, RIBA, ARB(UK), Intern Architect AIBC, LEEDS GREEN ASSOCIATE

June 18, 2015

**Re: Willoughby Town Center – Parcel 2 – Langley, BC  
Design Rationale  
Our File No.: 6048**

This DP Submission comprises Parcel 2 of the Willoughby Town Centre along Willoughby Town Centre Drive.  
The Site Area is 7,216.63 m<sup>2</sup> and Gross Building Area is 3,875.6 m<sup>2</sup>. Drawings are enclosed to describe in detail the proposed development.

## PARCEL 2

The proposed Parcel 2 is located in the heart of the Commercial Village along Willoughby Town Centre Drive and will greatly contribute to create a vibrant retail core and great shopping experience for the community.

The proposed building is a two storey commercial development with a parking deck behind to accommodate the busy retail area and attract a greater variety of destination type tenants and emerge as a major focus for nearby residents and visitors alike.

The frontages along WTC Drive are subdivided into a series of interesting storefronts to serve a variety of stores including restaurants, cafes, and other ground-oriented tenants. These are further enriched by a wide variety of architectural treatments and quality materials of varying color and textures to add to the animation and contribute to experience of the pedestrian realm. The exterior has been articulated to maximize the difference in materials, window treatment, degrees of setback and shadowing and signage to reinforce a character of individual storefronts.

The corner of Willoughby Town Centre Drive and 206A Street is acknowledged and highlighted by the tallest tower/parapet element along both facades. The tower is further emphasized with a large overhanging roof and soffit that is finished with decorative wood beams. It is very much a feature piece. At the corner of Willoughby town Centre Drive and the green link we have created a similar corner tower element incorporating the same tower/parapet feature element with extended roof and soffit overhangs that wrap around the corner to acknowledge and emphasize the building at this intersection.

Sunshades have been incorporated at the upper level glazing to reduce the heat gain and to provide further articulation and animation to the storefronts. Continuous weather protection has been provided by a series of canopies and awnings along the entire length of the storefront.

Willoughby Town Centre Drive slopes downward in a westerly direction by approx. 3.5 m creating the opportunity for a stronger individual expression for each tenancy. This is further enriched by the

landscaping and treatment of the deeper sidewalks and related street sides described in more detail on the architectural and landscape drawings. In addition, the public plazas at the intersections of Willoughby Town Center Drive & 206A St. and at WTC Drive & Greenlink on the East property line, will be developed with an enhanced hard and soft landscape treatment and street furniture to provide high visual interest and to encourage meeting places for both the local community and visiting shoppers.

A breezeway plaza at the center of the development creates a welcoming public place and a vibrant area of activity. With parking located on the second level, the central stair and elevator will become natural focal points for activity going up to & down from the second level. The plaza is highlighted with hard and soft landscaping and seating furniture. In addition, a unique clock tower feature will highlight the plaza and create an important focal point for the overall development.

Parking is provided on two levels. The 2<sup>nd</sup> level provides direct access from parking to the upper retail level, with storefronts directly facing on the upper parking enclave. A raised sidewalk has been provided along the length of the CRU's to facilitate circulation and ensure pedestrian safety. The convenient parking afforded by the structured garage will attract higher quality retail tenants, adding to the resilience and continued viability of the Town Centre area.

The upper parking deck will be landscaped with tree planters to create shaded areas on the deck. Landscaped patios will also be provided on the east and north ends and will feature extensive planting within raised planters. The second floor end tenants are anticipated to be a Daycare and office-type tenancies on the North end and a Fitness Centre on the East end. A high albedo roof will be provided in the flat roof areas to mitigate urban heat island.

The public benefit to the community and visitors alike is derived from the activity, passive and active, that will emanate from the variety of shops and restaurants, streetscapes and landscaped gathering places that will be created. The pedestrian realm will be very active with people of all ages visiting, shopping, enjoying outdoor coffee and snacks and gathering to enjoy each other's company. Valuable services will be available such as daycare, fitness and others to serve the day to day needs of residents as well as a place to meet regularly and be entertained, a particularly important feature for youngsters and moms as well as for a growing seniors population.

## **CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN**

CPTED principles are integrated into all aspects of this development from Site Layout, landscaping, lighting and building design and include the following:

- Landscaping will be kept to a low level to improve visibility and reduce concealment opportunities.
- Low shrubs will be located adjacent to the building where convenient to discourage graffiti on the walls.
- Exterior materials will be impact resistant and come with graffiti resistant finishes (texturing and Coating).
- Lighting (decorative and service) will be incorporated around all sides of the buildings along with adequate lighting levels provided in the parking areas.
- Open spaces will be maximized in the covered parking areas to eliminate concealment areas.

- All exterior service doors will swing outward and be provided with “no pull” hardware and astragals.
- Significant glazing at store frontages will provide opportunities for visual surveillance throughout the site.
- The covered parking area is open air for better visibility. All columns and walls in the covered parking area will be painted in light colours and will incorporate lighting levels designed for personal safety.
- The entrances to the 2<sup>nd</sup> level stores and offices located within the structured parking will result in increased traffic and reduce the opportunity for vandalism.

## DESIGN BRIEF – LANDSCAPE SUMMARY

The Willoughby Town Centre Parcel 2 streetscape will build on the success of previous installed works along WTC Drive. The building may be animated with a restaurant, café, convenience and/or service oriented retail units.

The main intersection at the Greenlink will feature circular paving, a tree-lined boulevard, seating, flower planters and possible sandwich signs. A continuation of tri-colour, festive unit pavers in tan, charcoal and cool grey will unify the building facades and will complement previous WTC landscape installations (including tree species, light standards, and furnishings).

A breezeway plaza features specialty paving, furnishings and a curved seating wall bordering landscape planting and trees. A staircase will lead up to the second level stores and businesses. A pedestrian Canopy trees in planters are provided throughout the upper parking lot.

At the intersection of 206A and WTC Drive the off-site landscape will be enhanced by the placement of granite seating slabs along the circular paving, and sculptural granite stone within the planting areas.

Greenscreens at the north façade of the parkade, together with a dense tree corridor – will serve as a ‘bio-lung’ – effectively creating a zone of vertical green features. Tall cedars will screen the parking structure from future development.

Respectfully submitted,

**CHANDLER ASSOCIATES ARCHITECTURE**



**Chris Block**  
Architect AIBC , AAA, SAA, OAA, LEED®AP BD+C,

**THE CORPORATION OF THE TOWNSHIP OF LANGLEY**

**TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500  
AMENDMENT (QC HOLDINGS LTD.) BYLAW 2015 NO. 5160**

**EXPLANATORY NOTE**

Bylaw 2015 No. 5160 amends the Comprehensive Development Zone CD-89(B) to remove the residential density requirement.

**THE CORPORATION OF THE TOWNSHIP OF LANGLEY**

**TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500  
AMENDMENT (QC HOLDINGS LTD.) BYLAW 2015 NO. 5160**

A Bylaw to amend Township of Langley Zoning Bylaw 1987 No. 2500

WHEREAS it is deemed necessary and desirable to amend “Township of Langley Zoning Bylaw 1987 No. 2500” as amended;

NOW THEREFORE, the Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as “Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (QC Holdings Ltd.) 2015 Bylaw No. 5160”.
2. Section 989 Comprehensive Development Zone CD-89 of the “Township of Langley Zoning Bylaw 1987 No. 2500” as amended is further amended by:

replacing “Low-rise: 40-80 upa” with “n/a” in the “Residential Density (Units per Acre)” column of the “CD-89(B)” row of the table in Section 989.12 - Sub-Zone Requirements.

READ A FIRST TIME the	day of	, 2015.
READ A SECOND TIME the	day of	, 2015.
PUBLIC HEARING HELD the	day of	, 2015.
READ A THIRD TIME the	day of	, 2015.
RECONSIDERED AND ADOPTED the	day of	, 2015.

\_\_\_\_\_ Mayor \_\_\_\_\_ Deputy Township Clerk