THE CORPORATION OF THE TOWNSHIP OF LANGLEY
LANGLEY OFFICIAL COMMUNITY PLAN BYLAW 1979 NO. 1842
AMENDMENT (WILLOUGHBY COMMUNITY PLAN) BYLAW 1998 NO. 3800
AMENDMENT (YORKSON NEIGHBOURHOOD PLAN) BYLAW 2001 NO. 4030
AMENDMENT (LATIMER NEIGHBOURHOOD PLAN) BYLAW 2015 NO. 5101
AMENDMENT (QUALICO DEVELOPMENT (VANCOUVER) INC.) BYLAW 2019 NO. 5451

EXPLANATORY NOTE

Bylaw 2019 No. 5451 amends the Willoughby Community Plan, Yorkson Neighbourhood Plan and Latimer Neighbourhood Plan by amending the land use designation of a portion of 7720 and 7780 – 202A Street, adding a portion of 7780 – 202A Street to Energy Conservation and GHG Emission Reduction Development Permit Area, removing a portion of 7720 – 202A Street from Energy Conservation and GHG Emission Reduction Development Permit Area and changing the Plan boundaries.

THE CORPORATION OF THE TOWNSHIP OF LANGLEY
LANGLEY OFFICIAL COMMUNITY PLAN BYLAW 1979 NO. 1842
AMENDMENT (WILLOUGHBY COMMUNITY PLAN) BYLAW 1998 NO. 3800
AMENDMENT (YORKSON NEIGHBOURHOOD PLAN) BYLAW 2001 NO. 4030
AMENDMENT (LATIMER NEIGHBOURHOOD PLAN) BYLAW 2015 NO. 5101
AMENDMENT (QUALICO DEVELOPMENT (VANCOUVER) INC.) BYLAW 2019 NO. 5451

A Bylaw to amend the Willoughby Community Plan Bylaw No. 3800, the Yorkson Neighbourhood Plan Bylaw No. 4300 and the Latimer Neighbourhood Plan Bylaw No. 5101

The Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

- This Bylaw may be cited for all purposes as "Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 Amendment (Yorkson Neighbourhood Plan) Bylaw 2001 No. 4030 Amendment (Latimer Neighbourhood Plan) Bylaw 2015 No. 5101 Amendment (Qualico Developments (Vancouver) Inc.) Bylaw 2019 No. 5451".
- 2. The "Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 as amended is further amended with respect to lands described as:

Portions of Lots 23 and 25 Section 23 Township 8 New Westminster District Plan 2759

- a) By amending Map 1 to change the land use designation for a portion of the lands to "Multi Family" and "Mixed Residential" for the area shown on Schedule "A" attached to and forming part of this Bylaw
- b) By amending Map 4A to add a portion of the lands to Energy Conservation and GHG Emission Reduction Development Permit Area and remove a portion of the lands from Energy Conservation and GHG Emission Reduction Development Permit Area as shown on Schedule "A" attached to and forming part of this Bylaw
- c) By amending Map 5 to change the boundary between the Yorkson Neighboruhood Plan and the Latimer Neighboruhood Plan as shown on Schedule "A" attached to and forming part of this Bylaw.
- 3. The "Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 Amendment (Yorkson Neighbourhood Plan) Bylaw 2015 No. 4030" as amended is further amended with respect to lands described as:

Portions of Lots 23 and 25 Section 23 Township 8 New Westminster District Plan 2759

- a) By amending Maps 1, 2, 3 and 4 to amend the Plan boundary and change the land use designation for a portion of the lands to "Mixed Residential" for the area shown on Schedule "A" attached to and forming part of this Bylaw
- 3. The "Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 Amendment (Latimer Neighbourhood Plan) Bylaw 2015 No. 5101" as amended is further amended with respect to lands described as:

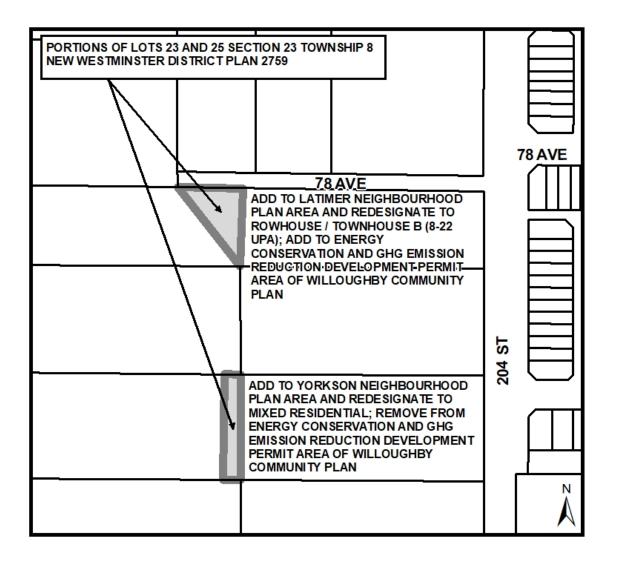
Portions of Lots 23 and 25 Section 23 Township 8 New Westminster District Plan 2759

a) By amending Maps 1, 2, 3 and 4 to amend the Plan boundary and change the land use designation for a portion of the lands to "Rowhouse/Townhouse B (8 – 22 upa)" for the area shown on Schedule "A" attached to and forming part of this Bylaw

READ A FIRST TIME the	15	day of	April	, 2019
READ A SECOND TIME the	15	day of	April	, 2019
PUBLIC HEARING HELD the	13	day of	May	, 2019
READ A THIRD TIME the		day of		, 2019
ADOPTED the		day of		, 2019

Mayor Township Clerk

SCHEDULE 'A' BYLAW NO. 5451



THE CORPORATION OF THE TOWNSHIP OF LANGLEY

TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500 AMENDMENT (QUALICO DEVELOPMENTS (VANCOUVER) INC.) BYLAW 2019 NO. 5452

EXPLANATORY NOTE

Bylaw 2019 No. 5452 rezones 2.80 ha (6.92 ac) of land at 7720 and 7780 – 202A Street and 7767 – 204 Street from Suburban Residential Zone SR-2 to Residential Zone R-1A and Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL(RH), and R-CL(SD) to accommodate a mixed residential development consisting of 56 lots (37 single family lots, 9 rowhouses and 10 semi-detached lots).

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500 AMENDMENT (QUALICO DEVELOPMENTS (VANCOUVER) INC.) BYLAW 2019 NO. 5452

A Bylaw to amend Township of Langley Zoning Bylaw 1987 No. 2500

The Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

- 1. This Bylaw may be cited for all purposes as "Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Qualico Developments (Vancouver) Inc.) Bylaw 2019 No. 5452".
- 2. The "Township of Langley Zoning Bylaw 1987 No. 2500" as amended is further amended by rezoning the lands described as:

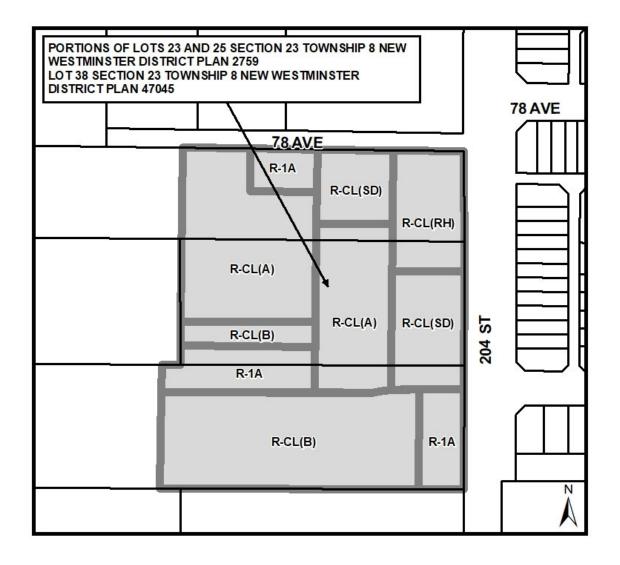
Portions of Lots 23 and 25 Section 23 Township 8 New Westminster District Plan 2759; and

Lot 38 Section 23 Township 8 New Westminster District Plan 47045

As shown delineated on Schedule "A" attached to and forming part of this Bylaw to Residential Zone R-1A and Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL(RH) and R-CL(SD) as shown on Schedule "A".

READ A FIRST TIME the	15	day of	April	, 2019
READ A SECOND TIME the	15	day of	April	, 2019
PUBLIC HEARING HELD the	13	day of	May	, 2019
READ A THIRD TIME the		day of		, 2019
ADOPTED the		day of		, 2019
			Township Clerk	

SCHEDULE 'A' BYLAW NO. 5452





REPORT TO MAYOR AND COUNCIL

PRESENTED: APRIL COMMI

APRIL 15, 2019 - REGULAR EVENING MEETING

COMMUNITY DEVELOPMENT DIVISION

SUBJECT: OFFICIAL COMMUNITY PLAN AMENDMENT AND

REZONING APPLICATION NO. 100162

DEVELOPMENT PERMIT APPLICATION NO. 100978 AND DEVELOPMENT VARIANCE PERMIT APPLICATION NO. 100105 (QUALICO DEVELOPMENTS / 7720 AND 7780 – 202A STREET, AND

7767 - 204 STREET)

PROPOSAL:

Application to amend the Willoughby Community Plan, the Yorkson Neighbourhood Plan, and the Latimer Neighbourhood Plan, and rezone approximately 2.8 ha (6.92 ac) of land located in the southwest phase of the Yorkson Neighbourhood Plan in order to facilitate a proposed mixed residential development consisting of 56 lots (37 single family lots, nine (9) rowhouses and 10 semi-detached lots).

RECOMMENDATION SUMMARY:

That Council give first and second reading to Bylaws No. 5451 and 5452, subject to completion of 10 development prerequisites, authorize issuance of Development Permit No.100978 for 37 single family lots, and consider issuance of Development Variance Permit No.100105 to vary siting provisions; and that staff be authorized to schedule the required Public Hearing.

RATIONALE:

The proposed development is consistent with the overall objectives of the Willoughby Community Plan, the Yorkson Neighbourhood Plan and the Latimer Neighbourhood Plan.



REPORT:

FILE:

19-71

08-23-0173



OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
DEVELOPMENT PERMIT APPLICATION NO. 100978
DEVELOPMENT VARIANCE PERMIT NO. 100105
(QUALICO DEVELOPMENTS (VANCOUVER) INC.
7720 AND 7780 – 202A STREET, AND 7767 – 204 STREET)
Page 2 . . .

RECOMMENDATION:

That Council give first and second reading to the Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 Amendment (Yorkson Neighbourhood Plan) Bylaw 2001 No. 4030 Amendment (Latimer Neighbourhood Plan) Bylaw 2015 No. 5101 Amendment (Qualico Developments (Vancouver) Inc.) Bylaw 2019 No. 5451 and Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Qualico Developments (Vancouver) Inc.) Bylaw 2019 No. 5452, rezoning 2.8 ha (6.92 ac) of land located in the Yorkson Neighbourhood Plan Southwest Phase to Residential Zone R-1A and Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL(RH), and R-CL(SD), to accommodate a mixed residential development consisting of 56 lots (37 single family lots, nine (9) rowhouses and 10 semi-detached lots) subject to the following development prerequisites being satisfied prior to final reading:

- A Servicing Agreement being entered into with the Township to secure required road and utility upgrades and extensions in accordance with the Township's Subdivision and Development Servicing Bylaw and Yorkson Engineering Services Plan, to the acceptance of the Township;
- 2. Completion of an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
- 3. Provision of road dedications, widenings, and necessary traffic improvements for 203 Street, 203A Street, 204 Street, 77A Avenue and 78 Avenue, in accordance with the Township's Master Transportation Plan, Subdivision and Development Servicing Bylaw and the Yorkson Neighbourhood Plan, and the Street Trees and Boulevard Plantings Policy to the acceptance of the Township;
- 4. Secure a 15 metre wide ecological greenway along a portion of the southern edge of the site consistent with the Yorkson Neighbourhood Plan greenway standards, to the acceptance of the Township, including final acceptance of the greenway landscape design plans, sidewalk/trail alignment, fencing, signage, landscape details and security;
- 5. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with the Subdivision and Development Servicing Bylaw (Schedule I Tree Protection), to the acceptance of the Township;
- 6. Registration of restrictive covenants acceptable to the Township:
 - a. Restricting development of semi-detached and rowhouse lots until a Development Permit is issued for the site;
 - b. Prohibiting clearing of the attached residential portion of the site (with the exception of servicing access areas) until such time as a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with the Subdivision and Development Servicing Bylaw (Schedule I Tree Protection), is accepted by the Township;
 - c. Identifying the lots/units (minimum 5% of single family and attached residential lots) required to incorporate the Adaptable Housing Requirements;
 - d. Prohibiting driveway access to 204 Street and 78 Avenue;
- 7. Consolidation of the west portion of 7720 and 7780 202A Street and 7742 202A Street:
- 8. Registration of a statutory right of way between the subject site and 202A Street to allow pedestrian access from the ecological greenway to 202A Street;
- Compliance with the Community Amenity Contribution Policy (if applicable) and the requirements of the Yorkson Greenway Amenity Zoning Policy including payment of applicable greenway amenity fees;

OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
DEVELOPMENT PERMIT APPLICATION NO. 100978
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10. Payment of applicable Neighbourhood Planning Administration fees, supplemental Rezoning fees, Site Servicing Review fee, ISDC review fee, Development Works Agreement (DWA) and Latecomer charges, and compliance with the Township's 5% Neighbourhood Park Land Acquisition Policy;

That Council consider that Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 Amendment (Yorkson Neighbourhood Plan) Bylaw 2001 No. 4030 Amendment (Latimer Neighbourhood Plan) Bylaw 2015 No. 5101 Amendment (Qualico Developments (Vancouver) Inc.) Bylaw 2019 No. 5451 is consistent with the Township's Five Year Financial Plan as updated annually and with Metro Vancouver's Integrated Liquid Waste Resource Management Plan and Integrated Solid Waste and Resource Management Plan, and with the consultation requirement of Official Community Plan Consultation Policy (07-160);

That Council at time of final reading of Rezoning Bylaw No. 5452 authorize issuance of Development Permit No. 100978 for the proposed single family portions of the development, subject to the following conditions:

- a. An exterior design control agreement shall be entered into for all lands zoned Residential Zone R-1A and Residential Compact Lot Zones R-CL(A) and R-CL(B) ensuring that building design and site development standards are high quality, consistent and compatible with other lots and development in accordance with Section 4.2.1 of the Yorkson Neighbourhood Plan;
- b. Written confirmation from owner and landscape architect or arborist that the tree protection fencing identified in the tree management plan is in place;

That Council at the time of final reading of Bylaw No. 5452 authorize the issuance of Development Variance Permit No. 100105 (siting variance) as follows:

- a) Section 401.5 (1) Siting of Buildings and Structures of Township of Langley Zoning Bylaw No. 2500 is hereby varied to reduce the minimum front line setback requirement from 6.0 metres to 2.5 metres for the principal building on proposed Lots 9, 10, 18 and 56, indicated on Schedule "A";
- b) Section 401.5 (1) Siting of Buildings and Structures of Township of Langley Zoning Bylaw No. 2500 is hereby varied to reduce the minimum interior side lot line (abutting a street) setback requirement from 3.0 metres to 2.5 metres on proposed Lots 9, 10, 18 and 56, indicated on Schedule "A"; and further

That Council authorize staff to schedule the required Public Hearing for the Neighbourhood Plan amendment bylaw and rezoning bylaw in conjunction with the hearing for proposed Development Permit No. 100978 and Development Variance Permit No. 100105.

EXECUTIVE SUMMARY:

Qualico Developments has applied to amend the Willoughby Community Plan, Yorkson Neighbourhood Plan and Latimer Neighbourhood Plan and to rezone 2.8 ha (6.92 ac) of land in the Yorkson Neighbourhood Plan southwest phase to Residential Zone R-1(A), and Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL(RH), and R-CL(SD). The proposed rezoning will allow a mixed residential development consisting of 56 lots (37 single family lots, nine (9) rowhouses and 10 semi-detached lots).

OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
DEVELOPMENT PERMIT APPLICATION NO. 100978
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(QUALICO DEVELOPMENTS (VANCOUVER) INC.
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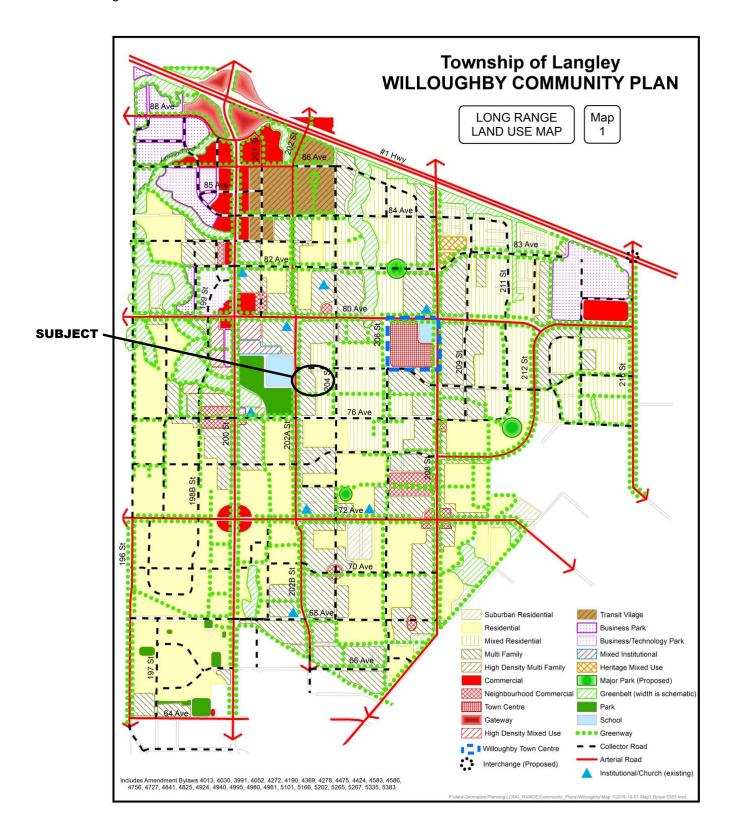
Development Permit No. 100978 is being processed in conjunction with the rezoning application to secure an exterior design control agreement for the R-1(A), R-CL(A), and R-CL(B) zoned lots at the time of subdivision. Future Development Permits (yet to be applied for) will provide Council with the opportunity to review the form, character and siting of the rowhouses and semidetached lots.

Although the development proposal complies with the overall objectives of the Willoughby Community Plan and the "Mixed Residential" designations of the Yorkson Neighbourhood Plan, a minor amendment to the Plan is required concerning the boundary of the Yorkson Neighbourhood Plan and Latimer Neighbourhood Plan. Staff recommend that Council consider the Neighbourhood Plan amendment and rezoning request, subject to the completion of the development prerequisites outlined in this report.

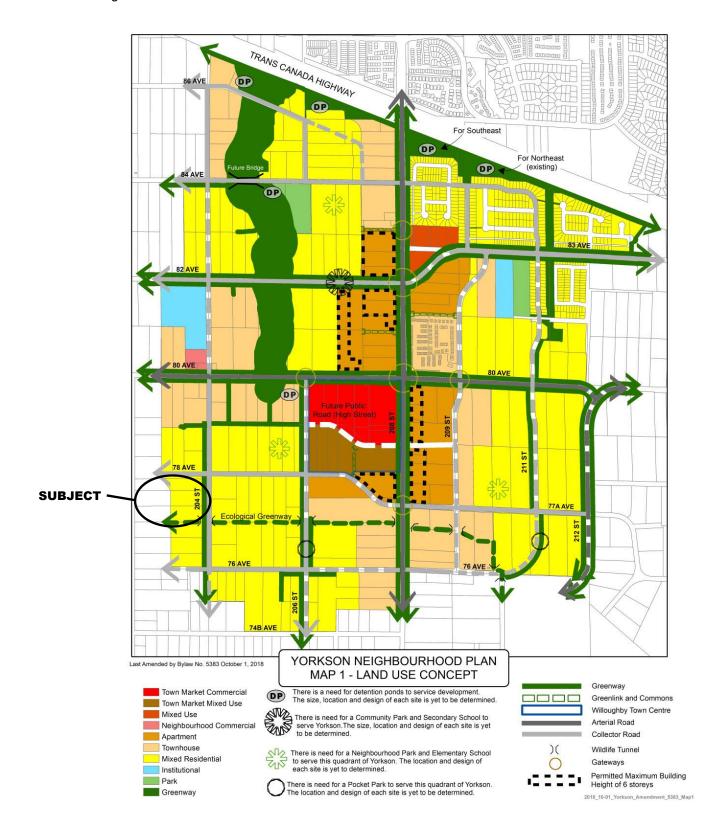
PURPOSE:

The purpose of this report is to advise and make recommendations to Council with respect to Willoughby Community Plan, Yorkson Neighbourhood Plan and Latimer Neighbourhood Plan Amendment Bylaw No. 5451, Rezoning Bylaw No. 5452, Development Permit No. 100942, and Development Variance Permit No. 100105.

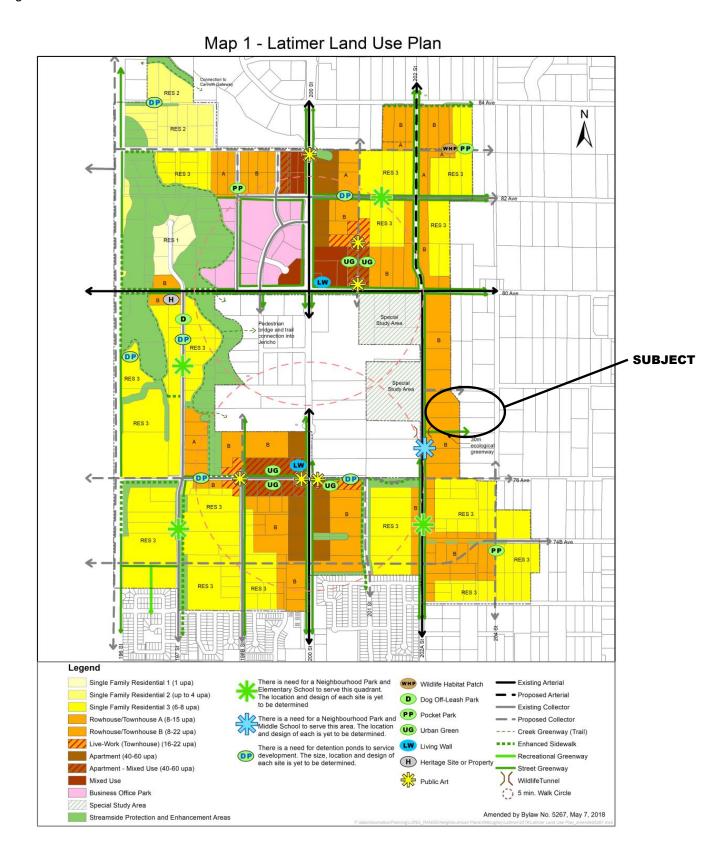
OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
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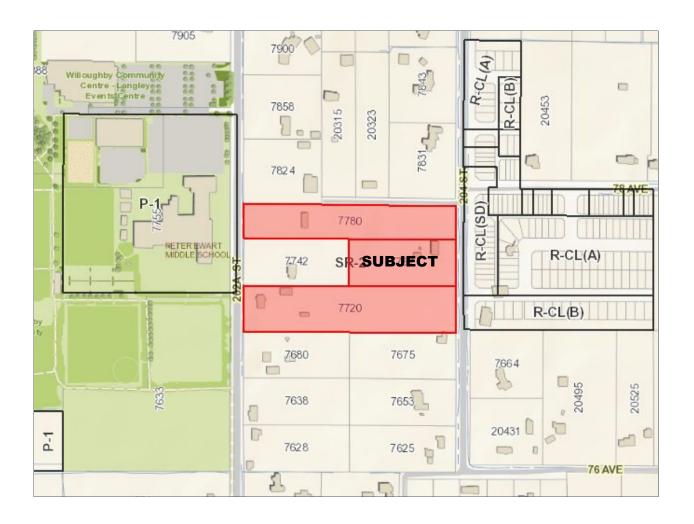
OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
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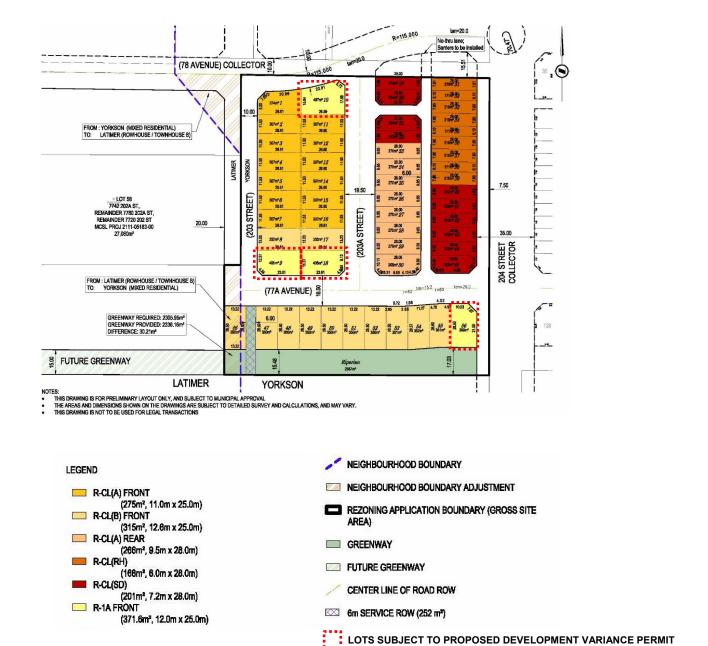


OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
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ZONING BYLAW NO. 2500

OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
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DEVELOPMENT VARIANCE PERMIT NO. 100105
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PRELIMINARY SUBDIVISION PLAN - SUBMITTED BY APPLICANT

OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
DEVELOPMENT PERMIT APPLICATION NO. 100978
DEVELOPMENT VARIANCE PERMIT NO. 100105
(QUALICO DEVELOPMENTS (VANCOUVER) INC.
7720 AND 7780 – 202A STREET, AND 7767 – 204 STREET)
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REFERENCE:

Owner / Applicant: Qualico Developments (Vancouver) Inc.

#310 – 5620 – 152 Street Surrey BC V3S 3K2

Legal Description: Portion of Lot 25 Section 23 Township 8 New

Westminster District Plan 2759

Lot 38 Section 23 Township 8 New Westminster

District Plan 47045

Portion of Lot 23 Section 23 Township 8 New

Westminster District Plan 2759

Civic Address: 7780 – 202A Street

7767 – 204 Street 7720 – 202A Street

Area: 2.8 ha (6.92 ac)

Willoughby Community Plan:

(existing)

Mixed Residential

Willoughby Community Plan:

(proposed)

Mixed Residential

Yorkson Neighbourhood Plan:

(existing)

Mixed Residential

Yorkson Neighbourhood Plan:

(proposed)

Mixed Residential

Latimer Neighbourhood Plan:

(existing)

Rowhouse / Townhouse B (8 – 22 upa);

Latimer Neighbourhood Plan:

(proposed)

Rowhouse / Townhouse B (8 – 22 upa);

Existing Zoning: Suburban Residential Zone SR-2

(0.8 ha / 2.0 ac minimum lot size)

Proposed Zoning: Residential Zone R-1A;

Residential Compact Lot Zone R-CL(A); Residential Compact Lot Zone R-CL(B); Residential Compact Lot Zone R-CL(RH); and Residential Compact Lot Zone R-CL(SD) OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
DEVELOPMENT PERMIT APPLICATION NO. 100978
DEVELOPMENT VARIANCE PERMIT NO. 100105
(QUALICO DEVELOPMENTS (VANCOUVER) INC.
7720 AND 7780 – 202A STREET, AND 7767 – 204 STREET)
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BACKGROUND/HISTORY:

The subject lands are currently zoned Suburban Residential Zone SR-2. The area under application consists of three (3) parcels. The three (3) lots in the land assembly are located on the south side of 78 Avenue and on the west side of 204 Street. The boundary between the Yorkson Neighbourhood Plan and the Latimer Neighbourhood Plan bisects two of the properties included in the application. The portion of the properties located in the Yorkson Neighbourhood Plan are designated "Mixed Residential" (20-25 units per hectare / 8-10 units per acre). The Yorkson Neighbourhood Plan identifies a 30 metre wide ecological greenway on the south edge of the assembly (connecting 204 Street with 202A Street) and a street greenway on the west side of 204 Street.

Staff note that the first development application to proceed in the Southwest Phase of the Yorkson Neighbourhood (File No. 08-23-134) provided the community stormwater detention pond, and school and neighbourhood park for the subject area.

DISCUSSION/ANALYSIS:

Qualico Developments (Vancouver) Inc. has applied to amend the Willoughby Community Plan, Yorkson Neighbourhood Plan and Latimer Neighbourhood Plan and to rezone 2.8 ha (6.92 ac) of land in the Yorkson Neighbourhood Plan Southwest Phase from Suburban Residential Zone SR-2 to Residential Zone R-1A and Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL(RH) and R-CL(SD). The proposed rezoning will facilitate a mixed residential development consisting of 56 lots (37 single family lots, nine (9) rowhouses and 10 semi-detached lots).

Adjacent Uses:

North: 78 Avenue, beyond which are lots zoned Suburban Residential Zone SR-2 and

designated Mixed Residential in the Yorkson Neighbourhood Plan;

South: Ecological Greenway, as identified in the Yorkson Neighbourhood Plan, beyond

which are lots zoned Suburban Residential Zone SR-2 and designated Mixed

Residential in the Yorkson Neighbourhood Plan;

East: 204 Street, beyond which are lots zoned Residential Compact Lot Zones

R-CL(B) and R-CL(SD) and designated Mixed Residential in the Yorkson

Neighbourhood Plan; and

West: Lots zoned Suburban Residential SR-2, designated Rowhouse/Townhouse

B (8 – 22 upa) in the Latimer Neighbourhood Plan, beyond which is 202A Street

and RE Mountain Secondary School.

Community Plan Amendment:

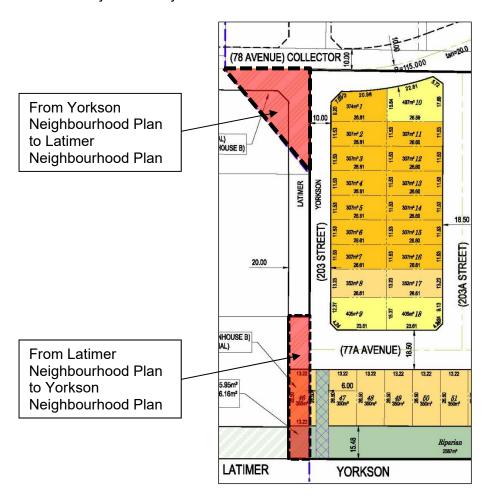
The east portion of 7780 and 7720 – 202A Street and 7767 – 204 Street are designated Mixed Residential in the Willoughby Community Plan, with their west portion designated Multi Family. Bylaw No. 5451 proposes a minor change to the boundary between the Yorkson Neighbourhood Plan and the Latimer Neighbourhood Plan to accommodate the development. The applicant has provided the following rationale for the proposed plan amendment:

The proposed development includes one R-CL(B) lot (proposed lot #46) that falls on the boundary of the Latimer and Yorkson NPs. This lot is serviceable within the Yorkson NP. To create a logical transition between the Latimer and Yorkson NPs land uses, a minor NP boundary adjustment is recommended in order to facilitate

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the creation of this lot. Similarly, at the north portion of the assembly involving 7780 – 202A Street, the Latimer and Yorkson NP boundary exists as a diagonal border which does not relate in any logical fashion to the pattern of development being proposed. In this situation it is suggested that a similar boundary adjustment take place, logically extending the "Rowhouse/Townhouse B" designation slightly eastward to match the logical boundary at proposed 203 Street.

The proposed plan amendments are illustrated on the plan below. Staff do not object to the proposed plan amendment as it results in a consistent land use and building form on the subject and adjacent site.



Zoning Amendment:

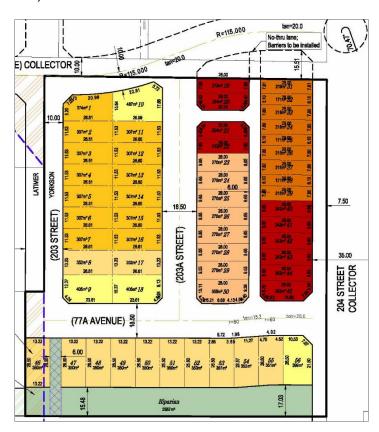
The subject development site is currently zoned Suburban Residential Zone SR-2. Bylaw No. 5452 proposes to rezone the site to Residential Zone R-1A and Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL(RH), and R-CL(SD), The rezoning will facilitate development of a mixed residential development consisting of 56 lots (37 single family lots, nine (9) rowhouses and 10 semi-detached lots).

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DEVELOPMENT PERMIT APPLICATION NO. 100978
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Development Variance Permit No. 100105:

As required by the Yorkson Neighbourhood Plan, the proposal includes three (3) single family residential types consisting of Residential Zone R-1A and Residential Compact Lot Zones R-CL(A) and R-CL(B). The setbacks of Residential Zone R-1A lots (proposed lots 9, 10, 18 and 56) differ from the setbacks of the proposed compact zone lots. In order to facilitate consistency in the setbacks of the proposed Residential Zone R-1A lots with the Residential Compact Lot Zones R-CL(A) and R-CL(B) lots, the applicant is proposing the following building setback variances:

 Lots 9, 10, 18 and 56 (see preliminary subdivision plan below): Reduce the front lot line setback for the principal building (house) from 6.0m to 2.5m and the side yard setback (abutting a street) from 3.0m to 2.5m



Staff support the proposed siting variances as they will result in consistent siting of future buildings within the development.

Subdivision:

Preliminary subdivision plans have been submitted in support of the rezoning application. Details of the subdivision will be addressed at the subdivision stage pursuant to the requirements of the Subdivision and Development Servicing Bylaw.

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7720 AND 7780 – 202A STREET, AND 7767 – 204 STREET)
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Staff note that, as the remainder portions of 7720 and 7780 – 202A Street do not comply with Section 110.1 – Minimum Subdivision Requirements of the Township's Zoning Bylaw, a condition of Rezoning Bylaw No. 5452 has been added to require the remainders of these lots be consolidated with 7742 – 202A Street.

Development Permit:

All of the Yorkson Neighbourhood Plan area is designated as a mandatory Development Permit area in the Willoughby Community Plan. The subject site is located in "Development Permit Area 'B – Residential" which establishes objectives and guidelines for the form, character and siting of residential development. The primary objective of the development permit area designation is to encourage the development of attractive and safe residential areas and reduce conflict with adjacent land uses.

The specific development permit area guidelines outlined in the Plan related to single family residential development are attached to this report (Attachment B). For the single family residential lots, the Development Permit guidelines are implemented by a Development Permit requirement that the proponent enter into an exterior design control agreement at the time of subdivision. The exterior design control agreement typically addresses the form, character and siting of individual single family homes constructed in a development.

Future Development Permit applications are required for the attached residential component of the development (rowhouses and semi-detached lots) at which time Council will have an opportunity to review form, character and siting matters prior to building permits being issued. The Development Permit typically details the form and character of each development including siting, access, parking, landscaping, building materials, colours, building elevations and other site development items. As a condition of final reading, the proponent must register a restrictive covenant prohibiting development of the attached residential portion of the development until such time as a Development Permit has been issued.

Adaptable Housing:

In accordance with Section 4.2.1(9) of the Yorkson Neighbourhood Plan a minimum of 5% of the single family and townhouse units in any residential development shall provide adaptable housing. Council has chosen to implement this provision through the adoption and implementation of the Adaptable Housing Requirements. The adaptable units are to be identified and secured by restrictive covenant prior to final reading.

Community Amenity Contributions:

Staff note that Council on July 23, 2018 adopted a community Amenity Contributions (CAC) Policy applicable to rezoning applications for residential development. Given this application was submitted prior to adoption of the policy, a twelve (12) month grace period applies to the application, requiring it to receive final reading by July 22, 2019 to be exempt from the policy. After the grace period ends the amenity contribution under the CAC policy will become applicable.

OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100162
DEVELOPMENT PERMIT APPLICATION NO. 100978
DEVELOPMENT VARIANCE PERMIT NO. 100105
(QUALICO DEVELOPMENTS (VANCOUVER) INC.
7720 AND 7780 – 202A STREET, AND 7767 – 204 STREET)
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School Sites:

School District 35 has provided comments (Attachment D) and anticipates that the proposed development will generate approximately 23 new students for Willoughby Elementary (located approximately 850 metres northeast of the site), nine (9) new students for Peter Ewart Middle School (located approximately 150 metres west of the site) and 11 students for RE Mountain Secondary School (located approximately 150 metres west of the site).

Parks:

The closest existing park is Willoughby Community Park located approximately 400 metres to the west of the site. A future neighbourhood park / elementary school site has been secured on 78 Avenue to the northeast of the proposed development. The Yorkson Neighbourhood Plan identifies a need for a pocket park to serve this quadrant of Yorkson. The exact location of the park is to be determined.

Greenways and Pedestrian Connections:

The applicant is required to secure a 15 metre wide ecological greenway along the southern portion of the site (to eventually connect 204 Street and 202A Street). Details of the open space improvements are required to be finalized to the acceptance of the Township prior to final reading of the rezoning bylaw. As a condition of final reading the proponent will be required to transfer any greenway lots to the Township, and secure construction of the greenways as part of a Servicing Agreement.

A condition of final reading has been included requiring the applicant to provide a statutory right of way providing access between the subject site and 202A Street to allow pedestrian access from the ecological greenway to 202A Street.

The Yorkson Neighbourhood Plan implements an amenity charge collected on all developments within Yorkson. Prior to final reading, details with respect to payment and/or compensation must be finalized. The proposal also includes a permanent pedestrian connection from the greenway to 77A Avenue.

Tree Protection/Replacement:

Staff note that, in accordance with the development prerequisites, a restrictive covenant prohibiting clearing (with the exception of servicing access areas) until such time as a development permit is issued will be registered on the west portion of 7720 and 7780 – 202A Street as well as 7742 – 202A Street. As a result, tree management plans for the lands west of proposed 203A Street will be reviewed in conjunction with future development applications on these lands.

The Integrated Site Design Concept (ISDC) submitted by the applicant indicates that 231 significant trees exist on the subject site east of proposed 203 Street and within the required road/greenway dedications, with one (1) tree proposed for retention. According to the applicant's arborist report the majority of the noted significant trees are in "fair" condition, are "suppressed" and growing in close proximity to one another within a "tree row" or "grove".

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In accordance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection), a total of 178 replacement trees are required. The applicant is proposing 61 replacement trees to be planted on the single family compact lots. In addition, approximately 60 street trees are required along the road frontages (in compliance with the Township's Street Trees and Boulevard Plantings Policy). Post development approximately 121 trees will be in place. Funds for the remaining replacement tree requirement will be secured for tree planning on identified public lands. Final tree retention, protection, and replacement plans are subject to the final acceptance of the Township. This requirement has been included in the list of development prerequisites to be completed prior to final reading of the rezoning bylaw.

Environmental Considerations:

The Township's Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township's Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Schedule 3 of the OCP, Erosion and Sediment Control Bylaw, and Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations. The provision of stormwater management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter.

Servicing:

Prior to final reading, the applicant is required to enter into a Servicing Agreement to secure works and services such as construction of road works, greenways, tree replacement and utility upgrades and/or extensions in accordance with the Subdivision and Development Servicing Bylaw, the Yorkson Neighbourhood Plan and the Latimer Neighbourhood Plan to the acceptance of the Township. The applicant will also be required to provide erosion and sediment control measures in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township.

Road dedications, widening, and necessary traffic improvements for 203 Street, 203A Street, 204 Street, and 77A Avenue and 78 Avenue will be required in accordance with the Township's Master Transportation Plan, the Subdivision and Development Servicing Bylaw, the Yorkson Neighbourhood Plan and the Latimer Neighbourhood Plan to the satisfaction of the Township. As the property at 7831 – 204 Street is not included in the proposal, the intersection of 204 Street and 78 Avenue requires an interim and ultimate design in accordance with the Subdivision and Development Servicing Bylaw to the satisfaction of the Township.

A Class B roadside watercourse is located along the western boundary of the subject site. The Yorkson Neighbourhood Plan anticipates this watercourse being incorporated into a non-disturbance area on the west side of 204 Street between 76 and 80 Avenue. Due to the location of a Metro Vancouver water main west of 204 Street, the dedicated watercourse non-disturbance area will be located on the east side of 204 Street. This item was secured as part of the development of the lands on the east side of 204 Street (ToL Project No. 08-23-0134 / Qualico Developments (Vancouver) Inc.). The street greenway indicated on the west side of 204 Street in the Yorkson Neighbourhood Plan has also been included on the east side of 204 Street.

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Transit:

Transit service is currently provided via the 501 bus on 202A Street (approximately 150 metres from the subject site) and on 200 Street (approximately 650 metres from the subject site).

Official Community Plan Consultation Policy:

Council's Official Community Plan Consultation Policy requires Council to consider the OCP amendment in conjunction with the financial plan and any applicable waste management plan. Staff recommend that Council consider the proposed OCP amendment consistent with the Township's financial plans (both operating and capital) and Metro Vancouver's waste management plans.

Public Consultation:

As per Policy No. 07-164, the applicant held a Public Information Meeting (PIM) for this (included as Application C) and two (2) other development proposals in the area on July 26, 2018 at the Willoughby Community Centre. Results of the Developer Held Public Information Meeting were compiled and are provided on Attachment E.

POLICY CONSIDERATIONS:

The proposed Willoughby Community Plan, Yorkson Neighbourhood Plan and Latimer Neighbourhood Plan amendments, rezoning, Development Permit, and Development Variance Permit will facilitate the development of a mixed residential development consisting of 56 lots (37 single family lots, nine (9) rowhouses and 10 semi-detached lots). The proposed amendments to the Willoughby Community Plan, Yorkson Neighbourhood Plan and Latimer Neighbourhood Plan are, in staff's opinion, consistent with the broader objectives, vision and principles outlined in the Plans. Although the development proposal complies with the overall objectives of the Willoughby Community Plan and the "Mixed Residential" designations of the Yorkson Neighbourhood Plan, a minor amendment to the Plan is required concerning the boundary of the Yorkson Neighbourhood Plan and Latimer Neighbourhood Plan.

Staff recommend that Council give first and second reading to Bylaws No. 5451 and 5452 (subject to eight (8) development prerequisites) and authorize issuance (at time of final reading of Bylaw No. 5452) of accompanying Development Permit No. 100978 and Development Variance Permit No. 100105 and authorize staff to schedule the required Public Hearing.

Respectfully submitted,

Joel Nagtegaal
DEVELOPMENT PLANNER
for
COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A Development Permit No.100978

ATTACHMENT B Development Variance Permit No.100105

ATTACHMENT C Willoughby Development Permit Area B – Residential Guidelines

ATTACHMENT D School District 35 comments

ATTACHMENT E Public Information Meeting comments

ATTACHMENT A

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Pe	rmit No. DP10	00978	
This Permit is iss	sued this	day of	, 2019 to:
1. Name:	Qualico Dev	velopments (Vancouver) Inc.	
Address:	310 – 5620 Surrey BC \		

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Portion of Lot 25 Section 23 Township 8 New Westminster

District Plan 2759

Lot 38 Section 23 Township 8 New Westminster District Plan

47045

Portion of Lot 23 Section 23 Township 8 New Westminster

District Plan 2759

CIVIC ADDRESS: 7720 – 202A Street

7780 – 202A Street 7767 – 204 Street

- 3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:
 - a. An exterior design control agreement shall be entered into for all lands zoned Residential Zone R-1A and Residential Compact Lot Zones R-CL(A) and R-CL(B) ensuring that building design and site development standards are high quality, consistent and compatible with other lots and development in accordance with Section 4.2.1 of the Yorkson Neighbourhood Plan;
 - b. Written confirmation from owner and landscape architect or arborist that the tree protection fencing identified in the tree management plan is in place;
- 4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Development Permit shall be substantially commenced within two years after the date the Development Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding respective heirs, executors, administrators, successors	•	eto and their
AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS _	DAY OF	, 2019

ATTACHMENT B

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

This F	ermit is iss	ued this	day of		, 2019 to:	
1.	Name:	Qualico Develo	pments (Vancouver) Inc.		
	Address:	310 – 5620 – 2 Surrey BC V3S	-			
2.	This permit applies to and only to those lands within the Municipality described as follow and to any and all buildings, structures and other development thereon:					
	LEGAL D	ESCRIPTION:	District Plan 2759		wnship 8 New Westmi Iew Westminster Distr	
			Portion of Lot 23 S District Plan 2759	ection 23 To	wnship 8 New Westmi	nster

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:

7720 – 202A Street 7780 – 202A Street 7767 – 204 Street

- a. Section 401.5 (1) Siting of Buildings and Structures of Township of Langley Zoning Bylaw No. 2500 is hereby varied to reduce the minimum front line setback requirement from 6.0 metres to 2.5 metres for the principal building on proposed Lots 9, 10, 18 and 56, indicated on Schedule "A":
- b. Section 401.5 (1) Siting of Buildings and Structures of Township of Langley Zoning Bylaw No. 2500 is hereby varied to reduce the minimum interior side lot line (abutting a street) setback requirement from 3.0 metres to 2.5 metres on proposed Lots 9, 10, 18 and 56, indicated on Schedule "A"; and further
- 4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

Development Variance Permit No. 100105

CIVIC ADDRESS:

All developments forming part of this Development Variance Permit shall be substantially commenced within two years after the date the Development Variance Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

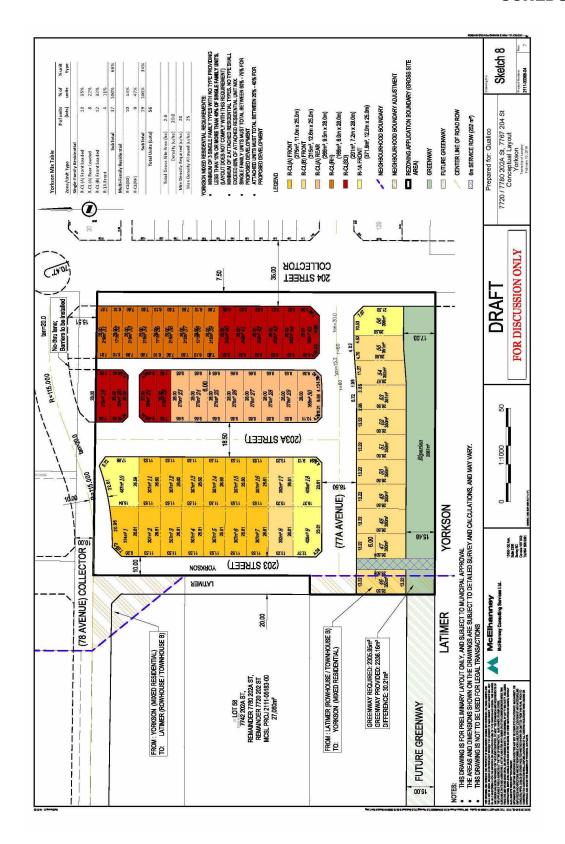
It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2019.

SCHEDULE A – Preliminary Subdivision Plan

SCHEDULE A



4586 04/02/08

4.1.2 DEVELOPMENT PERMIT AREA "B" - RESIDENTIAL

Lands identified as "Residential" on Map 4, Development Permit Areas are hereby designated as development permit areas under Section 488(1)(e) and (f) of the Local Government Act to establish objectives and provide guidelines for the form and character of intensive and multi family residential development.

The objective of this development permit area designation is to encourage development of attractive and safe multi family areas.

Unless the owner first obtains a development permit, land within this development permit area shall not be subdivided, and construction of, addition to or alteration of a multi family dwelling (including a townhouse, rowhouse, apartment, duplex, triplex or fourplex) must not be started. Development permit guidelines are as follows:

4.1.2.1 GENERAL

The following general guidelines apply to all development within Development Permit Area "B."

4.1.2.2 SINGLE FAMILY DEVELOPMENT

General

 Single family developments shall enter into an Exterior Design Control Agreement (to be registered on title as a restrictive covenant) prior to final subdivision approval and to the acceptance of the Township. The agreement shall incorporate the following single family development permit guidelines.

Architectural Details

- No residential units shall back onto a public road or street greenway other than 212 Street between 76 and 80 Avenues.
- All building elevations visible from public land (i.e. parks, roads, greenways and detention pond sites) shall provide architectural detailing to be consistent with the front of the building.

Parking and Traffic/Pedestrian Circulation

 Where single-family lots abut an arterial road or a street greenway vehicular access and parking shall be provided via a rear lane or any other vehicular access from the rear of the property while retaining the front pedestrian access of the building facing the street.

Landscaping

Fences adjacent to a street greenway shall not exceed 122 cm (48 inches) in height.
 These fences shall be designed to complement the building and be an open picket fence design. Fences must permit observation of the public realm and incorporate landscaping to soften their appearance from the road.

Building Form

 Pitched roofs are required. Pitched roofs shall have architectural grade roof material, including ridge caps and shadow lines.

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4.1.2.3 MULTIPLE UNIT DEVELOPMENT

General

The following guidelines apply to all multiple-unit development including but not limited to apartment, townhouse, rowhouse, duplex, triplex and fourplex buildings.

Site Design

- While providing individual design character, buildings shall be designed to integrate and complement adjacent developments with respect to siting, setbacks, design, exterior finish, landscaping and parking areas. Facade and roofline articulation with porches and other projecting elements is required. Blank or undifferentiated facades shall be avoided.
- Buildings shall be sited and designed to maximize sun penetration to adjacent roads, sidewalks and properties.
- Buildings sited on corners shall address both street edges, shall express a visually stimulating 'landmark' architecture, and be massed to define the intersection.
- o On sloping sites, buildings should be massed to create a terraced form of development and provide view opportunities for a majority of housing units.
- Site planning and landscaping for residential development should take into account established principles of Crime Prevention Through Environmental Design (CPTED) – including opportunities for neighbourhood surveillance of pathways, landscaped areas and roadways and provision of defensible space that is clearly separated by fences, landscaping or paving, readily visible by residents and adequately lit.
- In order to allow for stormwater infiltration to maintain flow in watercourses, development is encouraged to maintain low surface imperviousness through compact building form and site layout, consideration shall be given to alternative stormwater and road standards, use of pervious surface materials where feasible and preservation of existing vegetation.
- Multi family buildings shall be designed to maximize avoidance of leaky condominium syndrome by using industry best building practices.
- Mail box kiosks located within a stratified development shall be protected from the weather, be architecturally integrated into the development and be located adjacent to a visitor parking stall with pull-out.
- Presenting garages to public roads is discouraged. Offsetting garages behind the front face of the building is encouraged. Carports are not permitted. Developments shall register a restrictive covenant on title preventing conversion of the garage to any other use that prohibits vehicle storage.
- Development of street facing buildings (i.e. the front door is facing towards the municipal roadway) is required abutting a street or street greenway, other than 200 and 212 (between 76 and 80 Avenues) Streets.
- A pedestrian connection shall be provided from each development site to adjacent streets, street greenways, or public spaces. Public, semi-public and private space shall be clearly delineated.
- A strong street presence is required through inclusion of elements such as extended porches and patios, recessed entries, ground oriented units with direct pedestrian street access, and other similar arrangements. Where individual street access to residential units is not practical, building design should foster a relationship with the adjacent street and pedestrians using the street.
- Buildings should be oriented to streets, greenways, or other public spaces, neither gated nor turning away from the public realm, to provide overview for safety and encourage resident involvement with the activities of the neighbourhood.
- o Pedestrian street access to individual residential units is strongly encouraged in order to reinforce pedestrian activity and street life.
- Private outdoor spaces of residential buildings fronting public streets shall provide a sense
 of separation while still contributing to the streetscape. Semi-private outdoor spaces
 adjacent to the public realm shall be similarly arranged.
- Private driveway access over greenways should be consolidated and minimized to ensure maximum safety of the users of the greenway. Private driveways may be restricted to laneway access only.

Building Form

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- Roofscape is an important element of building design. Green roofs and green walls are encouraged in compliance with the BC Building Code. Roofs may also be developed to provide resident amenity. Open areas of flat roofs shall be finished with pavers or other coloured materials to enhance the view from above. Pitched roofs are required unless a green roof or amenity space incorporating landscaping is provided. Flat roofs shall be designed to enhance the view from adjacent buildings with patterned, textured and/or coloured materials and also include activity areas and or green roofs. Low albedo (light coloured) roofing should be used to the greatest possible extent consistent with appearance from above and avoidance of glare from light reflection for the visual comfort of occupants.
- Ground level and roof areas created by setbacks shall be used as active outdoor space wherever possible, arranged to create 'eyes on the street', and appropriately landscaped.
- Building entrances should be clearly identified by the architecture of the building and include articulation or added elements to provide weather protection.

Exterior Design and Finish

- The main entrance of the building should be clearly identified by the architecture of the building and include such elements as pedestrian awnings, canopies, and building overhangs to provide protection from the weather.
- Exterior finish of buildings shall be high quality to ensure integrity of the building envelope design, and to present an attractive appearance.
- Exterior materials, colours and textures shall be selected and applied in the context of newer residential and mixed use developments as well as overall community character.
- o Acceptable wall cladding materials include natural and manufactured stone, brick masonry, wood, fiber cement composite siding and panels, metal, and glass. Vinyl as a secondary material is permitted, however, a variety of cladding orientation, material, design and/or colour shall be used. Stucco cladding materials may also be used, however are discouraged, and may not fill more than 25% of any wall surface.
- o Glass elements incorporated into weather protection shall be frosted, or provided with other translucent finish, to maintain acceptable appearance between maintenance cycles.
- Mechanical equipment shall be screened or integrated with the roof form, as viewed from the street or higher buildings, in a manner consistent with the overall architecture of the building.
- To provide visual interest elevations of buildings facing a street shall have architectural details such as roofline height, varied colour treatments, windows, articulation in the building envelope, etc.
- Building elevations that are visible from adjacent roads, municipal greenway or other public spaces shall be designed with the same level of care and attention in terms of character, articulation, fenestration, architectural detail, and material quality.
- All exposed base supports for structures that include signage, amenity features, building appurtenances and other site elements shall be architecturally integrated into the overall site design. Unadorned concrete and metal is not permitted.

Landscaping

5101 28/09/15 Significant tree stands and tree corridors shall be incorporated into the development. A
Tree Management Plan shall be prepared and submitted in compliance with the
Subdivision and Development Servicing Bylaw 2011 No. 4861 (Schedule I – Tree
Protection), as amended from time to time.

- o Roof top patios shall be landscaped with water and electrical outlets.
- On-site landscaping shall be required to enhance the appearance of the development, screen parking, loading and utility areas, and garbage containers/enclosures from adjacent properties and roadways. Best efforts should be made to appropriately screen all utility boxes and meters.
- o A landscape plan shall be prepared by a registered B.C. Landscape Architect.
- Playground facilities shall be provided, in accordance with the Township's Child Friendly Amenity Area requirements, as amended.
- o Entrances shall be articulated with appropriate low fencing and high quality features to provide distinction between public and private space.
- Where lots abut municipal property (i.e. environmental area or a park) a black coated chain link fence shall be constructed to municipal standard. If an adequately landscaped buffer (native plant species are encouraged) of at least 2 metres in width is provided on the greenway side of the fence to the acceptance of the Township, other fence types may be used provided they are visually permeable above 122 cm (48 inches) and do not exceed 180cm (6 feet) in total height.
- If security fencing is required for storage areas, black coated chain link fencing screened with hedging material may be used.
- A 5 metre wide landscaping area and a fence shall be provided on multi family properties along abutting lots designated for non residential development (other than municipal greenspace). Fences should be aesthetically designed and reflect adjacent residential building character where applicable.
- The use of perimeter berms (in most circumstances), high fences and security gates is not permitted to provide surveillance and a more pedestrian-friendly street system. Fences adjacent to a public road allowance or a street greenway shall not exceed 122 cm (48 inches) in height. These fences shall complement the building in terms of design character, materials, and colour. Fences must permit observation of the public realm and incorporate landscaping to soften their appearance form the road.
- Landscape materials and design, on development sites and within road right-of-ways and other public spaces, shall be selected in the context of adjacent developments as well as overall community character, all in consultation with the Township.
- Landscape site planning and design shall incorporate both hard and soft materials in support of the principles of CPTED.
- Where fencing or guards are used for life safety purposes or public/private space definition within the landscape, such enclosures shall be as transparent as possible in support of CPTED objectives.
- All retaining walls shall be composed of split face concrete block, natural stone, or patterned cast-in-place concrete. Material selection shall be in the context of, and integrate with similar installations on adjacent properties.
- The public realm shall incorporate street furniture and amenities, heritage artifacts, and public art pieces, to enhance the pedestrian experience and contribute to the character, unity and identity of the neighbourhood.
- o The design, materials and finishes of site furniture and pedestrian walkways shall be selected and should be generally consistent throughout the neighbourhood.
- Street and site furniture shall be durable and have a low life-cycle cost; be selected to discourage vandalism and use for skateboard activity; and be designed to meet the needs of a wide range of users including children, seniors, and those with disability.
- On-site utilities shall be architecturally integrated into the development or screened from view through a combination of hard and/or soft landscaping.
- o Landscape planting within residential and commercial areas shall use minimum 50% native plantings with appropriate character, and mixed with other non-invasive plants.

- Use of materials such as permeable paving to maximize surface permeability to the greatest extent possible and practical is encouraged.
- The following surface treatments shall be incorporated into on-site hard surfaces and/or walkway design as a substitute for conventional pavement in low traffic areas.
- o Porous pavement in areas with low-risk of ground water contamination. Porous pavements may be applied to lanes/access roads, driveways, and low-traffic parking areas.





 Concrete grid / modular pavers in low-traffic areas and may be applied to lanes/access roads, driveways, and low-traffic parking areas, footpaths and bike paths.





 Grass Pave/Grasscrete/Golpha plastic reinforcement products used in conjunction with gravel or grass surfaces.



 Curb cuts may be used to divert runoff from road surfaces into swales or rainwater gardens which contribute to evapotranspiration.



 Multi-use trails shall be incorporated into the development to promote pedestrian and cyclist activity and link to the surrounding trail network.

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Parking Lot Landscaping

- Screen at-grade and structured parking or service areas located within a residential building from the public street through such treatments as soft and hard landscaping elements. Where possible, parking should be integrated into the building structure or provided below grade.
- o If surface parking areas are required in multi-unit residential buildings, place them away from public view and not between the public street and the building. Design landscape parking areas so they do not detract from any rear yard amenity space.
- Provide a landscape buffer along the edges of multi-unit residential parking areas, in situations where they are along a public street. Provide breaks in the buffers to connect the sidewalk to walkways on the site. Buffers may include low shrubs, trees, and decorative fences.
- In addition to trees and landscaping around the perimeter of surface parking areas, shade trees and landscaping are required within parking lots as per Section 111 of Zoning Bylaw 1987 No. 2500 Landscape Requirements, as amended from time to time.
- Pedestrian connections should be facilitated throughout the development, including through parking lots, and to adjoining land uses.

Parking and Traffic/Pedestrian Circulation

- Pedestrian connections shall be provided throughout the development, including through parking lots, and to adjoining land uses. Ornamental paving materials (stamped and coloured concrete or better) are required for all pedestrian connections.
- Provision of underground parking is encouraged and shall be designed with CPTED principles. Access to either underground or structured parking should be from a lane if possible.
- Parking shall be provided in enclosed and secured garages attached to individual units or in a secure underground parkade.
- Tandem parking on all end units is not permitted.
- Surface parking should be provided for in a number of smaller areas rather than one large lot, and shall be located primarily in the interior of the site or otherwise screened from view. Surface parking shall integrate landscaping and other design elements to reduce the massing of parking areas. Vehicular entrances to surface parking areas shall be landscaped, not gated, to create a subtle boundary between the semi-private and public areas.
- Private driveway access over greenways should be consolidated and minimized to ensure maximum safety of the users of the greenway. Private driveways accessing arterial roads may be restricted.
- Wheelchair access shall be provided throughout the development.
- Pedestrian connections shall be clearly visible, landscaped, and provided with hard surfaces suitable for older people and wheelchairs.
- Highly detailed paving materials are required along the High Street to indicate such things as storefronts, thru traffic, seating areas, and aesthetic relief areas.







- Without compromising the safety of users, all surface parking shall be visually screened from sub-neighbourhood streets through a combination of building arrangement and landscaping.
- At grade frontage shall be for commercial uses with only the access and egress points visible from the street.
- Vehicular access and egress points shall be combined and the presence and appearance of garage entrances should be designed so that they do not dominate the street frontage of a building.
- Horizontal floor designs are preferred to allow for adaptive reuse. Scissored floor designs are discouraged.
- o Garage entrances shall have less prominence than the pedestrian entrances. A separate pedestrian entrance to the garage shall be provided. This may be achieved through:
 - The relative importance of the garage entrance reduced by enhancing the pedestrian entrance.
 - Locating the entry on the side of the facade where it will draw less attention than if it is centered on the facade.
 - Recessing the portion of the facade where the entry is located to help conceal it.
 - Extending portions of the structure over the garage entry to help conceal it.
 - Emphasizing other elements of the facade to reduce the visual prominence of the garage entry.
 - Use of screening and landscaping to soften the appearance of the garage entry from the street.
 - Locating the garage entry where the topography of the site can help conceal it.
- o Pedestrian entrances shall be separate from vehicular access points.
- Uses near access and egress points shall include design elements that reduce conflict between uses.
- Ramps to additional levels are to be contained within the structure and screened from view.
- Access and egress points shall have consistent sidewalk texture, colours and material for that portion intersecting with the streetscape.
- o Provide separate parking areas for residential and commercial uses.
- The façade shall be architecturally integrated into the building and otherwise screened from view. Green walls and planters may be used in combination with architectural integration for this effect.
- Setbacks from above the second storey shall be incorporated into the design.
- If rooftop parking is provided additional landscaping shall be required consistent with Parking Lot Landscaping. Planters with arbors shall be provided continuously along the parapet.
- Lighting on the exterior (including the roof) shall be consistent with the entire building.
 Ornamental lighting shall be used on the rooftop parking areas.
- Public and private parking shall be clearly identified through a system of numbering and signage.

5101 28/09/15

- Underground parking structures shall be planned for the convenience and safety of users; shall have walls and ceilings finished in a light coloured paint for reflectivity; and shall incorporate motion-activated lighting to the greatest extent permitted.
- Adequate secured, sheltered and screened bicycle parking be provided on-site for short term and long term bicycle parking/storage facilities.
 - Short term bicycle parking should be in well-lit locations and clearly visible from a
 main building entrance and/or public roads with bicycle racks made of sturdy, theftresistant material that is securely anchored to the floor or ground.
 - Longer term bicycle storage areas provided (secured in a separate room/enclosed area) as part of a parking structure should be located close to elevators and access points.

4825 30/05/11

4.1.2.4 TOWNHOUSES/ROWHOUSE

These guidelines are in addition to section 4.1.2.3 and apply to all townhouse and rowhouse developments.

Site Design

- Ground-oriented developments shall be designed with continuity in the design with respect to the exterior finishing materials and architectural detailing. Individual or paired units shall be significantly visually differentiated from other adjoining units (i.e. staggering in plan or elevation, varying rooflines, variation in exterior materials, variation in colour treatments, and architectural detailing).
- Developments which include multiple buildings on the same site shall include significant variation in the exterior design, façade, roofline articulation, material and colour of buildings.
- Units shall be oriented towards public roads, street greenways, natural areas, and greenlinks/commons where applicable.
- Scale building height and massing in proportion to open spaces.
- A pedestrian connection shall be provided from each development site to adjacent streets, street greenways, or public spaces. Public, semi-public and private space shall be clearly delineated.
- Tandem parking on end units is not permitted.

Landscaping

 Where there are multiple buildings on a site, buildings should be located to enclose courtyards and other landscaped spaces.

4825 30/05/11

4.1.2.5 APARTMENTS

These guidelines are in addition to section 4.1.2.3 and apply to all apartment developments.

Architectural Details

- o Street facing facades of free-standing apartment buildings shall be designed for a pedestrian scale with the first storey architecturally differentiated from upper floors.
- The apparent mass of a building shall be reduced through roof design, facade articulation and shadowing.
- o Incorporate a 'good neighbour' policy by ensuring building heights being stepped or terraced to relate to adjacent buildings.
- o Building height and massing shall be in proportion to adjacent open space.

- o The main entrance of each apartment building should include an awning, canopy, portecochere or other architectural element to provide protection from the weather.
- o Orient the main building entrance to the street and provide a secondary building entrance and pedestrian link to adjacent municipal greenspace where applicable.
- Avoid blank or undifferentiated facades.
- o Provide weather protection from parking area to front entrance where appropriate.

Landscaping

 Where there are multiple buildings on a site, buildings should be located to provide common space such as courtyards.

Parking and Traffic/Pedestrian Circulation

- o Minimize above grade projection of parking structures.
- o Provide drop-off areas at grade level near the main building entrance where possible.
- o Provide resident parking underground or within the building.



1 March 2019

Joel Nagtegaal Development Planner Township of Langley 20338 65 Avenue Langley, BC V2Y 3J1

Re: Development Application Project 08-23-0173/QUALICO DEVELOPMENTS (VCR) INC

CIVIC: 7720 & 7780 - 202A Street and 7767 - 204 Street

LEGAL: Lots 23 & 25 Plan 2759 and Lot 38 Plan 47045; all of Section 23 Township 8 NWD

We have reviewed the above proposal.

We calculate the approximate number of students generated by this proposal will be as follows:

Type of Housing	Number of Units	Elementary K-5	Middle 6-8	Secondary 9-12
Single Family Units	57	23	9	11

Given the current school catchments this development would impact Willoughby Elementary School, Peter Ewart Middle School and R.E. Mountain Secondary School. As you know, while the Langley School District is not responsible for the amount or pace of development we work closely with the Township of Langley in order to advocate to the Ministry of Education for the development of joint sites to benefit our students.

We make every effort to keep students in their catchment schools, but if there is insufficient space in the catchment school we will find them a space at another school in the district.

Please advise if you need any other information.

Yours sincerely,

Brian Iseli, CPA, CMA Secretary Treasurer



August 16, 2018 Our File: 2111-03365-04

Township of Langley Community Development Division 20338 65 Avenue Langley, BC V2Y 3J1

Attention: Mr. Joel Nagtegaal, Development Planner

Summary Report - Public Information Meeting

Proposed 57 Lot Development within the Yorkson Neighbourhood Plan Area, Township of Langley Project No. 08-23-0173

INTRODUCTION

This report is submitted to the Township of Langley in accordance with the Developer Held Public Information Meetings Policy. The Public Information Meeting (PIM) organization and logistics are also in accordance with the policy.

The PIM for development application 08-23-0173 represented lands located at 7767 204 St, 7720 202A St, and 7780 202A St in the Yorkson Neighbourhood Plan Area of the Township of Langley, and was held on Thursday, July 26, 2018.

Since this application is located in close proximity to two other development applications by the same proponent as part of an overall phased development strategy, a joint PIM was held for all three development applications. The results presented in this summary report pertain specifically to the above noted application.

The purpose of the meeting was to introduce the project and project team, present the development plans, and obtain feedback from the community.

NOTIFICATION

The public was notified in two (2) ways: through a direct mail-out to neighbouring properties, and through two (2) advertisements in a local newspaper (July 11 and July 18, 2018). The Township of Langley staff generated and provided a mail-out map and prepared mailing labels (*Attachment 1*). A total of 88 notifications were mailed out on July 12, 2018, 14 days prior to the scheduled PIM. A copy of the mail-out invitation is included in *Attachment 1*. Three (3) mail-outs were returned to the McElhanney Office as undeliverable.

The notification provided general information including an overall description of the development and the location of the PIM, as well as the subject site. A site location map was included to provide context. Contact information was provided on the invitation for anyone who wished to ask a question, inquire, or make a comment if unable to attend the meeting.

A newspaper ad was published in the Langley Times in advance of the PIM date and is also included in *Attachment 1*.

McElhanney Consulting Services Ltd.
Suite 2300, Central City Tower, 13450 − 102rd Ave., Surrey, BC V3T 5X3
mcelhanney.com



INFORMATION MEETING LOGISTICS

The PIM was held at the Willoughby Community Centre, located at 7888 200 Street, Langley BC. The venue location, parking availability, and total space of the setting were suitable to host the PIM. The meeting was scheduled from 5:00 p.m. to 7:30 p.m. on Thursday July 26, 2018. The consulting team prepared the meeting room in advance of the publicly advertised start time.

The consulting team in attendance included the following individuals:

James Pernu – Senior Planner, McElhanney Consulting Services Ltd. Raymond Sull – Senior Engineer, McElhanney Consulting Services Ltd. Victoria Salisbury – Planner, McElhanney Consulting Services Ltd. Noah Talbot – Arborist, McElhanney Consulting Services Ltd.

A representative from the Township of Langley Development Services Department and a representative of the proponent, Qualico Developments Ltd, were in attendance to observe the PIM.

PUBLIC INFORMATION MEETING DETAILS

A total of 21 attendees signed the attendance sheet (*Attachment 2*), all of whom provided their addresses. Many of the attendees appear to reside in the area surrounding the subject site, while some travelled from other parts of Langley.

The meeting was arranged in an open house format where community members viewed display boards and had the opportunity to ask questions of project team members. A total of 13 display boards were exhibited at the PIM. Tables and chairs were set up throughout the room to allow members of the public to fill in their comment sheets.

The following display boards were presented in the meeting space:

Welcome Conceptual Subdivision Layout (C)

Community Context Tree Management Strategy (A)

Yorkson Neighbourhood Plan Tree Management Strategy (B)

Project Information (2) Tree Management Strategy (C)

Conceptual Subdivision Layout (A) Servicing Concept

Conceptual Subdivision Layout (B) Thank you

In addition to these display boards, the following materials were provided to the public:

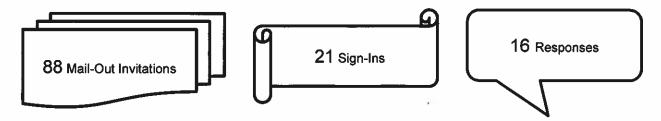
Project Information Handout Questionnaire / Comment Sheet

The questionnaire / comment sheet could either be completed at the meeting and returned to the project team immediately or returned by mail or email following the meeting (by August 10, 2018).

Copies of the display boards, project information sheet and completed questionnaires are included in *Attachments* 3, 4 and 5 respectively.



PUBLIC INFORMATION MEETING RESULTS



A questionnaire was prepared to gather public input on the proposed development. The questionnaire included six (6) questions, two (2) of which were specific to this project, and community members were given an opportunity to provide additional comments. This summary will include only the questions applicable to this specific project, which are referred to as Question 1 and Question 2.

The Questionnaire / Comment Sheet included the questions shown below. The two (2) questions were structured so that respondents had five possible options to choose from:

- Support
- Somewhat Support
- Neutral

- Somewhat Oppose
- Oppose

A total of 11 questionnaires were returned at the conclusion of the PIM, with six (6) additional emails with comments received by the consultants within the two weeks following the PIM. One of these emails was received from a resident who could not attend the meeting. This respondent's comments are summarized in the general comments section of this report. It should also be noted that one respondent filled out two (2) questionnaires, which will be counted as one (1) for the purpose of this report. The questionnaires as well as the additional emails are included in the attachments (see *Attachment 5*).

Attendee Questionnaire Response Rate 76%

The information collected from the questionnaires is summarized below for the two (2) applicable questions. Two (2) respondents opted to fill out the comment section of the questionnaire while leaving the questions unanswered.

Of 16 respondents, 10 stated their home address on their comment sheet. On the below map, properties outlined in black indicate the respondent's addresses. For context, properties outlined in blue indicate the project site boundaries. Of the 10 participants who provided their address, four (4) respondents appear to reside at FOIPPA 8.22(1)

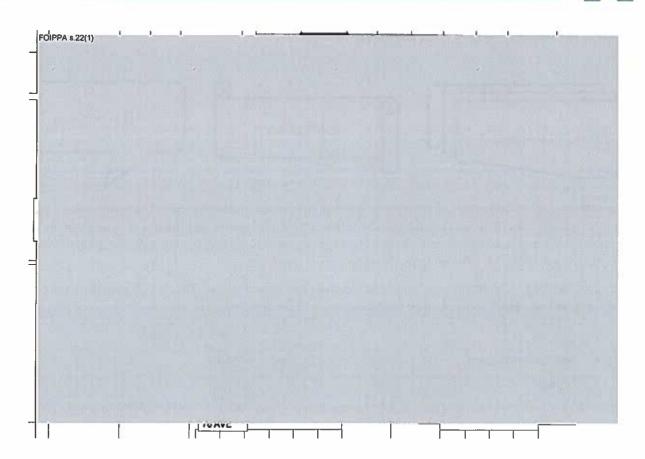
Avenue, three (3) respondents appear to reside at FOIPPA 8.22(1)

St, one (1) respondent resides at FOIPPA 8.22(1)

, and one (1) respondent residents at FOIPPA 8.22(1)

(this property is not in close proximity to the subject sites and therefore is not visible on the map).

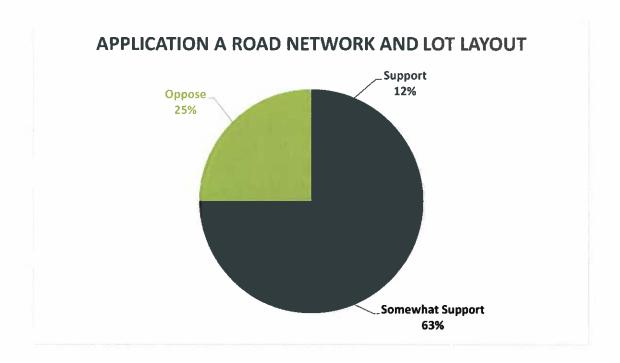
It is important to discuss the addresses of the respondents as many households submitted multiple comment sheets. Almost half of the 16 responses received were from residents of FOIPPA s.22(1) Avenue and FOIPPA s.22(1) Avenue and FOIPPA s.22(1) Avenue and Indicating that the comments were drawn from a very small sample size and are not indicative of the whole neighbourhood.





Question 1

With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:

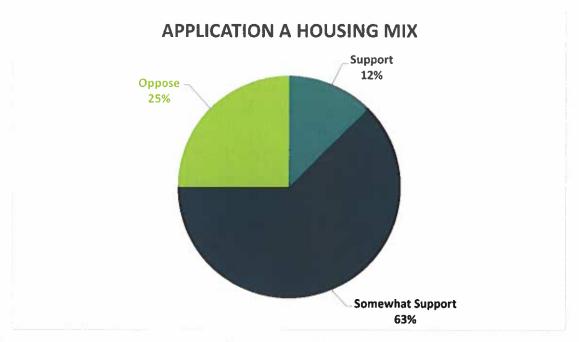


Of 8 respondents to Question 1, one (1) indicated support for the proposed rezoning while an additional five (5) noted that they somewhat support the initiative. The result of these responses is a combined 75% in support or somewhat in support of the proposed rezoning. Two (2) respondents indicated that they were opposed.



Question 2

The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:



Question 2 received 8 responses, six (6) of which were either in support or somewhat in support of the proposed housing mix. Two (2) respondents indicated that they oppose the proposal. Thus, 75% of responses were in support or somewhat in support while 25% were opposed.



COMMENTS SECTION

The questionnaire included space to provide additional comments. Additional comments were provided on nine (9) of the questionnaires, plus six (6) emails. These comments are outlined below:

Location of 205B Street

- I am not in support of this project because there is a big road on my property (FOIPPA s.22(1))
- · Layout is unfair to some properties as road should be shared
- FOIPPA s.22(1) St should be shared
- From the resident of FOPPA \$.22(1) I do not support this development because I do not like how these roads are impacting some of the properties while other properties are all clear, thus making it very hard for some people to sell or develop
- From the owner of FOIPPA s.22(1)
 I am very much opposed to the road network being put forward in this layout. It shows that FOIPPA s.22(1)
 s going through my property, which is not fair.
- 205B St needs to be shared with surrounding properties
- I object to this layout because it is not fair for neighbouring properties of FOIPPA s.22(1)
- The roads should be shared with all surrounding properties and should not be only on FOIPPA s.22(1)
- Roads should be shared with all surroundings properties
- From the owner's of FOIPPA®22(1) 205B St should not be shared with our property
 - Sharing the road prohibits us from developing independently from the property to the west
 - o It will not allow us to fit a 6m lane and two banks of rear loaded lots on our site
 - If the road is not located on our property, we will be able to mirror the road network proposed for FOIPPA s.22(1)
 - We are already losing property to the greenway required along 206 St
 - The road should curve to the west so that it is not on our property

Street Alignment

- 205A street should align across the intersection of 76 Ave
- Alignment of intersection on 76 Ave
- Too many roads don't line up at intersections
- I am very concerned about the road network because so many intersections are not aligned
- Not lining up so many intersections creates dangerous driving conditions
- Very dangerous to put three roads so close together (206 St, 205B St, and 205A St)- all of these roads don't even align
- 205A St should go through 76 Ave and align to adjacent property
- It makes perfect sense to align 205A St through 76 Ave to the other side from the traffic point of view
- Concern regarding the proposal of the intersections between the north and south local roads, the north/south
 connection to 76 Ave should be aligned with 205A St to the west to provide local road connection at 205A St
 (alignment with future 205A St on south side of 76 Ave would be more acceptable)
- Important that 205A Ave should be aligned with property west of 20545 76 Ave and 76A Ave should cross to 206 St

Eliminate 205B Street

- Too many roads on 76 Ave, there is no need for 205B St
- No 205B St
- There should be no 205B St, it will be very confusing and dangerous if you put 205B St close to the roundabout as there is also a median there
- 206 St has a roundabout and a meridian and if 205B St goes through there will be too many roads and it will be too dangerous and congested

- 205B St is not necessary as there are too many local roads intersecting with 76 Ave in close proximity and it will pose a dangerous situation for traffic flow
- The number of local roads intersecting with 76 Ave in close proximity to each other will be dangerous for traffic flow- there should be no 205B St
- There should not be a road cutting though the property of nstead, 205A St should connect to 76 Ave using the FOIPPA s.22(1) or share this road with 22(1)
- There are too many roads in this small area, namely 205B St

Location of Pocket Park and Ecological Greenway

- A serious life-safety issue exists should the ecological greenway and associated wildlife tunnel exit directly into the new high school
- Before going ahead with this application it would be best to have the pocket park secured for the surrounding properties, as we develop more and more land in this area the options are becoming more limited
- Developing a secure pocket park to the surrounding properties prior to proceeding for the final approval is significant as we develop more and more land in this area
- Before we go ahead with this development pocket park site should be secured
- Before you allow any more development in this area the pocket park should be secured
- Pocket park should be secured because it is very important for the surrounding properties as we develop
 more and more land in this area, we are running out of options where to put the pocket park
- Before any more development pocket park should be secured
- Pocket park should be decided
- · Pocket park needs to be decided
- Before going through development in this area pocket park should be secured
- · Pocket park needs to be decided
- Pocket park location

General Comments on Road Network

- Poor road dedication on 76 Ave
- It could be dangerous to have this many "T roads"
- 76B Ave and 76 Ave should cross to 206 St to east
- Too many roads within a short distance of each other and near the future roundabout- on 76 St between 206 St and 205 St there will be traffic coming from 206 St, 205B St, 205A St, and 205 St and all from different locations because the intersections don't line up
- 205A St should run though 76 Ave to the adjacent properties
- 76A Ave and 76B Ave should run though 206 St
- There are already too many "T" intersections in this area, such as at 205A St and 205B St which both end at 76 Ave. 205A St should go through 76 Ave to the adjacent property then there will be not too many roads between 206 St and 205 St making it much easier to drive
- 76 Ave and 76B Ave should run west to east to 206 St, this is very important for the servicing of neighbouring properties
- 204A St shouldn't be there, instead there should be 204 St, 205 St, and 206 St
- There are many problems as follows: offset intersection, alignment of intersection at 76 Ave, traffic congestion, and dangerous points
- Concern about the layout of 76A Ave and 76B Ave, the lane should run from west to east 206 St
- Too many local roads intersect with 76 Ave in close proximity to each other
- 76A Ave and 76B Ave should run west to east to 206 St as this is important for servicing neighbouring projects



CONCLUSION

The completed questionnaires showed a majority of support for the proposed development. Based on the comments, the most prevalent concern is in regard to the proposed road network as opposed to the rezoning and subdivision application itself. It should also be noted that these concerns are primarily regarding the road network to the east of the subject site. Also, based on our analysis of the responses, the majority of concerns emanated from two (2) properties, further underlining the idea that concerns are very localized and pertain to off-site issues.

If you have questions about this report, please do not hesitate to contact me.

Yours truly,

McELHANNEY CONSULTING SERVICES LTD.

James Pernu, M.Sc.

Senior Planner / Project Manager

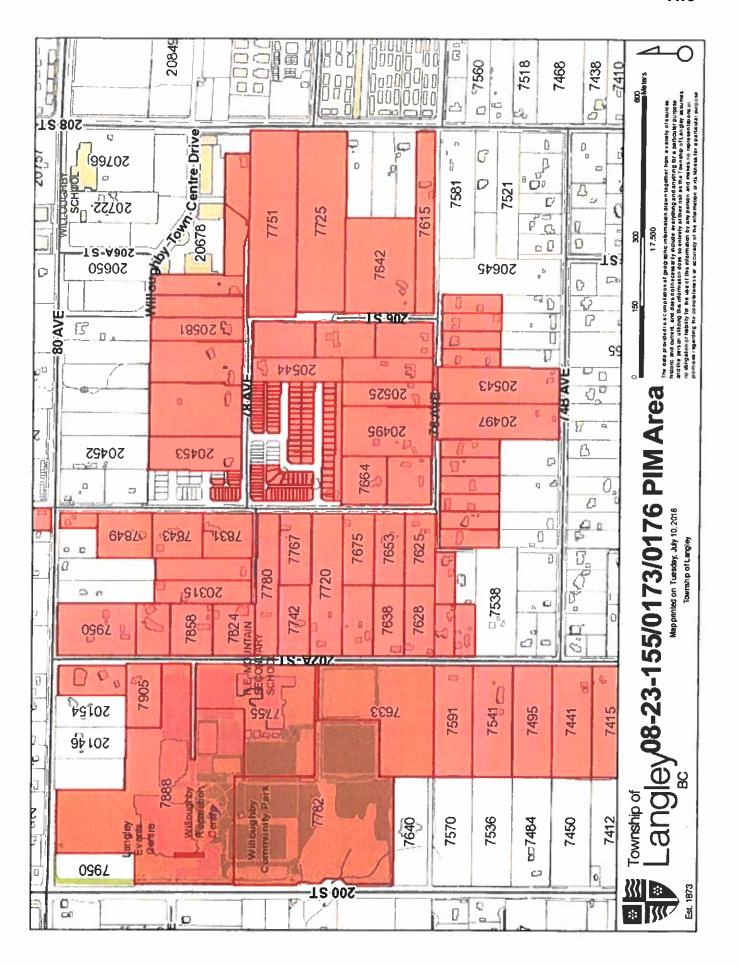
jpernu@mcelhanney.com

Attachments:

- 1 Mail-out catchment map, mail-out invitation, and newspaper advertisement
- 2 Sign-in sheets
- 3 Display board content
- 4 Project information sheet
- 5 Completed questionnaire / comment sheets

Attachment 1

Mail-Out Catchment Map, Mail-Out Invitation, & Newspaper Advertisement



Our File: 2111-03365-02 / 03365-03 / 03365-04

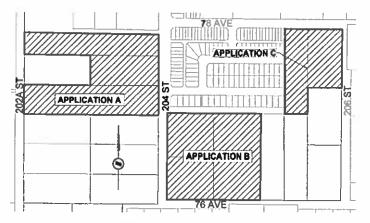
Township of Langley Project No.08-23-0173 / 08-23-0176 / 08-23-0155

Dear Neighbour,

Re: Public Information Meeting Notification for Three Proposed Residential Development Projects

You are invited to attend a Public Information Meeting to review and discuss three proposed residential development projects in the Southwest portion of the Yorkson Neighbourhood. The project details are as follows:

	TOL Project#	Addresses	No. of Lots	Proposed Lots
Application A	08-23-0173	7720 / 7780 202A St / 7767 204 St	57	39 Single Family 10 Semi-Detached 8 Rowhouse
Application B	08-23-0176	7664 204 St / 20431 / 20495 76 Ave	92	62 Single Family 14 Serni-Detached 16 Rowhouse
Application C	08-23-0155	20544 / 20570 78 Ave	39	22 Single Family 4 Semi-Detached 13 Rowhouse



The Public Information Meeting will be held on Thursday July 26, 2018 from 5pm to 7:30pm at the Willoughby Community Centre (South Entrance- Meeting Room 1), located at 7888 200 St, Langley BC

The project consultants will be available throughout the meeting to answer questions and collect your input on the proposal, which will be forwarded to Township of Langley Council for consideration. Please also note that this is **NOT** a Public Hearing notice.

If you are unable to attend this meeting or require additional information, please do not hesitate to contact the undersigned either by phone (604-424-4889) or email at ipernu@mcelhanney.com.

Yours very truly,

McELHANNEY CONSULTING SERVICES LTD.

James Pernu, M.Sc.

Schior Planner / Project Manager

ipernu@mcelhanney.com

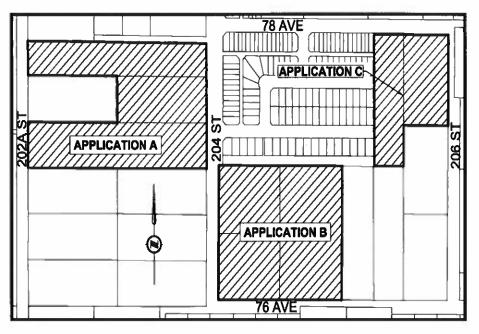
cc: Township of Langley, Community Development Division

DEVELOPER LED PUBLIC INFORMATION MEETING

Proposed Development Applications
Township of Langley Project Nos. 08-23-0173 / 08-23-0176 / 08-23-0155

The proponent has submitted three rezoning and subdivision applications to the Township of Langley. The project details are as follows:

	TOL Project #	Addresses	No. of Lots	Proposed Lots
Application A	08-23-0173	7720 / 7780 202A St /		39 Single Family
		7767 204 St		10 Semi-Detached
		7767 204 31		8 Rowhouse
Application B	08-23-0176	7664 204 St / 20431 /		62 Single Family
		20495 76 Ave		14 Semi-Detached
		20493 76 AVE		16 Rowhouse
Application C		20544 / 20570		22 Single Family
	08-23-0155	· ·	39	4 Semi-Detached
		78 Ave		13 Rowhouse



Residents are invited to attend a Public Information Meeting to discuss three development proposals with the project team and to provide input that will be forwarded to Township of Langley Council for consideration.

The meeting will take place on:

Thursday July 26, 2018 5pm - 7:30pm

at

Willoughby Community Centre 7888 200 St, Langley BC (South Entrance - Room 1)

For more information, please contact James Pernu at 604-424-4889, or by email at jpernu@mcelhanney.com



Attachment 2 Sign-In Sheets

Suite 2300 Central City Tower 13450 - 102 Avenue Surrey BC Canada V3T 5X3

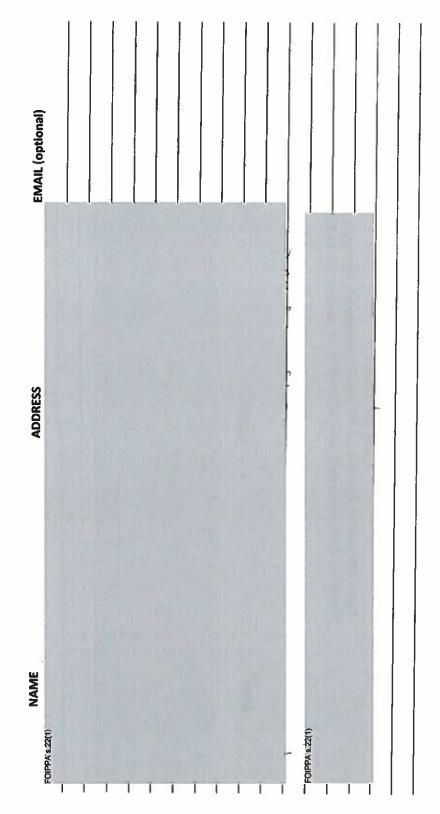


July 26, 2018 Our File: 2111-03365-02-03-04

SIGN-IN SHEET

Public Information Meeting for Proposed Development Applications Township of Langley Project Nos. 08-23-0173, 08-23-0176, 08-23-0155

Thursday July 26, 2018 5pm -- 7:30pm Willoughby Community Centre



H.6 - Page 54

Suite 2300 Central City Tower 13450 - 102 Avenue Surrey BC Canada V3T 5X3



Our File: 2111-03365-02-03-04 July 26, 2018

SIGN-IN SHEET

Township of Langley Project Nos. 08-23-0173, 08-23-0176, 08-23-0155 Public Information Meeting for Proposed Development Applications

Thursday July 26, 2018 5pm - 7:30pm Willoughby Community Centre

ADDRESS

NAME

							Н
EMAIL (optional)							
ADDRESS							
NAME	FOIPPA s.ZZ(1)				ANY THE STATE OF T		



Attachment 3 Display Board Content

WELCOME TO TONIGHT'S PUBLIC

INFORMATION MEETING

TOWNSHIP PROJECT NOS. 08-23-0173, 08-23-0176, 08-23-0155

FOR PROPOSED DEVELOPMENTS AT:

08-23-0176: 20431 76 Ave / 7664 204 St / 20495 76 Ave 08-23-0173: 7720 202A St / 7780 202A St / 7767 204 St

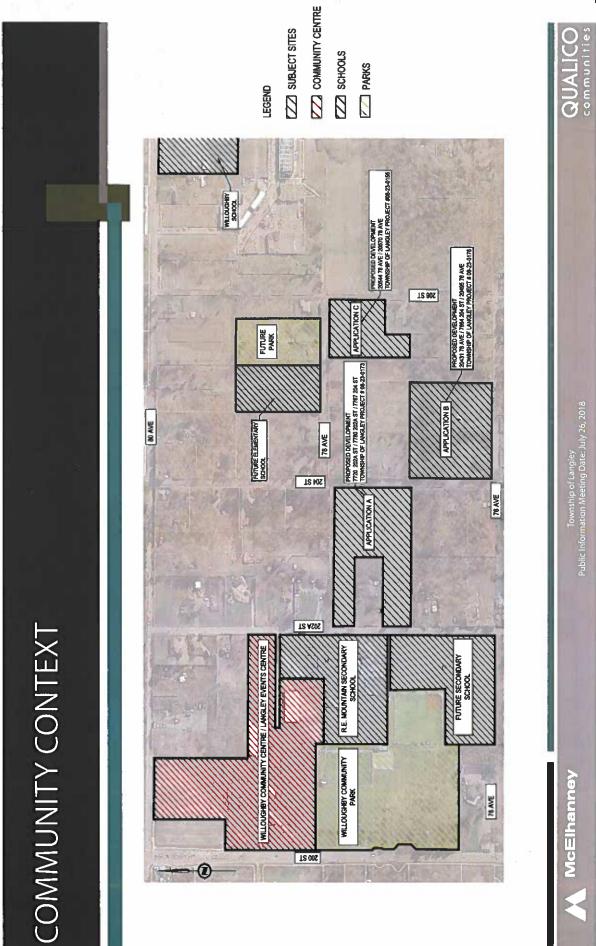
08-23-0155: 20544 78 Ave/ 20570 78 Ave

All public input including comment sheets will be submitted to Township of Langley for their consideration.

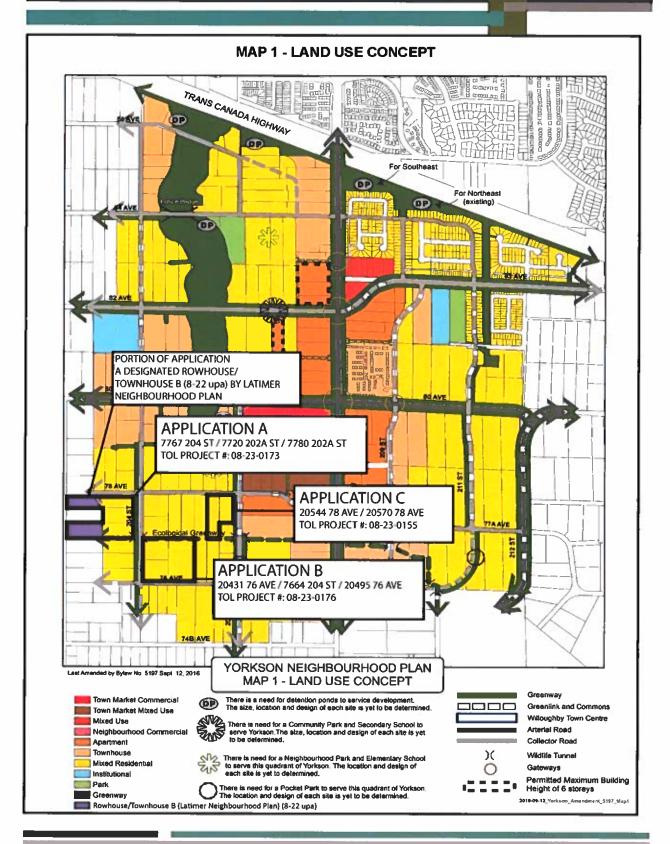
If you have any questions, please do not hesitate to ask.

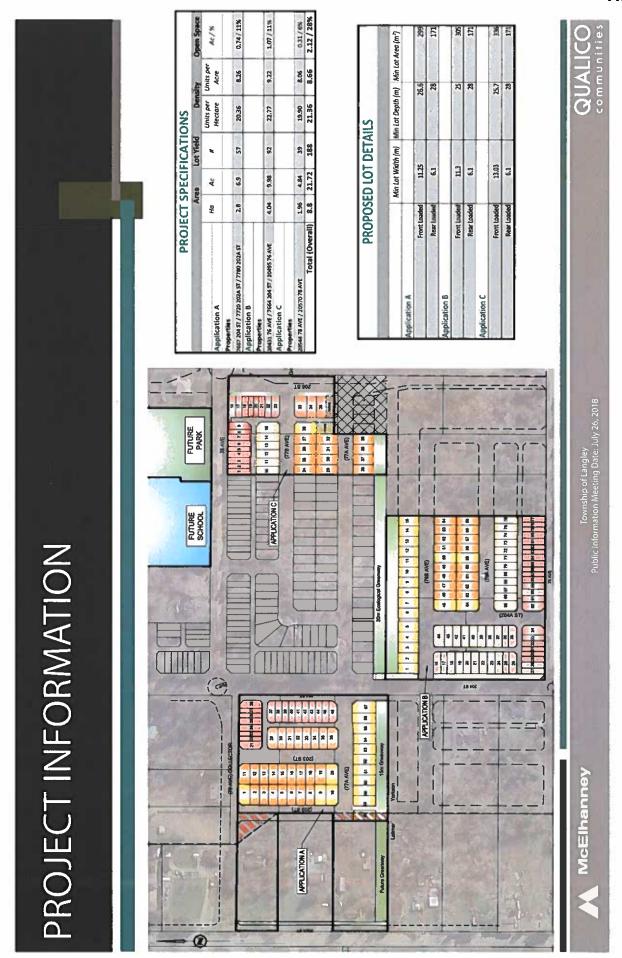


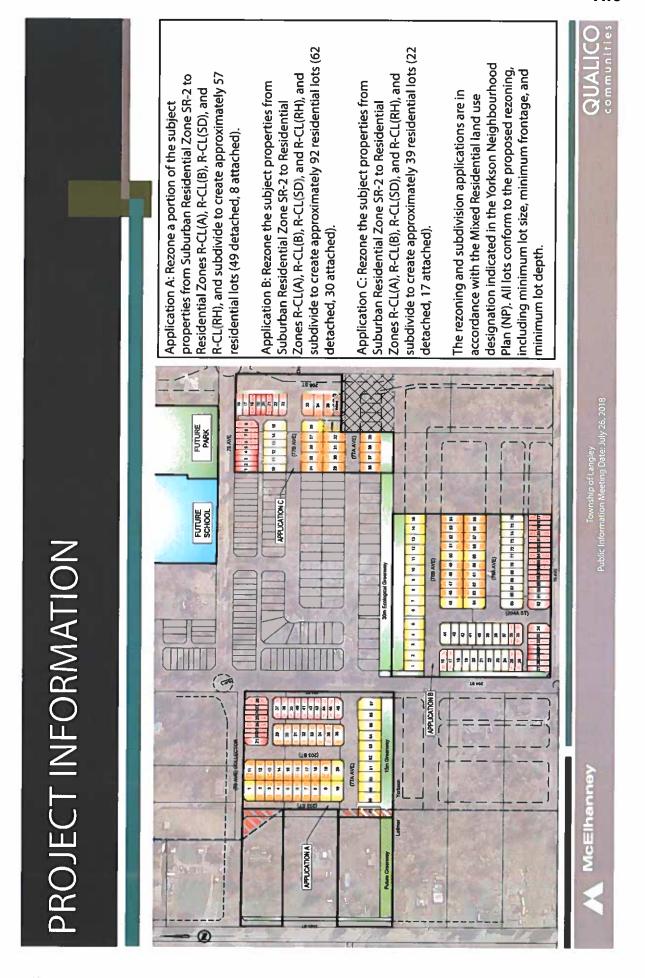
Township of Langley
Public Information Meeting Date: into 26, 2018



YORKSON NEIGHBOURHOOD PLAN









Application A: Rezone a portion of the subject properties from Suburban Residential Zone SR-2 to Residential Zones R-CL(A), R-CL(B), R-CL(SD), and R-CL(RH), and subdivide to create approximately 57 residential lots (49 detached, 8 attached).

FUTURE

(

Application B: Rezone the subject properties from Suburban Residential Zone SR-2 to Residential Zones R-CL(A), R-CL(B), R-CL(SD), and R-CL(RH), and subdivide to create approximately 92 residential lots (62 detached, 30 attached).

APPLICATION C

2 2 2

APPLICATION A

(TA AVE)

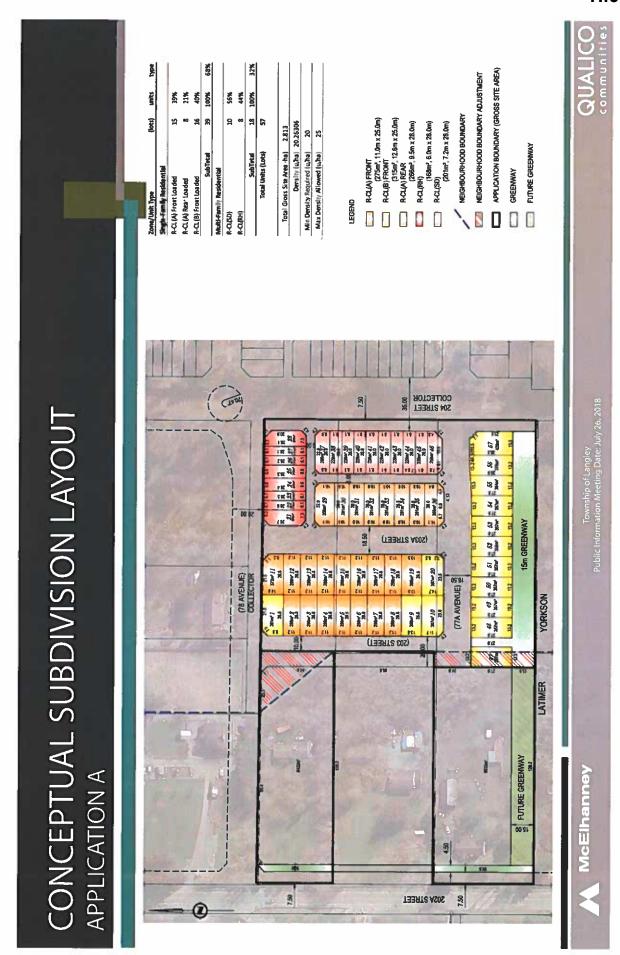
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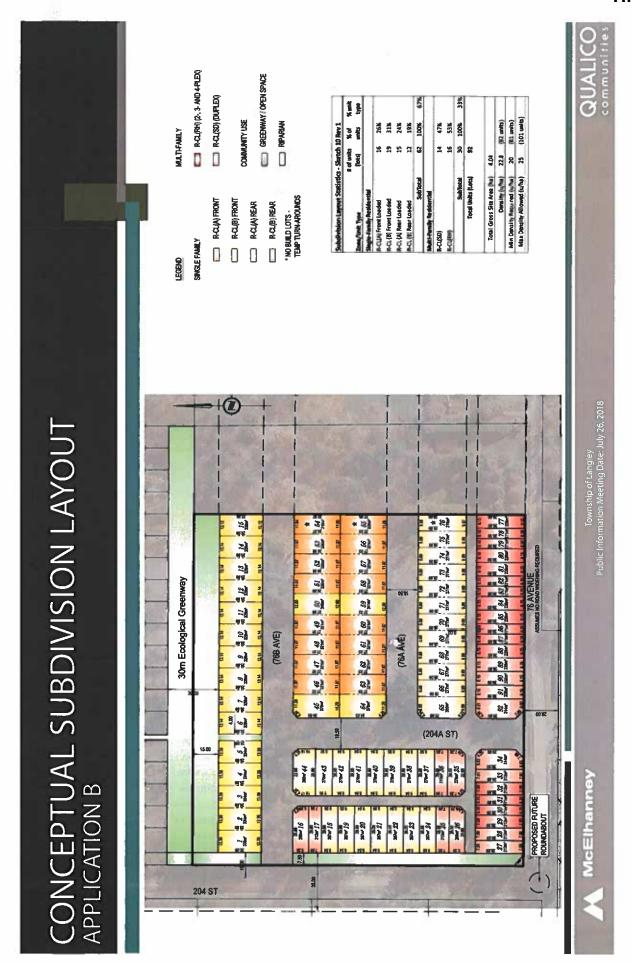
APPLICATIONS

Application C: Rezone the subject properties from Suburban Residential Zone SR-2 to Residential Zones R-CL(A), R-CL(B), R-CL(SD), and R-CL(RH), and subdivide to create approximately 39 residential lots (22 detached, 17 attached).

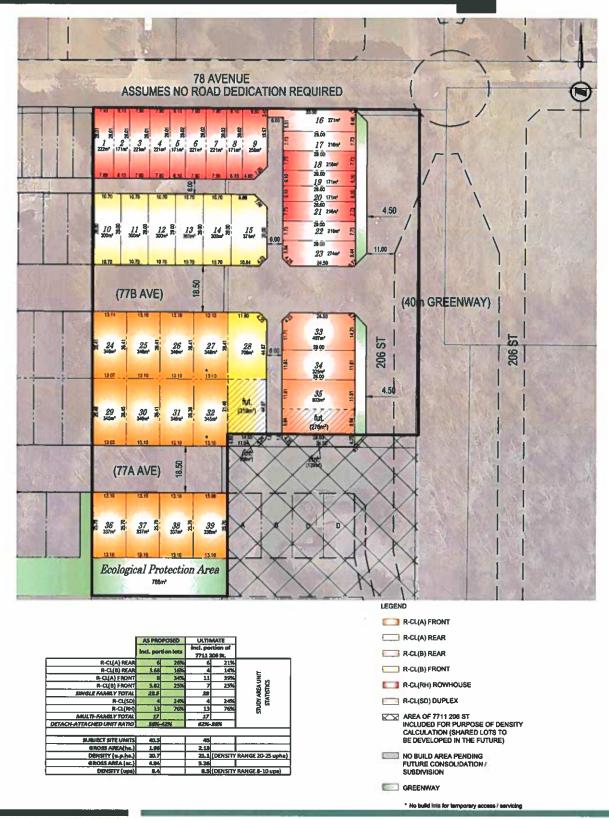
The rezoning and subdivision applications are in accordance with the Mixed Residential land use designation indicated in the Yorkson Neighbourhood Plan (NP). All lots conform to the proposed rezoning, including minimum lot size, minimum frontage, and minimum lot depth.

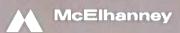




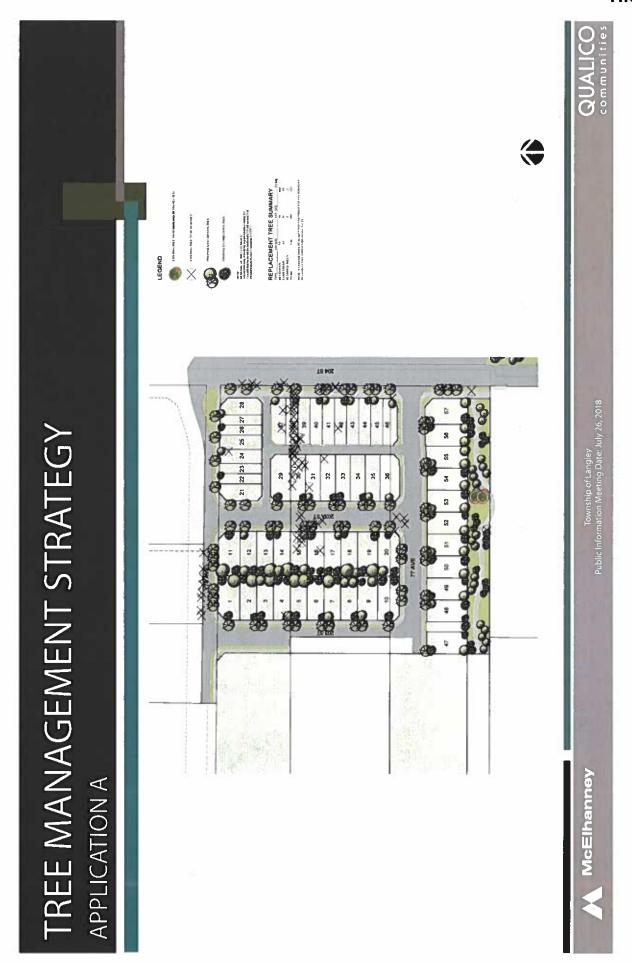


CONCEPTUAL SUBDIVISION LAYOUT APPLICATION C

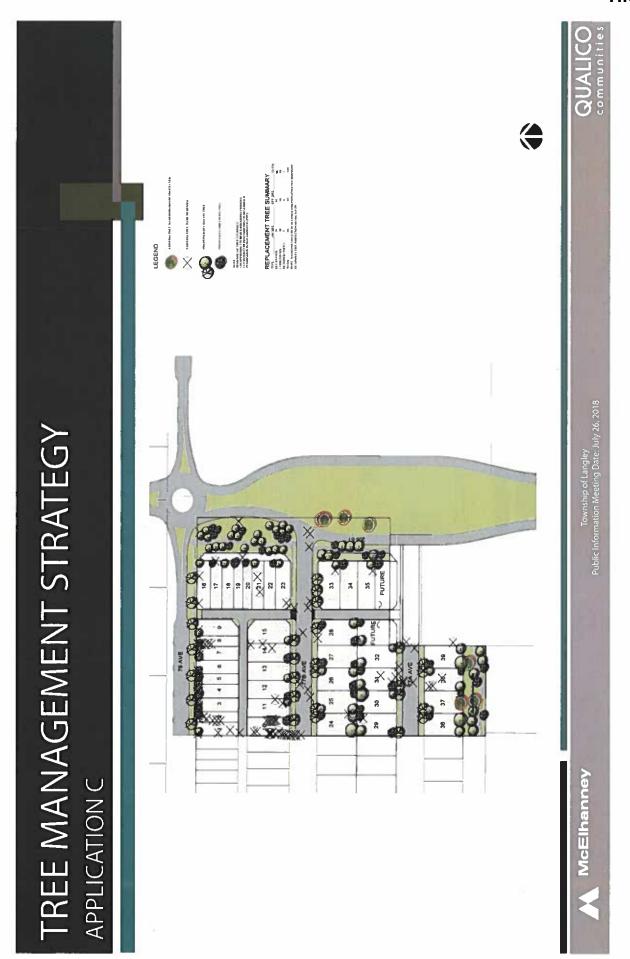


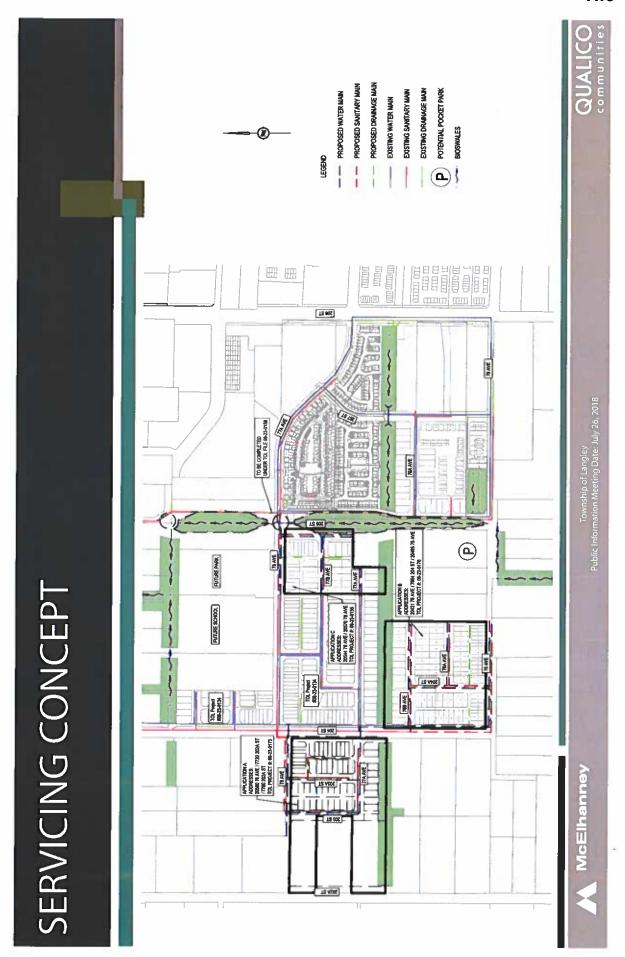












Yorkson Neighbourhood / Willoughby Community

Thank You

for your questions and comments on this proposed development in the Yorkson Neighbourhood within the Willoughby Community Plan Area

Please return your comment sheet to the registration table.

You may also send your comments by email prior to August 10, 2018 to: vsalisbury@mcelhanney.com



Township of Langley Public Information Meeting Date: July 26. 2



Attachment 4 Project Information sheet

July 26, 2018

Our File: 2111-03365-02-03-04

PROJECT INFORMATION SHEET

Public Information Meeting for Proposed Development Applications Township of Langley (TOL) Project Nos. 08-23-0173 / 08-23-0176 / 08-23-0155

> July 26, 2018 5 pm - 7:30 pm Willoughby Community Centre, 7888 200 St, Langley BC

The proponent has made three applications to the Township of Langley to rezone the subject properties from Suburban Residential Zone SR-2 to Residential Zones R-CL(A), R-CL(B), R-CL(SD), and R-CL(RH), and subdivide to create a combined total of 188 lots. The project details are as follows:

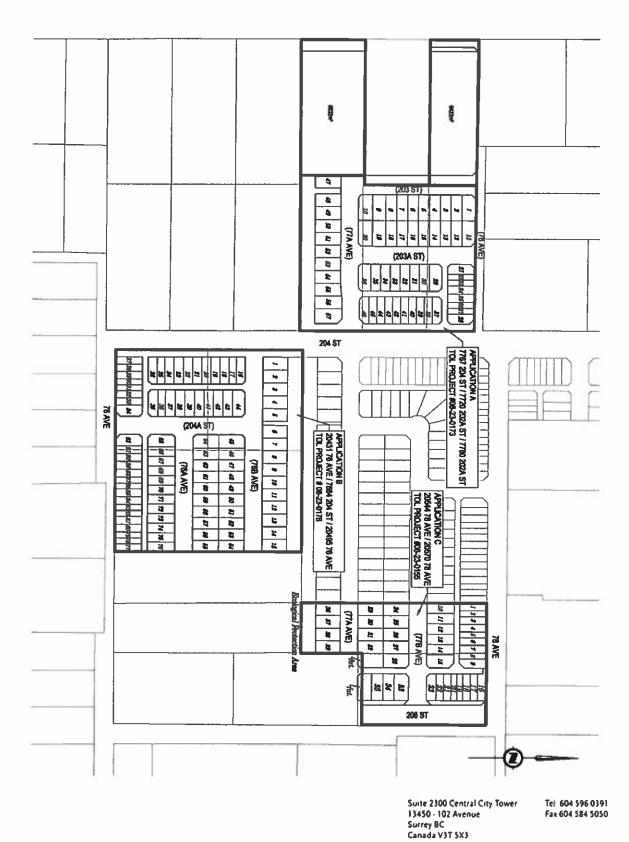
	Area		Lot Yield	Density		Open Space	
Application A	На	Ac	*	Units per Hectare	Units per Acre	Ac/%	
Properties			·				
7667 204 ST / 7720 202A ST / 7780 202A ST	2.8	6.9	57	20.36	8.26	0.74/11%	
Application B							
Properties							
20431 76 AVE / 7664 204 ST / 20495 76 AVE	4.04	9.98	92	22.77	9.22	1.07/11%	
Application C							
Properties							
20544 78 AVE / 20570 78 AVE	1.96	4.84	39	19.90	8.06	0.31/6%	
Totai (Overali)	8.8	21.72	188	21.36	8.66	2.12 / 28%	

The rezoning and subdivision proposals are in accordance with Residential Zones R-CL(A), R-CL(B), R-CL(SD), and R-CL(RH) and the Mixed Residential land use designation indicated in the Yorkson Neighbourhood Plan. The below table provides information on the proposed minimum lot widths, depths, and areas for each project.

PROPOSED LOT DETAILS								
Application A								
Front Loaded	11.25	26.6	299					
Rear Loaded	6.1	28	171					
Application B								
Front Loaded	11.3	25	305					
Rear Loaded	6.1	28	171					
Application C								
Front Loaded	13.03	25.7	336					
Rear Loaded	6.1	28	171					

Suite 2300 Central City Tower 13450 - 102 Avenue Surrey BC Canada V3T 5X3 Tel 604 596 0391 Fax 604 584 5050 July 26, 2018

Our File: 2111-03365-02-03-04





Attachment 5 Completed Questionnaire / Comment Sheets



Phone/ Email (optional)

QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-23-0173 / 08-23-0176 / 08-23-0155

Thursday July 26, 2018 / 5 – 7 30pm
Willoughby Community Centre
FOIPPA s.22(1)

Name

Residential Address

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

APPLICATION A

Project No. 08-23-0173 (Application A)

 With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:

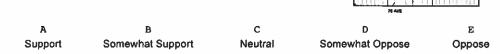


2. The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:

A B C D E
Support Somewhat Support Neutral Somewhat Oppose Oppose

Prolect No. 08-23-0176 (Application B)

 In regard to the proposed lot layout design and road network for TOL project 08-23-0176 (Application B) that will result in subdivision of the existing lands into approximately 92 mixed residential lots, do you:



residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you: Α В С D E Support Somewhat Support Neutral Somewhat Oppose Oppose 78 AVE Project No. 08-23-0155 (Application C) 5. In regard to the proposed lot layout design and road network for TOL project 08-23-0155 (Application C) that will result in subdivision of the existing lands into approximately 39 mixed residential lots, do you: (77A AVE) В C D Support Somewhat Support Neutral Somewhat Oppose Oppose 6. The proposed layout would provide 62% single-family residential and 38% multi-family residential meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you: A В C D E Support Somewhat Support Neutral Somewhat Oppose Oppose Please use the below space for any additional comments: MU Name 13 Adary grang if much easier to drive. ALSO before well as ahead with this develor Please return your comment sheet to the registration table. CKLE AGINE Site You may also send your comments to McElhanney at the address below or by email at vsalisbury@mcelhanney.com prior to August 10, 2018. ould be Secured , FOIPPA = 22(1) Suite 2300 Central City Tower 13450 102 Avenue Surrey BC Canada V31 5X3 let (604) 596 0391

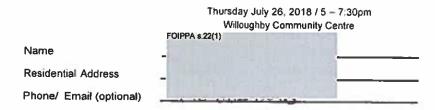
4. The proposed layout would provide 67% single-family residential, and 33% multi-family



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QUESTIONNAIRE | COMMENT SHEET

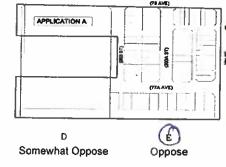
Public Information Meeting for Proposed Development Applications Township of Langley Project Nos. 08-23-0173 / 08-23-0176 / 08-23-0155



Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-23-0173 (Application A)

- 1. With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:
 - A Support
 - Somewhat Support
- C Neutral



- 2. The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:
 - Support
- Somewhat Support
- C Neutral
- D Somewhat Oppose



Project No. 08-23-0176 (Application B)

- 3. In regard to the proposed lot layout design and road network for TOL project 08-23-0176 (Application B) that will result in subdivision of the existing lands into approximately 92 mixed residential lots, do you:
 - A Support
- В Somewhat Support
- С Neutral
- D Somewhat Oppose

4. The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you: C D E B Neutral Somewhat Oppose Oppose Support Somewhat Support 78 AVE Project No. 08-23-0155 (Application C) 5. In regard to the proposed lot layout design and road (778 AVE) network for TOL project 08-23-0155 (Application C) that will result in subdivision of the existing lands into APPLICATION C approximately 39 mixed residential lots, do you: (TTA AVE) C A Neutral Somewhat Oppose Oppose Somewhat Support Support 6. The proposed layout would provide 62% single-family residential and 38% multi-family residential meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you: C Е A Somewhat Oppose Oppose Support Somewhat Support Neutral Please use the below space for any additional comments: CONSTRUCTION ON VETUNITION ζχινύαμιν THANK YOU!! close to the roundabout as othere - S6 a median There Please return your comment sheet to the registration table. Perfect Same You may also send your comments to McElhanney at the address below or by email at vsalisbury@mcelhanney.com prior to August 10, 2018. TO Olign 205A St through 76 Are to the other side from the traffic Point of View. ALSO there is a would you allow any more development in this area the pocket park should be secured. Please Consider this Old thank you poliphas 22(1) Surrey 3C Canaon Val 5X3





QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-23-0173 / 08-23-0176 / 08-23-0155

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FOIPPA s.22(1)

Name

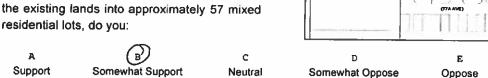
Residential Address

Phone/ Email (optional)

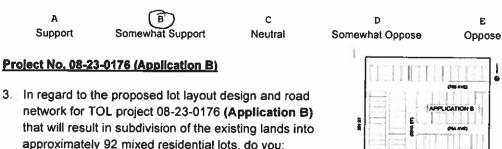
Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-23-0173 (Application A)

 With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:



2. The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:



Neutral

approximately 92 mixed residential lots, do you:

Somewhat Support

Support

Somewhat Oppose

APPLICATION A

Α Neutral Somewhat Oppose Support Somewhat Support Project No. 08-23-0155 (Application C) 5. In regard to the proposed lot layout design and road (77B AVE) network for TOL project 08-23-0155 (Application C) that will result in subdivision of the existing lands into approximately 39 mixed residential lots, do you: (77A AVE) C A Neutral Somewhat Oppose Somewhat Support Support The proposed layout would provide 62% single-family residential and 38% multi-family residential meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you: Α В Somewhat Support Neutral Somewhat Oppose Oppose Support Please use the below space for any additional comments: This xoad or the Services Point of Werd for neighborms exorets. - 206 streets have yourdoubilities you and meridian youd if there Please return your comment sheet to the registration table. You may also send your comments to McElhanney at the address below or by email at vsalisbury@mcelhanney.com prior to August 10, 2018.

15 Extra road (2058 St) On east there will be too many roads alt will be too dangerous and congestion for the troffic - I object to this layout because it does not for neishboring Properties 20545-76 Are 205 A street should run through 76 Are to the adjustent ropertie FOIPPASZZ(1) Are because it is good to live up l'inter justion offset intersection for traffic safety.

4. The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to

this housing mix, do you:

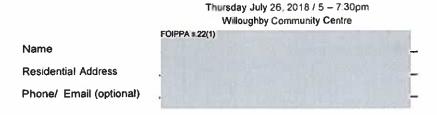




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Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

APPLICATION A

Somewhat Oppose

Project No. 08-23-0173 (Application A)

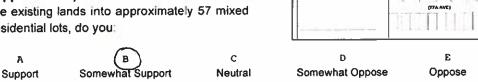
1. With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:

В

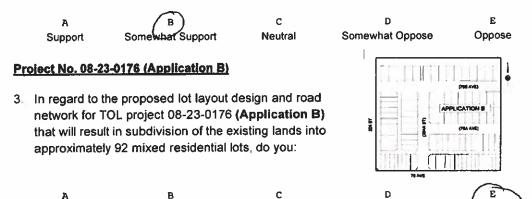
Somewhat Support

A

Support



2. The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:



Neutral

8

Oppose

	this housing	mix, do you:			
	A Support	B Somewhat Support	C Neutral	D Somewhat Oppose	Oppose
	Project No. 08-2	3-0155 (Application C)		79 AVE	
	network for T that will resul	he proposed lot layout de OL project 08-23-0155 (<i>i</i> t in subdivision of the exi y 39 mixed residential lo	Application C) sting lands into	(778 AVE) APPLICATION C: (77A AVE)	
	A Support	B Somewhat Support	C Neutral	D Somewhat Oppose	Oppose
		layout would provide 62 eting the requirements only, do you:			
	А	В	С	D	E
	Support	Somewhat Support	Neutral	Somewhat Oppose	(Oppose
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4. The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to



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FOIPPA s.22(1)

Name

Residential Address

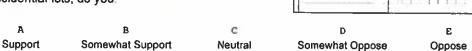
Phone/ Email (optional)

APPLICATION A

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-23-0173 (Application A)

 With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:

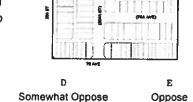


2. The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:

A B C D E
Support Somewhat Support Neutral Somewhat Oppose Oppose

Project No. 08-23-0176 (Application B)

 In regard to the proposed lot layout design and road network for TOL project 08-23-0176 (Application B) that will result in subdivision of the existing lands into approximately 92 mixed residential lots, do you:



A B
Support Somewhat Support

C Neutral Sc

3

	Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose
				78 AVE	 1 .
		-0156 (Application C)	ocian and road		9
•	network for TO that will result	ne proposed lot layout de DL project 08-23-0155 (A in subdivision of the exist 39 mixed residential lot	Application C) sting lands into	(778 AVE) APPLICATION C (77A AVE)	
	A	В	С	D	E
	Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose
•		eting the requirements o		residential and 38% mul eighbourhood Plan. With	
	A	В	С	D	E
	Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose
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ω ₁	a / Stead	my sungerous	activity	Surrey BC Gen ide	V31 5X3
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4. The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan, With respect to

С

this housing mix, do you:

А



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Name

Residential Address

Phone/ Email (optional)

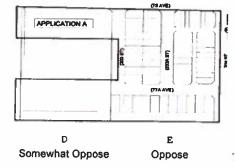
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Project No. 08-23-0173 (Application A)

 With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:



c Neutral



 The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:

A Support Somewhat Support

C Neutral D E
Somewhat Oppose Oppose

Project No. 08-23-0176 (Application B)

 In regard to the proposed lot layout design and road network for TOL project 08-23-0176 (Application B) that will result in subdivision of the existing lands into approximately 92 mixed residential lots, do you:

A Support

B Somewhat Support C Neutral D Somewhat Oppose

5

4.	The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan, With respect to this housing mix, do you:				
	A	В	С	D	$\left(\begin{array}{c} E \\ \end{array} \right)$
	Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose
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Pre	oiect No. 08-23-	0155 (Application C)			
5.	network for TO that will result i	e proposed lot layout de L project 08-23-0155 (A n subdivision of the exis 39 mixed residential lot	application C) iting lands into	(778 AVE)	
	A	B Computed Cuppert	C Neutral	D Somewhat Oppose	E'
	Support	Somewhat Support		,,	Oppose
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	A	В	c	D	E
	Support	Somewhat Support	Neutral	Somewhat Oppose	(Oppose)
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			THANK YOU!!		
	You may	Please return your cor also send your comments vsalisbury@mcelha	to McElhanney at	the address below or by e	mail at
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		+ Intersect		Suite 230/FC entire 13450 - 102 Avenu	
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	Pocket	Park show	ld be (decided.	



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Name

Residential Address

Phone/ Email (optional)

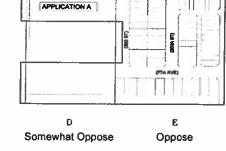
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Project No. 08-23-0173 (Application A)

 With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:



C Neutral



2. The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:

A Support



C Neutral



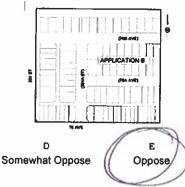
Project No. 08-23-0176 (Application B)

 In regard to the proposed lot layout design and road network for TOL project 08-23-0176 (Application B) that will result in subdivision of the existing lands into approximately 92 mixed residential lots, do you:





C Neutral



24

	4. The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to					
this housing	mix, do you:			(A)		
A	В	С	D	(E		
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose		
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	23-0165 (Application C)			•		
network for	the proposed lot layout de TOL project 08-23-0155 (A	Application C)		8		
	ult in subdivision of the exist ely 39 mixed residential lo	-	- APPLICATION C			
			(77A AVE)			
A Support	B Somewhat Support	C Neutral	D Somewhat Oppose	E Oppose		
	d layout would provide 62 eeting the requirements o mix, do you:					
A	В	С	D .	E		
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose		
Please use the	below space for any addi	tional commen	ts:			
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	Please return your co	THANK YOU!!	the registration table.			
	may also send your comments vsalisbury@mcelh	s to McElhanney a anney.com prior t	at the address below or by e o August 10, 2018.	mail at		
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Name

Residential Address

Phone/ Email (optional)

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APPLICATION A

Project No. 08-23-0173 (Application A)

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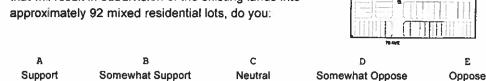


The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:

A B C D E
Support Somewhat Support Neutral Somewhat Oppose Oppose

Project No. 08-23-0176 (Application B)

 In regard to the proposed lot layout design and road network for TOL project 08-23-0176 (Application B) that will result in subdivision of the existing lands into approximately 92 mixed residential lots, do your



Before going through development in this area. H.6
Pocket park should be secured

4. The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:

Ε Α C Neutral Oppose Support Somewhat Support there shouldn 78 AVE ₹4 ₹68 Project No. 08-23-0155 (Application C) ZCS B staget 5. In regard to the proposed lot layout design and road 43 14 (778 AVE) network for TOL project 08-23-0155 (Application C) that will result in subdivision of the existing lands into **APPLICATION C** approximately 39 mixed residential lots, do you: (77A AVE) This road shall

Somewhat Oppose

Somewhat Oppose

Е

Oppose

6. The proposed layout would provide 62% single-family residential and 38% multi-family residential meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:

C

Neutral

C

Support Somewhat Support Neutral

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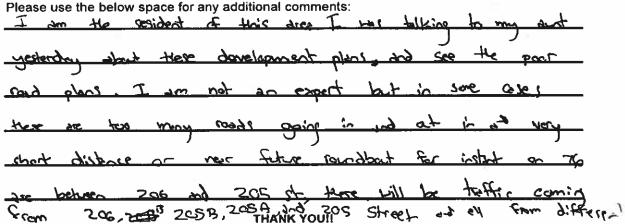
В

Somewhat Support

A

Support

A



Please return your comment sheet to the registration table.
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locations because intersection are not lived up.

To disect to this leyest some 2300 Control City Tower 13450 102 Avenue 2054 street should on through Sharey BC California V31 1423 Tom (60-11 60-6 0.49 1)

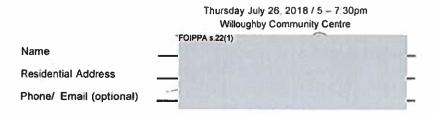
76 ANE to the adjacent properties

20225-76 B & 200 76 A ANE 2nd 76 B ANE Should on through 206 street.



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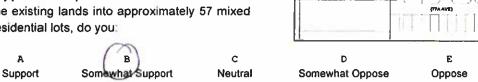
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Township of Langley Project Nos. 08-23-0173 / 08-23-0176 / 08-23-0155



Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

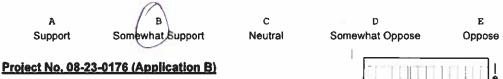
Project No. 08-23-0173 (Application A)

 With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:

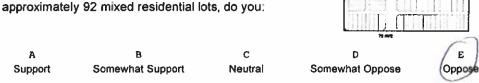


APPLICATION A

The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:



3. In regard to the proposed lot layout design and road network for TOL project 08-23-0176 (Application B) that will result in subdivision of the existing lands into approximately 92 mixed residential lots, do your



12

4.	 The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to 					
	this housing m	ix, do you:			\sim	
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	Pock	et Park	needs	Side Zipp Central 1/450 - 102 Avenus		
	to be	e decide	d.	Storey BC Canada Tal. (604) 596-03s FOIPPA s.22(1)		



QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-23-0173 / 08-23-0176 / 08-23-0155

Residential Address

Phone/ Email (optional)

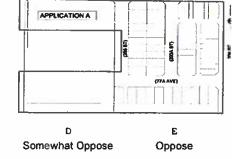
Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-23-0173 (Application A)

 With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:



c Neutral



2. The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:

A Support Somewhat Support

C Neutral D E
Somewhat Oppose Oppose

Project No. 08-23-0176 (Application B)

 In regard to the proposed lot layout design and road network for TOL project 08-23-0176 (Application B) that will result in subdivision of the existing lands into approximately 92 mixed residential lots, do you:

A Support B Somewhat Support C Neutral

D Somewhat Oppose E Oppose

4.	The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:					
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<u>Pro</u>	olect No. 08-23-	0155 (Application C)			•	
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7	4	+ park lo		Stirle 2300 Central C 13450 - 102 Avenue Stirley BC Canada 7-6-001) (\$20301	V3 I' 5 V 2	
†		WIN HEAT	FOIPPA s.22			



Our File: 2111-03365-02/03/04

QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-23-0173 / 08-23-0176 / 08-23-0155

Thursday July 26 2019 / 6 7:20pm

	Willoµghby Community Centre	
	FOIPPA 8.22(1)	
Name		<u> </u>
Residential Address		Langley
Phone/ Email (optional)	F C 2 - 281	

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

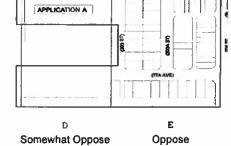
Project No. 08-23-0173 (Application A)

 With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:



Somewhat Support

c Neutral



 The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:



Somewhat Support

C Neutral

D Somewhat Oppose E Oppose

Project No. 08-23-0176 (Application B)

 In regard to the proposed lot layout design and road network for TOL project 08-23-0176 (Application B) that will result in subdivision of the existing lands into approximately 92 mixed residential lots, do you:



B Somewhat Support C Neutral D Somewhat Oppose

E Oppose

4,	4. The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:				
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	You may	y also send your comments vsalisbury@mcelha	to McElhanney at inney.com prior to	the address below or by er August 10, 2018.	nail at

Suite 2300 Central City Fown 13450 - 102 Avenue Surrey BC Canada V31 5X3 Tel. (604) 506 639 t



QUESTIONNAIRE | COMMENT SHEET

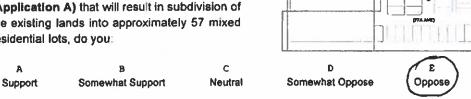
Public Information Meeting for Proposed Development Applications Township of Langley Project Nos. 08-23-0173 / 08-23-0176 / 08-23-0155

		iday July 26, 201 /illoughby Comm		
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Name				
Residential Address				
Phone/ Email (optional)				

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

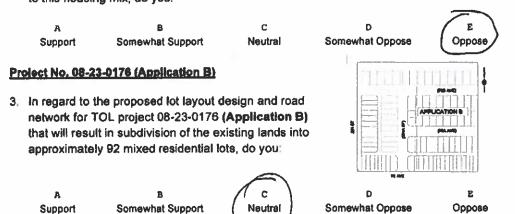
Project No. 08-23-0173 (Application A)

1. With respect to the proposed lot layout design and road network for TOL project 08-23-0173 (Application A) that will result in subdivision of the existing lands into approximately 57 mixed residential lots, do you:



APPLICATION A

2. The proposed layout would provide 68% single-family residential and 32% multi-family residential lots, meeting the requirements of the Yorkson Neighbourhood Plan. With respect to this housing mix, do you:



20

4. The proposed layout would provide 67% single-family residential, and 33% multi-family residential, meeting the requirements of the Yorkson Neighbourhood Plan. With respect this housing mix, do you:					
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Pl	ease use the be	low space for any add	itional comments	:	
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THANK YOUI!

Please return your comment sheet to the registration table.

You may also send your comments to McElhanney at the address below or by email at vsalisbury@mcelhanney.com prior to August 10, 2018.

Suite 2000 Central City Tower 13450 - 102 Avenue Surrey BC Canada V31 5X3 Tol. (604) 596 0391

SULMONA HOLDINGS LTD.

James Pernu, M.Sc. McElhennay Suite 2300 Central City Tower, 13450 – 102nd Avenue Surrey BC V3T 5X3 30 July 2018

Re: Latimer Neighbourhood Plans

Dear Sir:

First, we wish to welcome your client Qualico to the 202a portion of the Latimer neighbourhood, and wish Qualico all success in this and other nearby endeavours.

Regrettably, we were unavailable for your July 26th event. Nevertheless, we welcome an opportunity for a discussion on multiple relevant items of mutual interest, including the storm-water drainage plan that intends for access from our property to the anticipated detention ponds to the north across your client's sites.

The most significant matter is noted in the Township of Langley, January 30th, 2018 letter (attached). While obviously the Latimer Plan was correct with bylaw adoption, yet recent events no longer warrant the status quo, at least in our estimation. Without doubt, a serious life-safety issue exists should the Ecological Greenway and associated Wildlife Tunnel exit directly into the area of the new High School, with the building / parking area locations indicated in plans provided to us by the SD#35 contractor.

For your further information, we have pursued a Records Access request to ensure our fullest understanding of this would-be conflict. As such, see attached the School District response, and the Township Records are expected by August 22nd. As a courtesy, and to any neighbour, we will share Record copies with you and Qualico upon our receipt.

I look forward to this dialogue, so please reach out to me at your earliest convenience.

Joe Sulmona

Dr. Luigi G (Joe) Sulmona Managing Director

Copy:

- Brian Iseli, School District #35
- Ryan Jones, Qualico
- Wendy Bauer, Clerk's Office, Township of Langley
- Jason Chu, Community Development, Township of Langley

5504 Union St, Burnaby, B.C. V5B1W5 Canada T: +1 604 781 2095 E: sulmona_holdings_ltd@telus.net



January 30, 2018

File No. LRP00002

Dr. Luigi G (Joe) Sulmona Sulmona Holdings Ltd. 5504 Union Street Burnaby, BC V5B 1W5

Dear Dr. Sulmona:

Re: Willoughby Area Secondary School

Impact on East-West Ecological Greenway in Latimer / Jericho Neighbourhoods

This is in response to your letter dated December 28, 2017 regarding the above, addressed to Mr. Bakken, Chief Administrative Officer at the Township of Langley, which has been referred to me for review and follow up. As I understand it, you are concerned about the impact that the location and design of the School may have on the Ecological Greenway.

I wish to reassure you that the Township of Langley recognizes the importance of environmental assets and particularly, the provision of Ecological Greenways to the community. Furthermore, I confirm that all decisions in respect to the School and the Ecological Greenway are consistent with Township's bylaws and policies.

The Latimer Neighbourhood Plan sets out general guidelines for development in the Latimer area, including the Ecological Greenway. Map 1 to the Neighbourhood Plan shows a high-level conceptual location of the Ecological Greenway, with associated policy in Section 6.2.5 and standards noted in Figures 6.7 and 6.8. The exact location and dimensions of the Ecological Greenway (and the practicality of any associated wildlife tunnel), are subject to detailed survey and design review and approval processes.

Variations to the conceptual alignment of the Ecological Greenway are possible, as provided in the referenced policy Section of the Latimer Plan, subject to compliance with overall intent. Having said that, there are currently no plans or proposals to vary the location of the subject Ecological Greenway.

In the Township's view, the design of the proposed School is consistent with the policies and guidelines set out in the Neighbourhood Plans for Latimer and Jericho, and no amendment to either of these Plans is warranted at this time.

If you have any concerns specific to your property located at 7680 - 202A Street, staff would be pleased to discuss these with you in greater detail.

Sincerely,

Randin Seiti, P.Eng., MCIP, RPP, R.I. GENERAL MANAGER

GENERAL MANAGER

ENGINEERING & COMMUNITY DEVELOPMENT

сору

Mark Bakken, Chief Administrative Officer, Township of Langley Gord Stewart, Superintendent of Schools Board of Education Langley #35 Scott MacDonald, Deputy Minister BC Ministry of Education Stephen Richardson, Director Development Services Township of Langley Jason Chu, Manager, Long Range Planning Township of Langley

f:\data\tempest\prospero\\rp\\rp00002\2018 01 30 ftr to dr sulmona re ecologica! greenway.docx

20338 - 65 Avenue | Langley | British Columbia | Canada | V2Y 3J1 | 604.534 3211 | tol.ca



February 21, 2018

Sulmona Holdings Ltd. 5504 Union Street Burnaby, B.C. Canada

Attention: Dr. Luigi G. (Joe) Sulmona

Re: Request for Access to Information made under the Freedom of Information and

Protection of Privacy Act ("FIPPA" or the "Act")

We write in response to your request for access to information made under the *Freedom of information* and *Protection of Privacy Act* ("FIPPA" or the "Act") which was received by the Board of Education of School District No. 35 (Langley) ("School District") and dated January 9, 2018.

You have requested the following records:

- All documents, site plans, maps, notes, conversation records, etc. with regards to all and any matters arising from the building/ access/ parking siting decision, as well as any assessments related to the adjoining Ecological Greenway identified in Township of Langley Map 1 of Bylaw #5101, including all environmental assessments and internal 8D#35 / ToL staff / consultant discussions related to the Ecological Greenway.
- All SD #35 financial records with regard to contributions towards the environmental / ecological functions that surround the new school, with particular regard to Ecological Greenway integrity / continuity, and SD #35 contribution towards the wildlife tunnel, or any related financial requirements beyond Township of Langley Bylaw #5101.

On January 28, 2018 you clarified the scope of your request, which was received by the District on February 14, 2018.

We have conducted a search for responsive records based on both your original and clarified requests. We have determined that the School District does not have any records in its custody or control that are responsive to your request.

If you have any questions about this letter, please respond to the undersigned.

Yours truly.

Brian Iseli, CPA, CMA Secretary Treasurer

BI/lmem

From:

FOIPPA s.22(1)

Sent:

August 7, 2018 1:18 PM

To:

Victoria Salisbury; zandjelic@tol.ca

Subject:

Public information meeting July 26, 2018

I am writing in regards to the public information meeting that took place on July 26, 2018.

I object to this layout because it really does not work for neighboring properties. The roads should be shared with all the surrounding properties and it should not be one own to provide all the road dedication). There are too many local roads intersecting with 76 Ave in close proximity to each other. This will not be good and too dangerous for the traffic flow, there shouldn't be a 205 B Street! The lane 76A and 76 B should run west to east to 206 streets. It is very important for the services point of view of neighboring projects. Before going ahead with this application it would be best to have the pocket park secured for the surrounding properties, as we develop more and more land in this area the options are becoming more limited.

Sincerely,

FOIPPA s.22(1) From: Sent: August 6, 2018 9:57 AM To: Victoria Salisbury Cc: zandjelic@tol.ca Subject: Please reconsider plans Re: 76 ave Willoughby Greetings, My name is FOIPPA 8.22(1) I am a resident at FOIPPA s.22(1) Langley. I am emailing to express my concern over a proposed development plan in my area. My close neighbours, FOIPPA 8.22(1) informed me of a plan to have a road cut through their property. They are, for good reason, upset about this proposal. I too wholeheartedly agree with them. They have done some research and come up with an alternative plan, which I am sure they've shared with you, and it looks promising to me. 205 A St should make its way to 76 ave using 20525's property, or shared with 20545. Furthermore, there is one too many roads in this small area, namely 205B St. I urge you to consider the proposed plans by FOIPPA s.22(1) Project No. 08-23-0173, 08-23-0176, 08-23-0155

Thank you FOIPPA \$.22(1)

From:

FOIPPA s.22(1)

Sent:

August 7, 2018 1:44 PM

To: Subject: zandjelic@tol.ca; Victoria Salisbury Concern re: intersection 76, Langley

Good afternoon,

I am concern about the layout of 76 A and 76 B. The lane should really run from west to east to 206 street.

It would correspond with the layout of neighboring projects.

Before going any further with development in this area this should be reconsidered.

The roads should be shared with all the surrounding properties.

There are too many local roads intersecting with 76 Avenue in close proximity to each other.

Please reconsider the proposal, Sincerely



From:

FOIPPA 8.22(1)

Sent:

August 7, 2018 3:27 PM

To:

Victoria Salisbury zandjelic@tol.ca

Cc: Subject:

RE: public information meeting on July 26, 2018

To whom it may concern,

I am writing to express our concerns and disappointment regarding the proposal of the intersections between the north and south local roads within this site and on opposite side of 76 Avenue. The North/South connection to 76 Avenue should be aligned with 205 A Street to the West to provide a local road connection at 205 A Street (aligned with future 205A street on south side of 76 Avenue would be more acceptable).

In retrospect, the roads should be shared with all the surrounding properties, and should not be only on the property 20545-76 Avenue to provide all the road dedication.

I don't think that a 205B Street is necessary, as there are too many local roads intersecting with 76 Ave in close proximity to each other and it will pose a dangerous situation for the traffic flow. Therefore, it is very important that 205A Avenue should be aligned with the property west to 20545 76 Avenue and 76B Avenue should cross to 206 Street.

I also think that developing a secure pocket park to the surrounding properties prior to proceeding for the final approval is significant as we develop more and more land in this area.

Sincerely, FOIPPA s.22(1)

From: To:

FOIPPA

Victoria Salisbury

Subject:

Concerns regarding the McElhanney Project

Date:

August 3, 2018 11:55:57 PM

Dear Ms. Victoria,

We are sending this email in regards to our comments regarding the proposed McElhanney project and its effect on our Our State 1 Langley property. This is in response to the public information meeting held on July 26, 2018 In the original proposed project map attached in this email (the coloured one), there was a road purposed to go through a mixed residential area in a circle with an entrance and exit on opposite sides of the area, to allow traffic to flow out to 76 Ave. In the first map, it shows this road curving just west of our property and not entering our property line. However, in the newer map (also attached), it does show this road cutting into our property, causing us to lose seven meters on our west side. If this seven meters is lost, then we will be unable to build a 6m wide centre lane between the planned houses. As it says on the proposed lot details, it says the minimum lot width must be 6m and the minimum lot depth must be 28m on both sides of the lane for a rear-loaded lot. With the loss of 7 meters on the west, this minimum amount won't be met, making it impossible to develop the property. This centre lane does exist on the far west side of the planned residential area near the intersection of 76 Ave and 204 St, so it would make little sense to not build it on the east side as well. As well, we are already losing part of the property on the east side as a greenway is being built on 206 St.

We believe the developers are trying to split the damage between our property and the property to the west of us so that they can minimize the amount of damages they will pay to the owners of the property west of us. Why should our property share the damages from the road? Also, when we widen 206 St and we put the 6 meter centre lane going from north to south on our property, we will be able to independently develop our property without depending on the west, thus making it match the development on the corner near 204 St. Thank you for listening to our concerns and if you have any questions/concerns, don't hesitate to email us back. Please let us know if you have received this email as well.

Sincerely,	

FOIPPA's.22(1)

