

Est. 1873

REPORT TO MAYOR AND COUNCIL

PRESENTED:	JULY 22, 2019 - REGULAR EVENING MEETING	REPORT:	19-127
FROM:	COMMUNITY DEVELOPMENT DIVISION	FILE:	08-22-0083 / 0091
SUBJECT:	OFFICIAL COMMUNITY PLAN AMENDMENT AND REZONING APPLICATION NO. 100160 AND DEVELOPMENT PERMIT APPLICATION NOS. 100971, 101091 AND 101092 (MITCHELL LATIMER 80 / 197 INC. / 19648 AND 19678 – 80 AVENUE AND 7661 – 197 STREET)		

PROPOSAL:

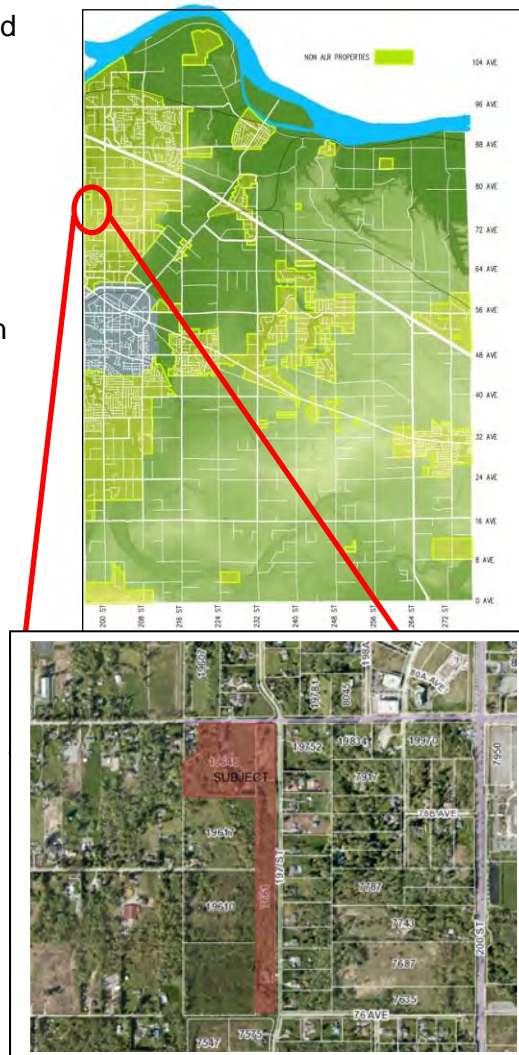
Application to amend the Willoughby Community Plan and Latimer Neighbourhood Plan and rezone approximately 7.78 ha (19.23 ac) of land located at 19648 and 19678 – 80 Avenue and 7661 – 197 Street to Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL(SD), and Comprehensive Development Zone CD-131, with two (2) accompanying Development Permit applications to facilitate development of 21 single family lots, 38 semi-detached lots and 106 townhouse units. A streamside protection Development Permit has also been submitted to accommodate the development proposal.

RECOMMENDATION SUMMARY:

That Council give first and second reading to Bylaws No. 5491 and 5492 subject to 13 development prerequisites being satisfied prior to final reading, and authorize issuance (at time of final reading of Bylaw No. 5492) of Development Permit No. 100971 (single family lots), Development Permit No. 101091 (streamside protection), and Development Permit No. 101092 (townhouse development); and that staff be authorized to schedule the required Public Hearing.

RATIONALE:

The proposed development is consistent with the Willoughby Community Plan and Latimer Neighbourhood Plan's overall objectives.



RECOMMENDATIONS:

That Council give first and second reading to Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw No. 1988 No. 3800 Amendment (Latimer Neighbourhood Plan) Bylaw 2015 No. 5101 Amendment (Mitchell Latimer 80 / 197 Inc.) Bylaw 2019 No. 5491 and Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Mitchell Latimer 80 / 197 Inc.) Bylaw 2019 No. 5492, rezoning 7.78 ha (19.23 ac) of land located between 76 and 80 Avenues from 196 to 197 Streets, to Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL(SD) and Comprehensive Development Zone CD-131, to facilitate the development of 21 single family lots, 38 semi-detached lots and 106 townhouse units, subject to the following development prerequisites being satisfied to the acceptance of the Township of Langley General Manager of Engineering and Community Development, unless otherwise noted prior to final reading:

1. In accordance with the Latimer Neighbourhood Plan requirements:
 - a. Secure a joint elementary school and neighbourhood park site including road dedications and construction of all associated works and services in the Northwest Phase of the Latimer Neighbourhood Plan;
 - b. Secure a community stormwater detention site to serve the storm catchment area;
2. Completion of a Development Works Agreement (if required) securing off-site servicing to the Northwest Phase of the Latimer Neighbourhood Plan (as required by the Latimer Neighbourhood Plan);
3. A servicing agreement being entered into with the Township to secure required road and utility upgrades and extensions in accordance with the Township's Subdivision and Development Servicing Bylaw;
4. Completion of an erosion and sediment control plan and provision of security in accordance with the Erosion and Sediment Control Bylaw;
5. Provision of road dedications, widenings, and necessary traffic improvements in accordance with the Township's Master Transportation Plan, Subdivision and Development Servicing Bylaw and the Latimer Neighbourhood Plan;
6. Dedication and construction of a 4.5 metre wide street greenway on the south side of 80 Avenue, including final acceptance of the greenway landscape design plans, sidewalk/trail alignment, signage, landscape details and security;
7. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection);
8. Registration of a cross access easement in favour of the Rizun Heritage Residence property over the proposed Townhouse site;
9. Registration of restrictive covenants:
 - a. Prohibiting parking on internal strata roadways (other than in clearly identified parking spaces);
 - b. Prohibiting garages from being developed for purposes other than the parking of vehicles, and prohibiting the development of secondary suites within individual units (for townhouse, and semi-detached units);
 - c. Identifying the units (minimum 5%) required to comply with the adaptable housing requirements;

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- d. Prohibiting development of the semi-detached units until a Development Permit is issued for the lots proposed to be zoned R-CL(SD);
 - e. Identifying the Streamside Protection and Enhancement Areas;
 - f. Prohibiting clearing of the R-CL(A) and R-CL(SD) lots (with the exception of servicing areas) until such time as a final tree management plan incorporating tree retention, replacement protection details, and security in compliance with Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection), is accepted by the Township;
10. Council adoption of a Heritage Revitalization Agreement Authorization Bylaw with respect to restoration and relocation of the Rizun Heritage Residence;
 11. Compliance with the Community Amenity Contributions Policy (including Council adoption of a Phased Development Agreement, as needed) and the requirements of the Latimer Amenity Zoning Policy including payment of applicable Latimer amenity fee;
 12. Payment of applicable Neighbourhood Planning Administration fees, supplemental Rezoning fees, Site Servicing Review fee, ISDC review fee, Development Works Agreement (DWA) and Latecomer charges, and compliance with the Township's 5% Neighbourhood Park Land Acquisition Policy;
 13. Dedication of Streamside Protection and Enhancement Areas, including final acceptance of the streamside restoration and enhancement plans and details, streamside fencing and signage, and security;

That Council consider that Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw No. 1988 No. 3800 Amendment (Latimer Neighbourhood Plan) Bylaw 2015 No. 5101 Amendment (Mitchell Latimer 80 / 197 Inc.) Bylaw 2019 No. 5491, is consistent with the Township's Five Year Financial Plan, as updated annually and with Metro Vancouver's Integrated Liquid Waste Resource Management Plan and Integrated Solid Waste Resource Management Plan, and with the consultation requirement of Official Community Plan Consultation Policy (07-160);

That Council at time of final reading of Rezoning Bylaw No. 5492 authorize issuance of Development Permit No. 100971 (single family lots) subject to the following conditions:

- a. An exterior design control agreement shall be entered into for all lands zoned Residential Compact Lot Zone R-CL(A) and R-CL(B);
- b. On-site landscaping plans being in substantial compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection) and the Township's Street Trees and Boulevard Plantings Policy;

Although not part of the development permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

- a. Issuance of an Energy Conservation and GHG Emissions Reduction Development Permit;
- b. On-site landscaping to be secured by letter of credit at building permit stage;
- c. Written confirmation from the owner and landscape architect or arborist that tree protection fencing identified in the tree management plan is in place; and
- d. Payment of supplemental development permit application fees, Development Cost Charges, and building permit administration fees;

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That Council at time of final reading of Rezoning Bylaw No. 5492 authorize the issuance of Development Permit No. 101091 (streamside protection), to relocate and reconstruct on-site watercourses in accordance with Section 4.20 of Schedule 3 of the Official Community Plan, subject to the following conditions:

- a. Protection of Streamside Protection and Enhancement Development Permit Areas (SPEAs) as shown on Schedule A to the acceptance of the General Manager of Engineering and Community Development;
- b. Township of Langley General Manager of Engineering and Community Development acceptance of a submission addressing information requirements outlined in Section 4.20 of Schedule 3 of Langley Official Community Plan Bylaw 1979 No. 1842;
- c. Written designation of an Environmental Monitor for the project acknowledging the Environmental Monitor has the authority to stop any work(s) that, in the Environmental Monitor's opinion, have the potential to impact on SPEAs; and
- d. Obtainment of relevant senior government environmental regulatory agency approvals and/or submission of notifications and provisions of copies of approval/submissions to the Township;

That Council at time of final reading of Rezoning Bylaw No. 5492 authorize issuance of Development Permit No. 101092 (townhouse units) subject to the following conditions:

- a. Building plans being in substantial compliance with Schedules “A” through “CC”;
- b. On-site landscaping plans being in substantial compliance with Schedules “DD” through “FF”, and in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection) and the Township’s Street Trees and Boulevard Plantings Policy;

Although not part of the development permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

- a. Issuance of an Energy Conservation and GHG Emissions Reduction Development Permit;
- b. On-site landscaping to be secured by letter of credit at building permit stage;
- c. Written confirmation from the owner and landscape architect or arborist that tree protection fencing identified in the tree management plan is in place;
- d. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
- e. Payment of supplemental development permit application fees, Development Cost Charges, and building permit administration fees;

That Council authorize staff to schedule the required Public Hearing for the Community / Neighbourhood Plan amendment bylaw and rezoning bylaw in conjunction with the hearing for proposed Development Permit Nos. 100971, 101091, and 101092; and further

That Council consider authorizing the applicant to proceed with the preparation of the proposed community stormwater detention site following third reading, should such be granted, and in advance of final reading of Bylaw No. 5492 or Bylaw No. 5484 (ToL Project No. 08-22-0071) subject to the following conditions:

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1. Provision of a final tree management plan incorporating tree retention, tree replacement and tree protection details, and security in compliance with the Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection), to the acceptance of the Township of Langley General Manager of Engineering and Community Development;
2. Fencing of Streamside Protection and Enhancement Development Permit Area boundary;
3. Completion of an erosion and sediment control plan and provision of security in accordance with the Erosion and Sediment Control Bylaw to the acceptance of the Township of Langley General Manager of Engineering and Community Development;
4. Provision of a shoring plan, if required, to the acceptance of the Township of Langley General Manager of Engineering and Community Development;
5. Provision of Water Sustainability Act approvals to the acceptance of the Township of Langley General Manager of Engineering and Community Development;
6. Within 48 hours of land clearing activity, provision of confirmation from a Qualified Environmental Professional that land clearing can proceed in accordance with provincial and federal legislation respecting migratory birds and bird nesting;
7. Provision of Traffic Management Plan and security to the acceptance of the Township of Langley General Manager of Engineering and Community Development;
8. Confirmation by the applicant, to the acceptance of the Township of Langley General Manager of Engineering and Community Development, that works undertaken prior to final reading of the bylaw is completely at applicant's risk and expense and in no way fetter Council's discretion in dealing with the rezoning application; and
9. Provision of a security bond to the acceptance of the Township of Langley General Manager of Engineering and Community Development.

EXECUTIVE SUMMARY:

McElhanney Consulting Services Ltd. (on behalf of Mitchell Latimer 80 / 197 Inc.) has applied to rezone a 7.78 ha (19.23 ac) site located at 19648 and 19678 – 80 Avenue and 7661 – 197 Street to Residential Compact Lot Zones R-CL(A), R-CL(B) and R-CL(SD) and Comprehensive Development Zone CD-131 to facilitate development of 21 single family lots, 38 semi-detached lots and 106 townhouse units.

Amendments to the Willoughby Community Plan and Latimer Neighbourhood Plan are required to accommodate a proposed boundary adjustment between Residential and Multi Family designations in the Willoughby Community Plan and the Residential Single Family 3 and Rowhouse / Townhouse B land use designations of the Latimer Neighbourhood Plan to accommodate the proposed townhouse use, consistent with the proposed zoning.

The proponent's application also includes two (2) Development Permits for the single family lots and townhouse units. A third Development Permit (streamside protection) is also being processed to relocate and reconstruct watercourses on site. The applicant has elected not to submit a Development Permit for the semi-detached units at this time.

The Rizun Heritage Residence currently exists on the site at 19678 – 80 Avenue where the townhouse portion of the development is proposed. An application for a Heritage Revitalization Agreement has been submitted and is currently being processed under separate Project No. 08-22-0092 to relocate and restore the heritage house on the site.

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The proposal is consistent with the overall objectives of the Willoughby Community Plan and Latimer Neighbourhood Plan. Staff recommend that Council consider the rezoning request, subject to the completion of 13 development prerequisites. Staff also recommend that Council authorize issuance (at time of final reading of Bylaw No. 5492) of Development Permit No. 100971 (single family lots), Development Permit No. 101091 (streamside protection) and Development Permit No. 101092 (townhouse units).

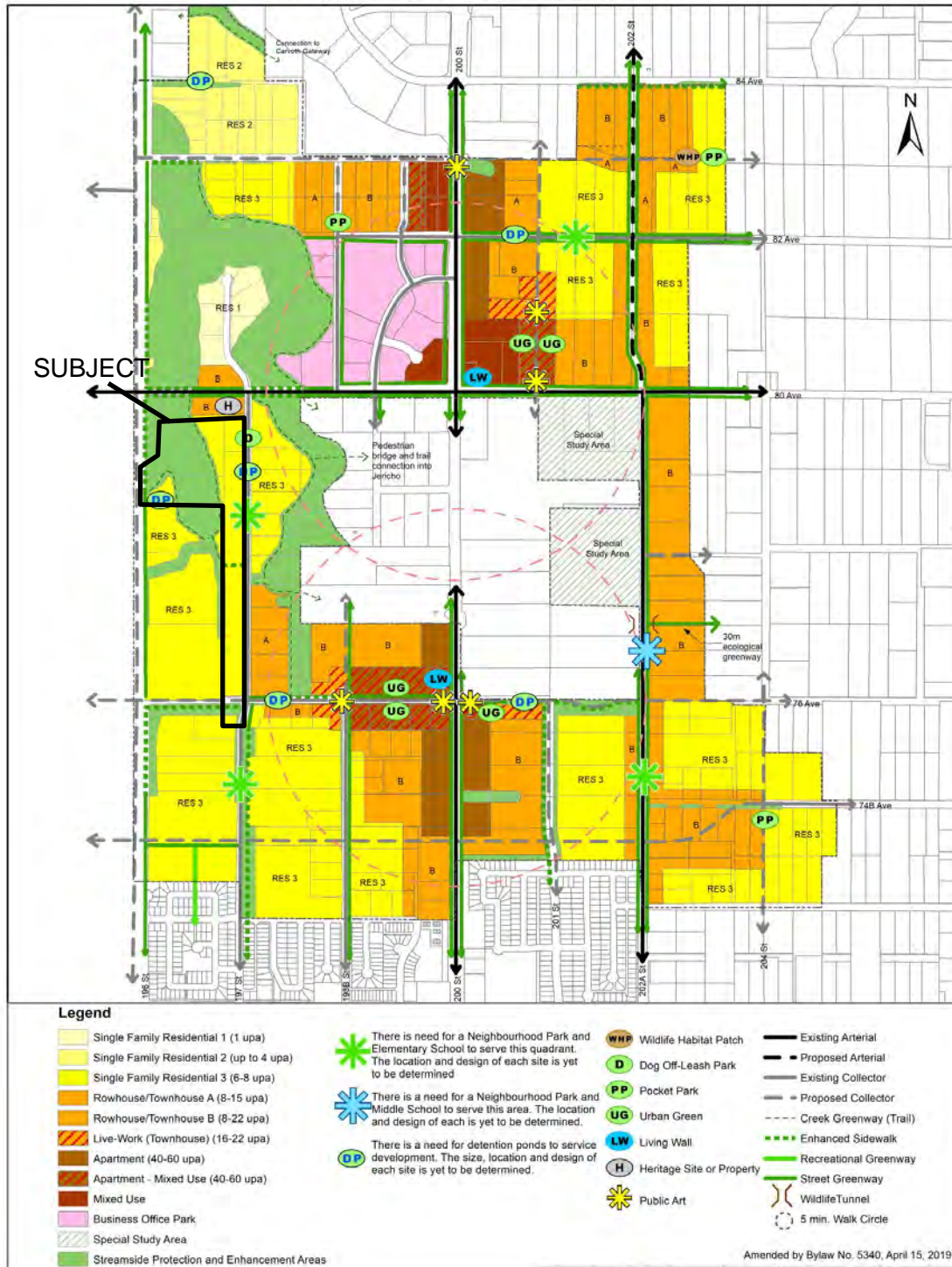
PURPOSE:

The purpose of this report is to advise and make recommendations to Council with respect to Willoughby Community Plan and Latimer Neighbourhood Plan Amendment Bylaw No. 5491, Rezoning Bylaw No. 5492 and Development Permits No. 100971, 101091 and 101092.

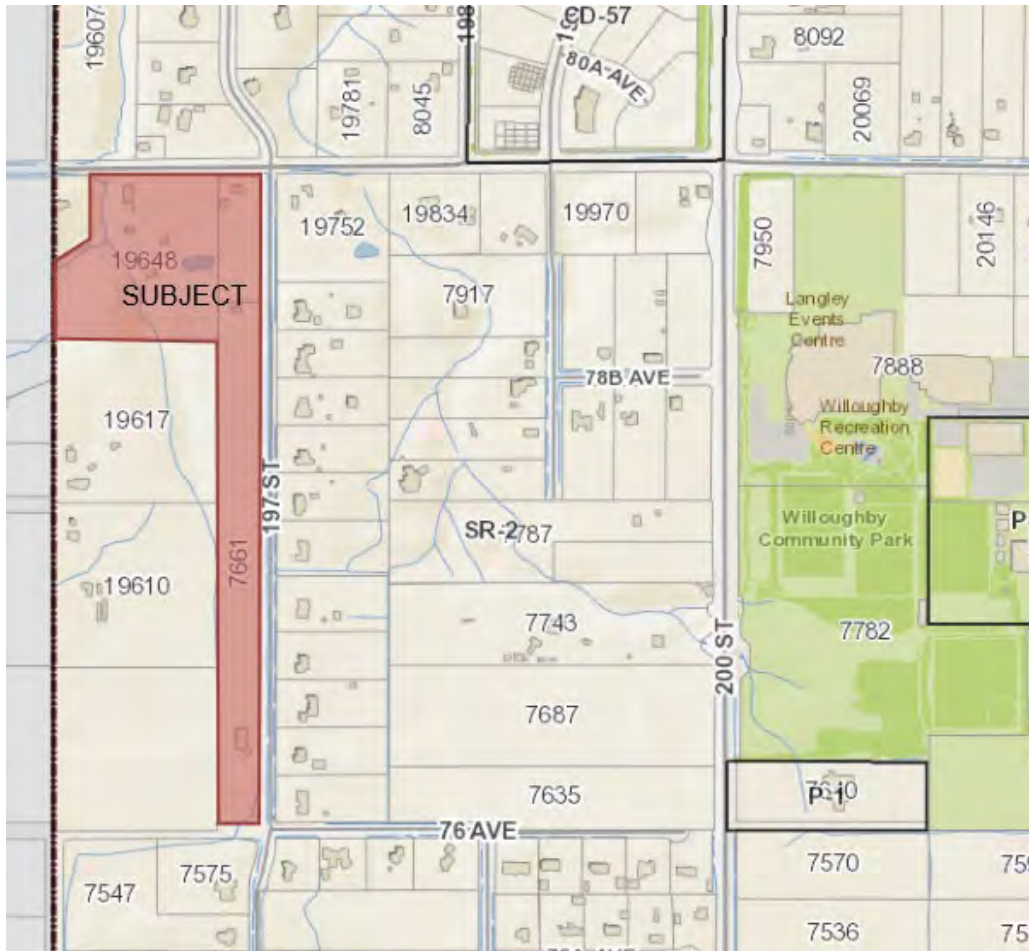


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Map 1 - Latimer Land Use Plan



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ZONING BYLAW NO. 2500

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RENDERINGS (Townhouse Units) – SUBMITTED BY APPLICANT

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REFERENCE:

Owner:	<p>Mitchell Latimer 80 Inc. #200 17650 – 66A Avenue Surrey, BC, V3S 4S4</p> <p>Mitchell Latimer 197 Inc. #200 17650 – 66A Avenue Surrey, BC, V3S 4S4</p>
Legal Description:	<p>Lot 1 Except: Firstly: East 33 Feet Secondly: Parcel “B” (Explanatory Plan 11051) Thirdly: Part Subdivided by Plan 22389, Section 22 Township 8 New Westminster District Plan 5507; and</p> <p>Lots 1 and 2 Section 22 Township 8 New Westminster District Plan LMP33103</p>
Location:	19648 and 19678 – 80 Avenue and 7661 – 197 Street
Area:	7.78 ha (19.23 ac)
Existing Zoning:	Suburban Residential Zone SR-2
Proposed Zoning:	Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL(SD) and Comprehensive Development Zone CD-131
Willoughby Community Plan:	Residential and Multi-Family
Latimer Neighbourhood Plan:	Single Family Residential 3 (6 – 8 upa), Rowhouse / Townhouse B (8 – 22 upa)

BACKGROUND/HISTORY:

Mitchell Latimer 80 / 197 Inc. has assembled lands in the Northwest Phase of the Latimer Neighbourhood Plan (NP). As shown on the site plan included in this report, the assembly extends from between 76 and 80 Avenues between 196 and 197 Streets. The subject application is the second of three projects that the Mitchell Group proposes to develop in west Latimer. The remaining project is located in the 7600 – 7700 Block of 197 Street.

As the subject site is one of the first development proposals in the Northwest Phase of the Latimer NP, it triggers the plan requirements for ‘opening’ a development phase. The proposed development site is currently zoned Suburban Residential SR-2 and is designated Single Family 3 (6 – 8 units per ac) and Rowhouse / Townhouse B (8 – 22 upa) in the Latimer NP.

DISCUSSION/ANALYSIS:

Mitchell Latimer 80 / 197 Inc. has applied to rezone 7.78 ha (19.23 ac) of land located at 19648 and 19678 – 80 Avenue and 7661 – 197 Street to facilitate development of 21 single family lots, 38 semi-detached lots and 106 townhouse units. Two (2) Development Permits for the site are being processed in conjunction with the rezoning application to provide Council the opportunity to review the form, character and siting of the single family lots and townhouse units. A Streamside Development Permit has also been applied for as part of this application to modify the width of the Streamside Protection and Enhancement Area and to accommodate relocation and reconstruction of existing watercourses on the site.

The existing properties are currently used for suburban residential purposes, and is mostly flat. Latimer Creek is located west of the proposed townhouse portion of the site. The Rizun Heritage Residence currently exists in a central location on the townhouse portion of the site and is proposed to be relocated and restored on the northeast corner of the site as part of a Heritage Revitalization Agreement under Project No. 08-22-0092. As part of the subdivision application associated with the subject application, a separate lot will be created to accommodate the Rizun Heritage Residence in its new location on the site.

Adjacent Uses:

North: 80 Avenue, beyond which is a lot zoned Suburban Residential Zone SR-2, designated Rowhouse / Townhouse B in the Latimer NP;

South: 76 Avenue, beyond which is a lot zoned Suburban Residential Zone SR-2, designated Single Family Residential 3 in the Latimer NP. An application has been submitted on this site for development (TOL Project 08-22-0086);

East: 197 Street, beyond which are 12 suburban residential lots, zoned Suburban Residential Zone SR-2 and designated Single Family Residential 3 (6 – 8 upa) and Rowhouse / Townhouse A (8 – 15 upa) in the Latimer NP; and

West: 196 Street, beyond which is the City of Surrey.

Community Plan Amendment:

The subject development is designated for “Multi-Family” and “Residential” uses in the Willoughby Community Plan and for “Single Family 3 (6 – 8 upa)” and “Rowhouse / Townhouse (8 – 22 upa)” uses in the Latimer Neighbourhood Plan.

The applicant proposes to amend the Latimer Neighbourhood Plan to adjust the boundary between the Single Family 3 (6 – 8 upa) and Rowhouse / Townhouse (8 – 22 upa) land use designation to allow the development of townhouse units on the northernmost portion of the site. The adjustment is located on the site where the Rizun Heritage Residence is located. The Latimer Neighbourhood Plan indicates that consideration for variations to density, siting, use may be provided in this location to achieve favorable outcomes for relocation and preservation of the Rizun Heritage Residence. As the Rizun Heritage Residence is proposed to be relocated and restored as part of Project 08-22-0092, the proposed boundary adjustment may be considered consistent with the goals and objectives of the Latimer NP. A concurrent application to amend the Willoughby Community Plan map is also part of this application to ensure consistency between the Willoughby Community Plan and the Latimer Neighbourhood Plan.

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Zoning Amendment:

The subject land assembly is currently zoned Suburban Residential Zone SR-2. Bylaw No. 5492 proposes to rezone portions of the lands to Residential Compact Lot Zones R-CL(A), R-CL(B), R-CL (SD) and Comprehensive Development Zone CD-131 to facilitate development of 21 single family lots, 38 semi-detached lots, and 106 townhouse units. The area proposed for the relocation of the Rizun Heritage Residence at the northeast corner of the site will remain zoned Suburban Residential SR-2.

In conjunction with the rezoning application, a subdivision will be required to create the single family and townhouse lots, greenway and streamside parcels. The project complies with the provisions of the proposed Single Family Residential 3 (6 – 8 upa permitted / 7.96 upa proposed) and Rowhouse / Townhouse B (8 -22 upa permitted / 19.2 upa proposed) designations in the Latimer NP, and the provisions of the proposed Residential Compact Lot R-CL(A), R-CL(B), R-CL(SD) and Comprehensive Development Zone CD-131 zoning in terms of siting, site coverage, parking, height, use and density.

Public Consultation:

As per Policy No. 07-164, the applicant held a public meeting on September 12, 2018. Results of the Developer Held Public Information Meeting were compiled and are provided on Attachment F.

Development Permit:

The site is designated a mandatory Development Permit area to provide Council the opportunity to review the form, character and siting of any proposed development. The site has been considered in accordance with the Residential Development Permit Area guidelines included in the Willoughby Community Plan (see Attachment D). The proponent has submitted elevations and renderings detailing the form, height, exterior finishing, architectural style and massing of the proposed townhouse units for Council's consideration.

The applicant has elected not to submit a Development Permit application for the proposed Residential Compact Lot R-CL(SD) units at this time. The applicant will be required to submit a development permit for these units to allow Council the opportunity to review the form, character and siting of the units prior to building permits being issued. Included as a condition of rezoning in this report is a requirement for a covenant to be registered on the proposed R-CL(SD) lots to prohibit development until such time as a development permit for the lots has been submitted and issued by Council.

Development Permit No. 100971 (Single Family Lots):

The Development Permit guidelines for the 21 proposed single family residential lots are implemented through a Development Permit requirement for the proponent to enter into an exterior design control agreement at time of subdivision. The exterior design control agreement typically addresses the form, character and siting of individual single family homes constructed in the development. Proposed Development Permit No. 100971 is attached to this report as Attachment A.

Development Permit No. 101091 (Streamside Protection):

Langley Official Community Plan Bylaw No. 1842 Schedule 3 Development Permit Areas: Streamside Protection and Enhancement (OCP Schedule 3) was adopted to establish and maintain undisturbed naturally vegetated zones along watercourses. The required widths of these no-disturbance zones, referred to as "Streamside Protection and Enhancement Areas" (SPEA),

follows the Township watercourse classification system (i.e. Class A, Class B, Class C) which is based on channel type, water flow and fish presence. Map 2 (Watercourse Setbacks) of the Latimer Neighbourhood Plan (Plan) depicts the protection, relocation, and consolidation of SPEAs consistent with the objectives, policies and guidelines of OCP Schedule 3 to accommodate the Latimer Land Use Plan.

Two Class A (red-coded) watercourses, Latimer Creek and a tributary to Latimer Creek (Tributary) are located in the northern portion of the project site (19648 - 80 Avenue) and a Class B (yellow-coded) constructed watercourse is located in the south portion of the project site (7661 - 197 Street). Three Class C watercourses drain to the aforementioned Class B constructed watercourse and Class C roadside drainages associated with 80 Avenue and 197 Street are located adjacent to the project site.

The Latimer Neighbourhood Plan (Plan) envisions protection of watercourses on the project site in accordance with OCP Schedule 3 with a 30 m (98 ft) wide SPEA for Class A watercourses and 10 m (32 ft) wide SPEAs for Class B constructed watercourses. SPEAs on the project site total 16,529 m² (177,917 ft²). Class C watercourses provide a drainage function only and are not assigned a SPEA.

The applicant proposes SPEA decreases on east and north sides of Latimer Creek totalling 758 m² (8159 ft²). OCP Schedule 3 requires a SPEA decrease to be offset through an equivalent SPEA increase that is contiguous with, and in close proximity to, the affected SPEA (i.e. on the same side of the creek). The applicant's proposal includes offsetting SPEA decreases on the north and east sides of Latimer Creek through SPEA increase on the west side of Latimer Creek. As the proposed SPEA offsetting approach differs from OCP Schedule 3 offsetting requirements, the proposal must be considered by Council through a streamside development permit.

The applicant proposes to offset the 758 m² (8,159 ft²) of SPEA decrease with a 9 m² (97 ft²) SPEA increase on the east side of Latimer Creek and a 1,073 m² (11,549 ft²) SPEA increase on the west resulting in a net gain of 324 m² (3,487 ft²) of Latimer Creek SPEA at the north end of the project site. Additionally, the applicant proposal includes a 2,498 m² (26,888 ft²) SPEA increase on the Class B watercourse at the south end of the project. Staff note the proposal exceeds the Plan requirement and provides an additional 2,658 m² (28,610 ft²) of SPEA. The SPEA will be dedicated to the Township of Langley.

In accordance with OCP Schedule 3 requirements, SPEA restoration and enhancement works are required to offset impacts associated with a SPEA modification. The applicant's proposal includes restoration and enhancement of approximately 3,313 m² (35,661 ft²) of SPEA to provide fish habitat functions to Latimer Creek. Staff note the restoration effort exceeds minimum OCP Schedule 3 requirements and provides an additional 1,797 m² (19,343 ft²) of SPEA enhancements.

Dedication of SPEAs, acceptance of streamside restoration and enhancement plans and details, streamside fencing and signage, and security have been made a development prerequisite.

Based on the results of the applicant's streamside submission, the proposed streamside enhancements, and adherence to the conditions of this permit, staff believes the proposal is consistent with the objectives of the Plan and Schedule 3 of the OCP. The proposal also supports the Township's Sustainability Charter objective to enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. Proposed Streamside Development Permit No. 101091 is attached to this report (see Attachment B) and includes a SPEA plan (see Schedule A of Attachment B) for Council's consideration.

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Development Permit No. 101092 (Form and Character 106 townhouse units):

The townhouse portion of the development consists of 106 townhouse units in 20 buildings. The floor area of the individual units ranges from 78 m² to 292 m² (841 ft² to 3,147 ft²). A variety of unit types are proposed including 65 double wide garage units and 41 tandem units, that are two (2) and three (3) storeys tall. As a requirement of the development, the applicant is required to register a restrictive covenant prohibiting the development of secondary suites within the individual townhouse units.

The street facing elevations feature design elements such as gabled roofs, covered entrances and strongly identifiable entrances. Cladding materials include hardi shingle and siding, board and batten, wood trim and vinyl siding. The variations in colours and materials proposed are used to highlight the individual units as well as the architectural features of the buildings. The proposed building heights (2 - 3 storeys), site coverage (27%) and siting comply with the requirements of the Comprehensive Development Zone CD-131.

The application complies with Section 5.2.3 of the Latimer Neighbourhood Plan (4 spaces required when fronting an arterial or collector road – 80 Avenue is an arterial road) and Zoning Bylaw by providing 358 parking spaces outdoors and within garages as outlined below:

	Parking Spaces Required	Parking Spaces Provided
Residential Spaces (16 Double Wide – Fronting 80 Avenue) (4 spaces required / unit)	64	64
Residential Spaces (49 Double Wide) (2 spaces required / unit)	98	160
Residential Spaces (41 Tandem Units) (2.3 spaces / unit)	94	112
Visitor Parking Spaces (0.2 spaces required / unit)	21	22
Total	277	358

As a prerequisite of final reading of the rezoning bylaw, the applicant will be required to register a restrictive covenant prohibiting parking on the internal strata roadways and prohibiting garages from being developed for purposes other than the parking of vehicles.

The on-site landscape plans propose the planting of shrubs, trees and sod in the front, flanking and rear yards of each unit.

The Township's Zoning Bylaw requires provision of Age Friendly Amenity Areas for each townhouse unit. The applicant is providing 992 m² (10,685 ft²) of Age Friendly Amenity Area in compliance with the Zoning Bylaw requirements.

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 (MITCHELL LATIMER 80 / 197 INC. / 19648 AND 19678 – 80 AVENUE AND
 7661 – 197 STREET)
 Page 17 . . .

Greenhouse Gas Development Permit:

The subject properties are located in Development Permit Area “O” of the Willoughby Community Plan, which establishes objectives to promote energy conservation and reduction of greenhouse gas emissions through the issuance of a development permit. Council through Bylaw No. 5246 (Development Permit Delegation bylaw) delegated issuance of Energy Conservation and GHG Emissions Development Permits to the Delegated Official (defined in the bylaw as the General Manager, Engineering and Community Development or Approving Officer, or designates). Staff note that the Energy Conservation and GHG Emissions Permit is being processed concurrently and its issuance is required prior to building permit as indicated in Development Permit No. 100971.

Subdivision:

The Mitchell Latimer 80 / 197 Inc. assembly currently consists of three (3) parcels. The applicant is proposing to subdivide the lands to create 21 single family lots, 38 semi-detached lots, and separate lots for the townhouse site, greenway lots, streamside protection area, and Rizun Heritage Residence. Three (3) of the single family lots are proposed to be oversized to allow for future subdivision with the neighbouring property. The lot reconfiguration is arranged to match the proposed zoning.

Adaptable Housing:

In accordance with Section 3.1.9 of the Township’s Official Community Plan and Section 5.2.1 of the Latimer NP, a minimum of 5% of the units in single family and townhouse developments shall provide adaptable housing. Council has chosen to implement this provision through the adoption and implementation of the Adaptable Housing Requirements. The adaptable units are to be identified and secured by restrictive covenant prior to final reading.

Community Amenity Contributions:

Staff note that the Community Amenity Contributions (CAC) Policy (adopted by Council on July 23, 2018 and subsequently revised on April 15, 2019) is applicable to the subject residential rezoning application. The policy specifies target contribution amounts based on unit types. The current target contribution amounts specific to this development are \$5,673 per single family lot and \$4,814 per semi-detached or townhouse unit for a total of \$812,349.00. As noted in the policy, payment of the CAC may be made to the Township prior to consideration of final reading of the rezoning bylaw as specified under Section 5.5 of the CAC Policy. Compliance with the CAC Policy is included in the list of rezoning prerequisites for this application.

Landscaping:

The landscape plans (Attachment C – Schedules “DD” to “FF”) propose the planting of trees, shrubs and groundcovers around the perimeter of the lots. The streetscape landscaping includes low picket fencing for the front yards of the townhouse units to define the private and public realm.

Tree Protection/Replacement:

Staff note that, in accordance with the development prerequisites, a restrictive covenant prohibiting clearing (with the exception of servicing access areas) until such time as a development permit is issued will be registered on the proposed Residential Compact Lot Zones R-CL(A) and R-CL(SD) lots. As a result, tree management plans for the developable lands south of the Townhouse site will be reviewed in conjunction with development permit applications on these lands.

OFFICIAL COMMUNITY PLAN AMENDMENT AND
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The tree management plans submitted by the applicant indicate that 129 significant trees categorized as being significant based on the current Township of Langley Subdivision and Development Servicing Bylaw definition exist within the subject site, 29 of which are located with the Townhouse portion of the site and a further 16 of which are located within existing Township road allowances. Additionally, 31 trees are located within the streamside non-disturbance area. Of the 29 existing trees within the townhouse portion of the development, 5 trees are proposed for retention. The applicant is also reserving the decision regarding removal of 3 trees in the greenway until such time as detailed offsite design of the greenways can determine if the trees can be retained. According to the Arborist's evaluation report supplied by the applicant, 18 trees within the townhouse site, consisting of mixed native and ornamental tree species with existing structural defects, were found to be poor candidates for retention in the context of the proposed land use changes. An additional 3 trees located on this portion of the site are proposed to be removed due to construction conflicts

In accordance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection), a total of 349 replacement trees are required. The applicant is proposing to plant 279 Replacement trees on the townhouse and single family portions of the site, with funds for the remaining 70 replacement trees being secured for tree planting on identified public lands. In addition, approximately 67 street trees are required along the road frontages (in compliance with the Township's Street Trees and Boulevard Plantings Policy). Post development approximately 424 trees will be in place. Final tree retention, protection, and replacement plans are subject to the final acceptance of the Township. This requirement has been included in the list of development prerequisites to be completed prior to final reading of the rezoning bylaw.

Greenways:

As part of the project, the applicant will be required to dedicate and construct street greenways (including a path and landscaping) along the south side of 80 Avenue as defined in the Latimer NP. The Latimer NP also identifies areas where enhanced sidewalks are required. An enhanced sidewalk connection is proposed from 197 Street to the Creek Greenway (trail) in the 7700 Block of 197 Street, consistent with the Latimer NP south of the proposed townhouse site.

Servicing:

Prior to final reading, the applicant is required to enter into a Servicing Agreement to secure works and services such as construction of road works, greenways, tree replacement, community stormwater detention facility and utility upgrades and/or extensions to the acceptance of the Township. Road dedications, widening, and necessary traffic improvements may be required in accordance with the Subdivision and Development Servicing Bylaw and the Latimer NP. The applicant will also be required to provide erosion and sediment control measures in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township.

As listed as prerequisite of development in this report, the applicant will be required to secure a community stormwater detention site to serve the storm catchment area (currently under application Project No. 08-22-0094). The applicant has requested to prepare and excavate the required community stormwater detention site following third reading of Bylaw No. 5492 (or Bylaw No. 5484 being processed under ToL Project No. 08-22-0071).

Included in this report is a resolution for Council's consideration regarding this matter. Should Council elect to accommodate this request, the applicant will be required to secure the noted items prior to proceeding. The developer has acknowledged in writing that proceeding in advance of final reading is at their own risk and proposes to provide the required security bonding.

Environmental Considerations:

The Township's Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township's Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Schedule 3 of the OCP, Erosion and Sediment Control Bylaw, and Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations. The provision of stormwater management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter.

School and Park Sites:

Section 11.2 (General Prerequisites) of the Latimer NP states:

"Prior to the adoption of a zoning bylaw amendment in the Latimer Neighbourhood Plan as identified on Map 4, the following general prerequisites must be satisfied:

- 1. With the exception of non-residential developments, a joint elementary school and neighbourhood park site must be secured in each phase as shown on Map 4 to the acceptance of the Township of Langley and the Langley School District, subject to other provisions of this Plan, before any development may occur in that area.....c.) The boundary between the Northwest and Southwest phases are subject to change based on actual student enrollment numbers as determined by the School District."*

The Latimer Neighbourhood Plan also references that the requirements of Section 11.2 will be deemed to have been met for the area west of 200 Street with one joint elementary school and neighbourhood park site subject to conditions, including School District review. A joint elementary school and neighbourhood park site is currently proposed in the Southwest Phase (west of 200 Street) of the Latimer NP between 197 and 198B Streets, between 73A and 74 Avenues as part of a separate Mitchell Group project (Project No. 08-22-0071). The proposed development falls within the Northwest Phase of the Latimer NP. To date a Neighbourhood School / Park site has not been proposed for the Northwest Phase of the Latimer NP. Prior to final reading, the joint elementary school site and neighbourhood park site must be secured to the acceptance of the School District and Township.

The Latimer Neighbourhood currently falls within the catchment area of Willoughby Elementary School (located on the southwest corner of 208 Street and 80 Avenue). In the short term, elementary students from the proposed development are expected to attend Willoughby Elementary School. School District 35 has provided comments (Attachment D) and anticipates that the overall development will generate approximately 51 new students for Willoughby Elementary (located approximately 2.1 km (northeast) of the site), 21 new students for Peter Ewart Middle School (located approximately 1 km east of the site) and 36 new students for R.E. Mountain Secondary School (located approximately 1 km east of the site).

In addition to the neighbourhood park within the development area the existing Willoughby Community Park is located approximately 600m east of the development site. Prior to final reading the proponent is also required to comply with the Township's 5% Neighbourhood Parkland Acquisition Policy.

OFFICIAL COMMUNITY PLAN AMENDMENT AND
REZONING APPLICATION NO. 100160 AND
DEVELOPMENT PERMIT APPLICATION NOS. 100971, 101091 AND 101092
(MITCHELL LATIMER 80 / 197 INC. / 19648 AND 19678 – 80 AVENUE AND
7661 – 197 STREET)
Page 20 . . .

Transit:

Transit service is currently provided along 200 Street via the 501 bus route.

POLICY CONSIDERATIONS:

The proposed development is located in an area designated Residential and Multi-Family in the Willoughby Community Plan and Single Family Residential 3 (6 – 8 upa) and Rowhouse / Townhouse B (8 – 22 upa) in the Latimer Neighbourhood Plan. A community plan and neighbourhood plan amendment are required to adjust the boundary between the designations to accommodate relocation and restoration of the Rizun Heritage Residence and the proposed townhouse development.

The proposal is consistent with the overall objectives of the Township of Langley Sustainability Charter, the Willoughby Community Plan and Latimer Neighbourhood Plan, and in staff's opinion is in compliance with the Development Permit Guidelines of the Willoughby Community Plan.

Staff recommend that Council give first and second reading to Bylaws No. 5491 and 5492 (subject to 13 development prerequisites) and authorize issuance (at time of final reading of Bylaw No. 5492) of accompanying Development Permits No. 100971, 101091, and 10192 and authorize staff to schedule the required Public Hearing.

Respectfully submitted,

Colin Moore
DEVELOPMENT PLANNER
for
COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A	Development Permit No.100971 (single family lots)
ATTACHMENT B	Development Permit No.101091 (streamside protection)
ATTACHMENT C	Development Permit No. 101092 (townhouse units)
ATTACHMENT D	Willoughby Development Permit Area B – Residential Guidelines
ATTACHMENT E	School District 35 comments
ATTACHMENT F	Public Information Meeting summary

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 100971

This Permit is issued this _____ day of _____, 2019 to:

1. NAME: Mitchell Latimer 80 / 197 Inc.

 ADDRESS: #200 17650 – 66A Avenue
 Surrey, BC, V3S 4S4
2. This permit applies to and only to those lands within the Municipality described as follows
 and to any and all buildings, structures and other development thereon:

 LEGAL DESCRIPTION: Portion of Lot 1 Section 22 Township 8 New Westminster
 District Plan LMP33103

 CIVIC ADDRESS: 7661 - 197 Street
3. This permit is issued subject to compliance with all of the bylaws of the Municipality of
 Langley applicable thereto, except as specifically varied or supplemented by this permit as
 follows:
 - a. An exterior design control agreement shall be entered into for all lands zoned
 Residential Compact Lot Zone R-CL(A), and R-CL(B);
 - b. On-site landscaping plans being in substantial compliance with Subdivision and
 Development Servicing Bylaw (Schedule I - Tree Protection) and the Township's
 Street Trees and Boulevard Plantings Policy;

Although not part of the development permit requirements, the applicant is advised that
prior to issuance of a building permit, the following items will need to be finalized:

- a. Issuance of an Energy Conservation and GHG Emissions Reduction Development
 Permit;
 - b. On-site landscaping to be secured by letter of credit at building permit stage;
 - c. Written confirmation from the owner and landscape architect or arborist that tree
 protection fencing identified in the tree management plan is in place; and
 - d. Payment of supplemental development permit application fees, Development Cost
 Charges, and building permit administration fees;
4. The land described herein shall be developed strictly in accordance with the terms,
 conditions and provisions of this Permit and any plans and specifications attached as a
 schedule to this permit which shall form a part hereof.

This permit is not a building permit.

All developments forming part of this development permit shall be substantially commenced
within two years after the date the development permit is issued.

DEVELOPMENT PERMIT NO. 100971
(MITCHELL LATIMER 73 INC. / 7661 – 197 STREET)
Page 2

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this permit.

This permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2019

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 101091

This Permit is issued this _____ day of _____, 2019 to:

1. NAME: Mitchell Latimer 80 / 197 Inc.

ADDRESS: #200 17650 – 66A Avenue
Surrey, BC, V3S 4S4

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Lot 1 Except: Firstly: East 33 Feet Secondly: Parcel “B”
(Explanatory Plan 11051) Thirdly: Part Subdivided by Plan
22389, Section 22 Township 8 New Westminster District Plan
5507

Section 22 Township 8 New Westminster District Plan
LMP33103

CIVIC ADDRESS: 19648 and 19678 – 80 Avenue and 7661–197 Street

3. This permit is issued subject to compliance with all of the bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:

- a. Protection of Streamside Protection and Enhancement Development Permit Areas (SPEAs) as shown on Schedule A to the acceptance of the Township;
- b. Township of Langley General Manager of Engineering and Community Development acceptance of a submission addressing information requirements outlined in Section 4.20 of Schedule 3 of Langley Official Community Plan Bylaw 1979 No. 1842;
- c. Written designation of an Environmental Monitor for the project acknowledging the Environmental Monitor has the authority to stop any work(s) that, in the Environmental Monitor's opinion, have the potential to impact on SPEAs; and
- d. Obtainment of relevant senior government environmental regulatory agency approvals and/or submission of notifications and provisions of copies of approval/submissions to the Township;

4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a schedule to this permit which shall form a part hereof.

This permit is not a building permit.

All developments forming part of this development permit shall be substantially commenced within two years after the date the development permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other

DEVELOPMENT PERMIT NO. 101091
(MITCHELL LATIMER 80 / 197 INC. / 19648 AND 19678 – 80 AVENUE AND 7661 – 197
STREET)
Page 2

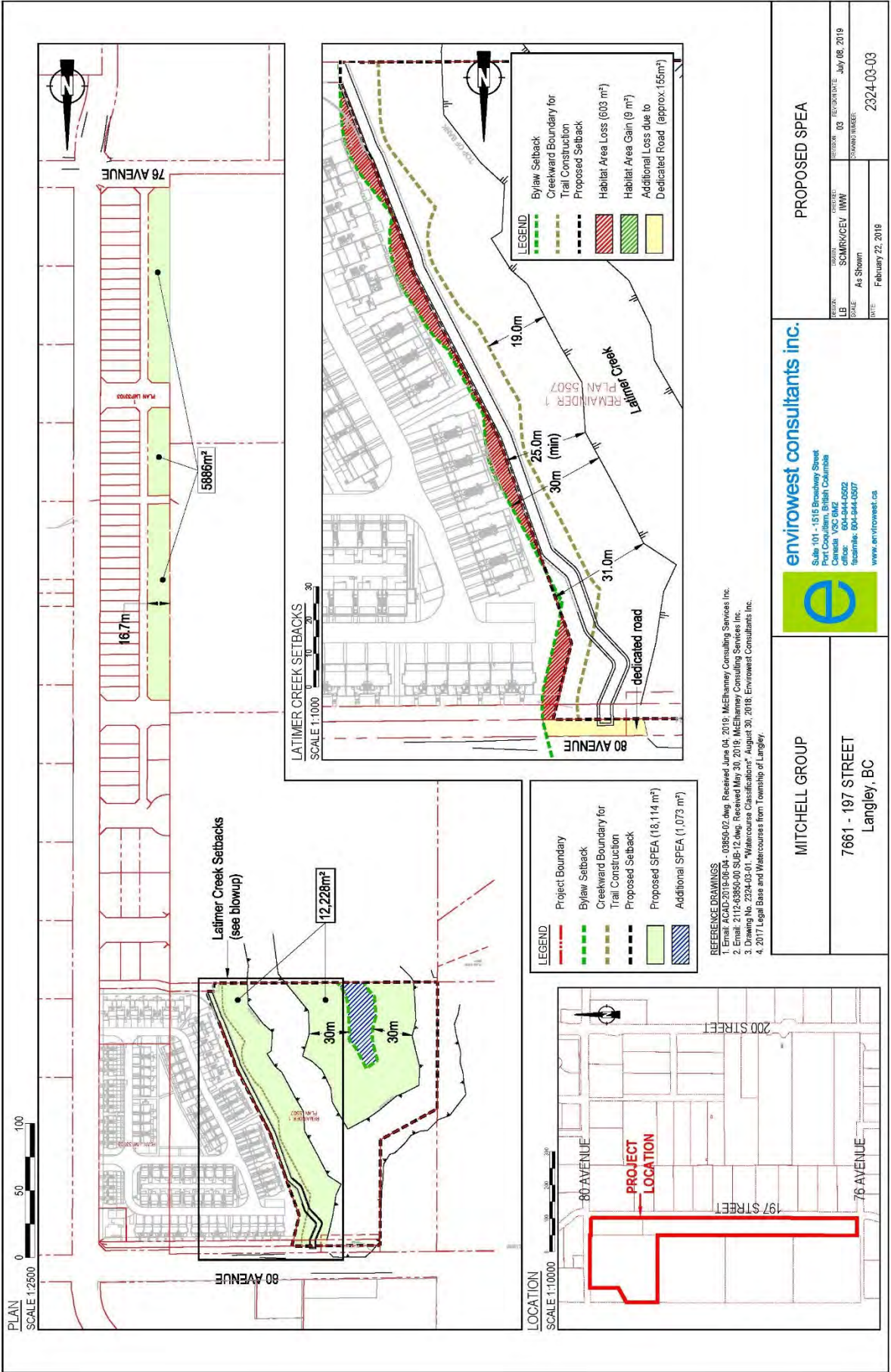
than those in this permit.

This permit shall enure to the benefit of and be binding upon the parties hereto and their
respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS _____ DAY OF _____, 2019.

SCHEDULE A	Streamside Protection Areas
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SCHEDULE A
STREAMSIDE PROTECTION AREAS



THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 101092

This Permit is issued this _____ day of _____, 2019 to:

1. NAME: Mitchell Latimer 80 / 197 Inc.

ADDRESS: #200 17650 – 66A Avenue
Surrey, BC, V3S 4S4

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Portion of Lot 1 Except: Firstly: East 33 Feet Secondly: Parcel "B" (Explanatory Plan 11051) Thirdly: Part Subdivided by Plan 22389, Section 22 Township 8 New Westminster District Plan 5507

Portion of Lots 1 and 2 Section 22 Township 8 New Westminster District Plan LMP33103

CIVIC ADDRESS: 19648 and 19678 – 80 Avenue and 7661 – 197 Street

3. This permit is issued subject to compliance with all of the bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:

- a. Building plans being in substantial compliance with Schedules "A" through "CC"; and
- b. On-site landscaping plans being in substantial compliance with Schedules "DD" through "FF", and in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection) and the Township's Street Trees and Boulevard Plantings Policy;

Although not part of the development permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

- a. Issuance of an Energy Conservation and GHG Emissions Reduction Development Permit;
 - b. On-site landscaping to be secured by letter of credit at building permit stage;
 - c. Written confirmation from the owner and landscape architect or arborist that tree protection fencing identified in the tree management plan is in place;
 - d. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township; and
 - e. Payment of supplemental development permit application fees, Development Cost Charges, and building permit administration fees;
4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a schedule to this permit which shall form a part hereof.

DEVELOPMENT PERMIT NO. 101092
 (MITCHELL LATIMER 80 / 197 INC. / 19648 AND 19678 – 80 AVENUE AND 7661 – 197
 STREET)
 Page 2

This permit is not a building permit.

All developments forming part of this development permit shall be substantially commenced within two years after the date the development permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this permit.

This permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2019.

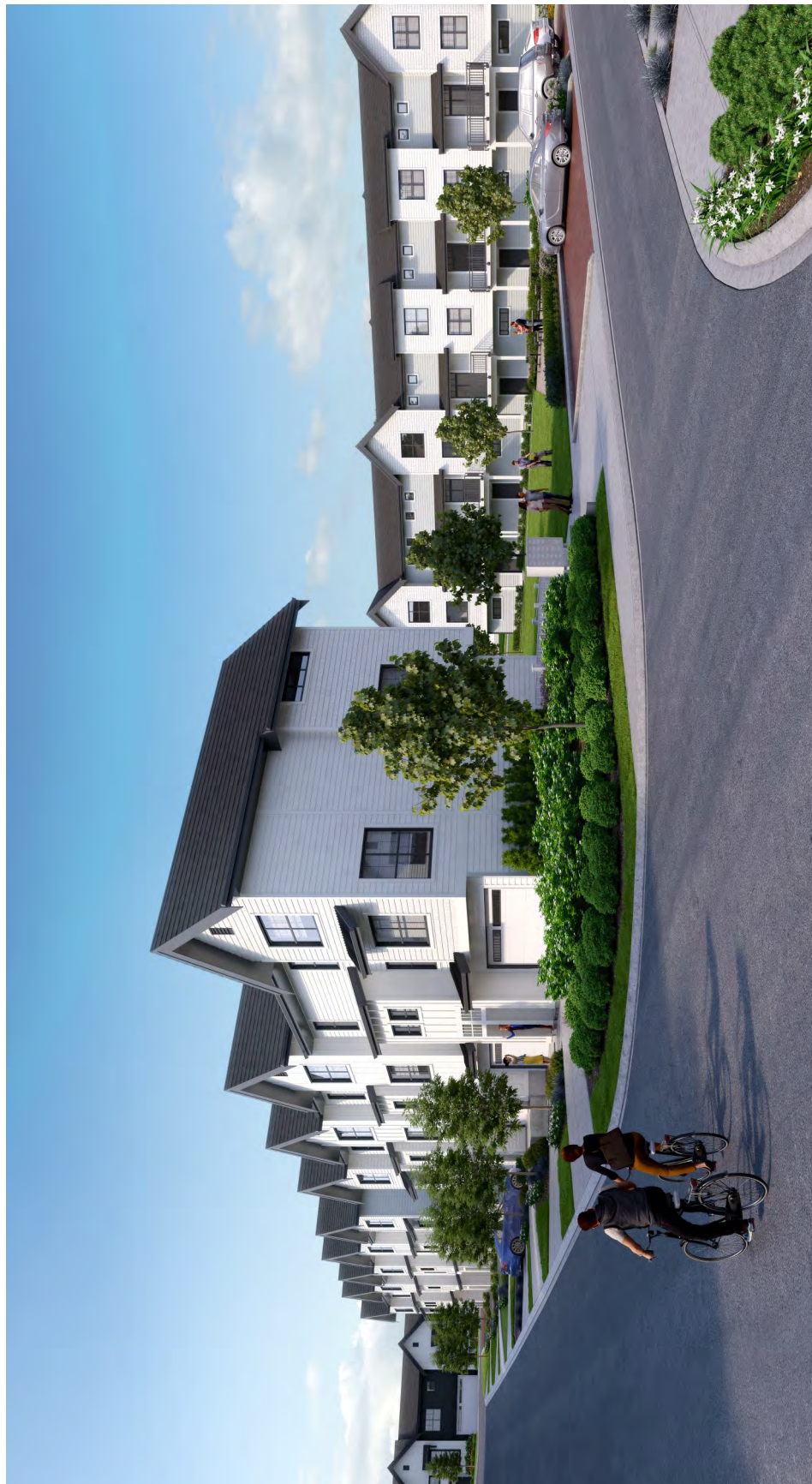
Schedule A	Rendering Main Entry
Schedule B	Rendering Buildings 9 & 16
Schedule C	Rendering Building 13
Schedule D	Rendering Buildings 2 & 7
Schedule E	Rendering Building 18
Schedule F	Townhouse Site Plan
Schedule G	Streetscape 197 Street
Schedule H	Streetscape 80 Avenue
Schedule I	Building 1 Elevations
Schedule J	Building 2 Elevations
Schedule K	Building 3 Elevations
Schedule L	Building 4 Elevations
Schedule M	Building 5 Elevations
Schedule N	Building 6 Elevations
Schedule O	Building 7 Elevations
Schedule P	Building 8 Elevations

DEVELOPMENT PERMIT NO. 101092
 (MITCHELL LATIMER 80 / 197 INC. / 19648 AND 19678 – 80 AVENUE AND 7661 – 197
 STREET)
 Page 3

Schedule Q	Building 9 Elevations
Schedule R	Building 10 Elevations
Schedule S	Building 11 Elevations
Schedule T	Building 12 Elevations
Schedule U	Building 13 Elevations
Schedule V	Building 14 Elevations
Schedule W	Building 15 Elevations
Schedule X	Building 16 Elevations
Schedule Y	Building 17 Elevations
Schedule Z	Building 18 Elevations
Schedule AA	Building 19 Elevations
Schedule BB	Building 20 Elevations
Schedule CC	Colours and Materials
Schedule DD	Landscape Plan
Schedule EE	Material Plan
Schedule FF	Landscape Details



SCHEDULE A
RENDERING MAIN ENTRY



SCHEDULE B RENDERING BUILDINGS 9 AND 16



SCHEDULE C
RENDERING BUILDING 13

SCHEDULE D
RENDERING BUILDINGS 2 & 7





SCHEDULE E
RENDERING BUILDING 18

F.3 - Page 34



SCHEDULE G
STREETSCAPE 197 STREET



F.3 - Page 36



SCHEDULE I
BUILDING 1 ELEVATIONS



F.3 - Page 38





F.3 - Page 41



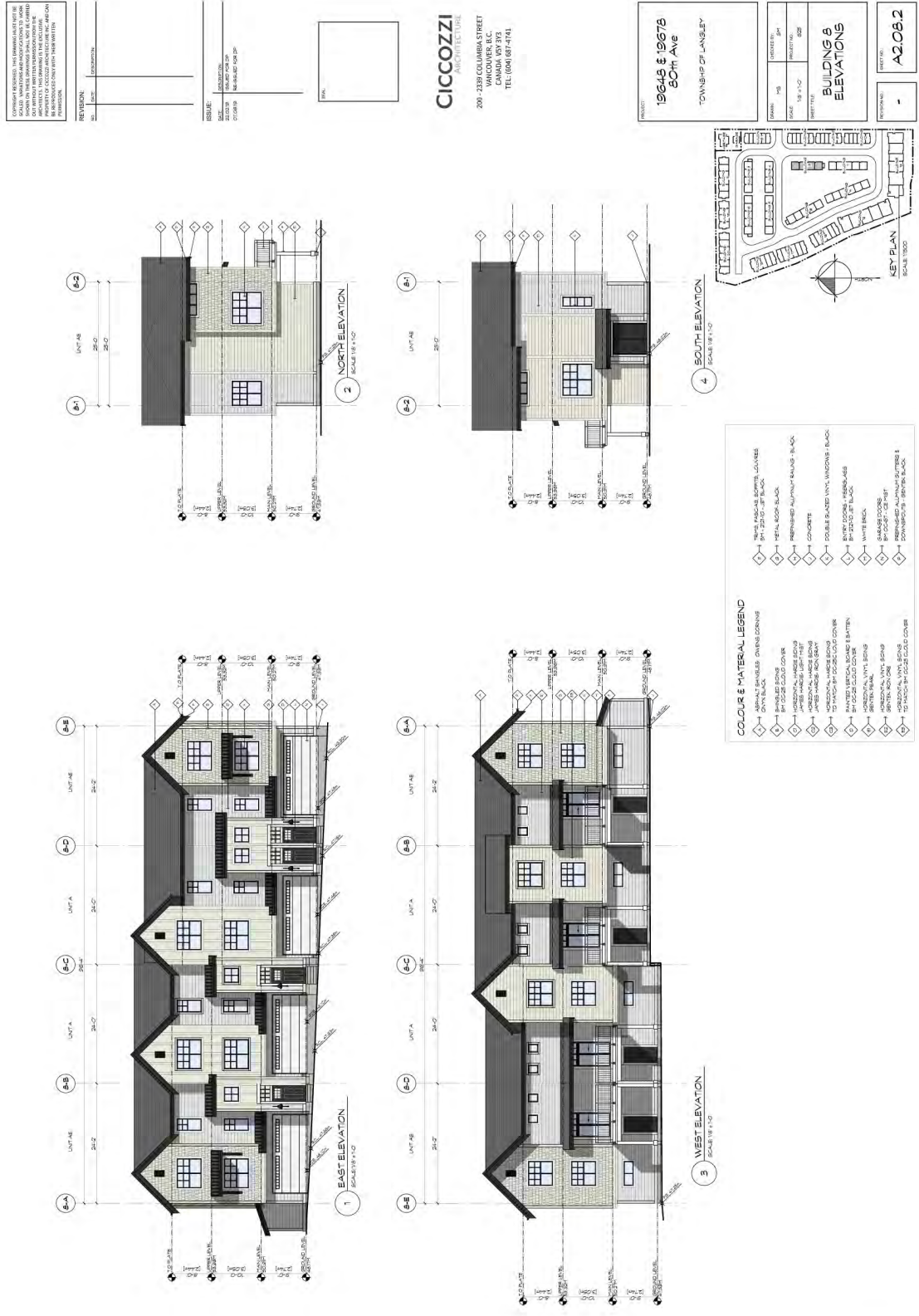
F.3 - Page 42



F.3 - Page 43



SCHEDULE P
BUILDING 8 ELEVATIONS



CONSTRUCTION NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. FINISH GRADE SHALL BE INDICATED BY A DOTTED LINE.
3. ELEVATIONS ARE TO BE CONSIDERED AS APPROXIMATE.
4. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE TOWNSHIP OF LANGLEY.
5. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE TOWNSHIP OF LANGLEY.

REVISION:
DATE: 01/01/2019
BY: [Signature]
REASON: [Text]

ISSUE:
DATE: 01/01/2019
BY: [Signature]
REASON: [Text]

DATE: 01/01/2019
BY: [Signature]
REASON: [Text]

CICCOZZI
ARCHITECTURE
200-2328 COLUMBIA STREET
VANCOUVER, B.C.
CANADA V6J 3G3
TEL: (604) 687-1141

PROJECT:
1964S & 1967S
80th Ave
TOWNSHIP OF LANGLEY

DATE: 01/01/2019
BY: [Signature]
REASON: [Text]

REVISION:
DATE: 01/01/2019
BY: [Signature]
REASON: [Text]

DATE: 01/01/2019
BY: [Signature]
REASON: [Text]

DATE: 01/01/2019
BY: [Signature]
REASON: [Text]

DATE: 01/01/2019
BY: [Signature]
REASON: [Text]



SCHEDULE Q
BUILDING 9 ELEVATIONS





SCHEDULE T
BUILDING 12 ELEVATIONS



F.3 - Page 49

F.3 - Page 50



F.3

F.3 - Page 53



SCHEDULE AA
BUILDING 19 ELEVATIONS



F.3 - Page 56



SCHEDULE CC COLOURS AND MATERIALS

BUILDING CHARACTER

MATERIAL SCHEME

<p>WOOD TRIMS, FASCIAS, SOFFITS, & DECORATIVE COUVRES BENJAMIN MOORE 2210 JET BLACK</p> <p>METAL ROOF BLACK</p> <p>PREFINISHED ALUMINUM RAILINGS BLACK</p> <p>CONCRETE</p> <p>DOUBLE GLAZED VINYL WINDOWS BLACK</p>	<p>ENTRY DOORS FIBERGLASS BENJAMIN MOORE 2210 JET BLACK</p> <p>WHITE BRICK</p> <p>GARAGE DOORS BENJAMIN MOORE CC-30 - ONYX WHITE</p> <p>PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS SANTA FE BLACK</p>
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MATERIAL BOARD

<p>ASPHALT SHINGLES OWENS CORNING OWN BLACK</p> <p>SHINGLED SIDING BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>HORIZONTAL HARDIE SIDING & WOOD TRIM CC-30 HARDIE LOST TIME CC-30 JAMES HARDIE SON GRAY CC-30 BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>PAINTED VERTICAL BOARD & BATTEN BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>HORIZONTAL VINYL SIDING & WOOD TRIM E1 VINYL TO MATCH HARDIE SENTA FE BLACK E2 VINYL TO MATCH HARDIE SENTA FE BLACK E3 VINYL TO MATCH BENJAMIN MOORE CC-28 CLOUD COVER</p>	<p>ENTRY DOORS FIBERGLASS BENJAMIN MOORE 2210 JET BLACK</p> <p>WHITE BRICK</p> <p>GARAGE DOORS BENJAMIN MOORE CC-30 - ONYX WHITE</p> <p>PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS SANTA FE BLACK</p>
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BUILDING CHARACTER

MATERIAL SCHEME

<p>WOOD TRIMS, FASCIAS, SOFFITS, & DECORATIVE COUVRES BENJAMIN MOORE 2210 JET BLACK</p> <p>METAL ROOF BLACK</p> <p>PREFINISHED ALUMINUM RAILINGS BLACK</p> <p>CONCRETE</p> <p>DOUBLE GLAZED VINYL WINDOWS BLACK</p>	<p>ENTRY DOORS FIBERGLASS BENJAMIN MOORE 2210 JET BLACK</p> <p>WHITE BRICK</p> <p>GARAGE DOORS BENJAMIN MOORE CC-30 - ONYX WHITE</p> <p>PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS SANTA FE BLACK</p>
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MATERIAL BOARD

<p>ASPHALT SHINGLES OWENS CORNING OWN BLACK</p> <p>SHINGLED SIDING BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>HORIZONTAL HARDIE SIDING & WOOD TRIM CC-30 HARDIE LOST TIME CC-30 JAMES HARDIE SON GRAY CC-30 BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>PAINTED VERTICAL BOARD & BATTEN BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>HORIZONTAL VINYL SIDING & WOOD TRIM E1 VINYL TO MATCH HARDIE SENTA FE BLACK E2 VINYL TO MATCH HARDIE SENTA FE BLACK E3 VINYL TO MATCH BENJAMIN MOORE CC-28 CLOUD COVER</p>	<p>ENTRY DOORS FIBERGLASS BENJAMIN MOORE 2210 JET BLACK</p> <p>WHITE BRICK</p> <p>GARAGE DOORS BENJAMIN MOORE CC-30 - ONYX WHITE</p> <p>PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS SANTA FE BLACK</p>
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BUILDING CHARACTER

MATERIAL SCHEME

<p>WOOD TRIMS, FASCIAS, SOFFITS, & DECORATIVE COUVRES BENJAMIN MOORE 2210 JET BLACK</p> <p>METAL ROOF BLACK</p> <p>PREFINISHED ALUMINUM RAILINGS BLACK</p> <p>CONCRETE</p> <p>DOUBLE GLAZED VINYL WINDOWS BLACK</p>	<p>ENTRY DOORS FIBERGLASS BENJAMIN MOORE 2210 JET BLACK</p> <p>WHITE BRICK</p> <p>GARAGE DOORS BENJAMIN MOORE CC-30 - ONYX WHITE</p> <p>PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS SANTA FE BLACK</p>
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MATERIAL BOARD

<p>ASPHALT SHINGLES OWENS CORNING OWN BLACK</p> <p>SHINGLED SIDING BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>HORIZONTAL HARDIE SIDING & WOOD TRIM CC-30 HARDIE LOST TIME CC-30 JAMES HARDIE SON GRAY CC-30 BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>PAINTED VERTICAL BOARD & BATTEN BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>HORIZONTAL VINYL SIDING & WOOD TRIM E1 VINYL TO MATCH HARDIE SENTA FE BLACK E2 VINYL TO MATCH HARDIE SENTA FE BLACK E3 VINYL TO MATCH BENJAMIN MOORE CC-28 CLOUD COVER</p>	<p>ENTRY DOORS FIBERGLASS BENJAMIN MOORE 2210 JET BLACK</p> <p>WHITE BRICK</p> <p>GARAGE DOORS BENJAMIN MOORE CC-30 - ONYX WHITE</p> <p>PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS SANTA FE BLACK</p>
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BUILDING CHARACTER

MATERIAL SCHEME

<p>WOOD TRIMS, FASCIAS, SOFFITS, & DECORATIVE COUVRES BENJAMIN MOORE 2210 JET BLACK</p> <p>METAL ROOF BLACK</p> <p>PREFINISHED ALUMINUM RAILINGS BLACK</p> <p>CONCRETE</p> <p>DOUBLE GLAZED VINYL WINDOWS BLACK</p>	<p>ENTRY DOORS FIBERGLASS BENJAMIN MOORE 2210 JET BLACK</p> <p>WHITE BRICK</p> <p>GARAGE DOORS BENJAMIN MOORE CC-30 - ONYX WHITE</p> <p>PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS SANTA FE BLACK</p>
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MATERIAL BOARD

<p>ASPHALT SHINGLES OWENS CORNING OWN BLACK</p> <p>SHINGLED SIDING BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>HORIZONTAL HARDIE SIDING & WOOD TRIM CC-30 HARDIE LOST TIME CC-30 JAMES HARDIE SON GRAY CC-30 BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>PAINTED VERTICAL BOARD & BATTEN BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>HORIZONTAL VINYL SIDING & WOOD TRIM E1 VINYL TO MATCH HARDIE SENTA FE BLACK E2 VINYL TO MATCH HARDIE SENTA FE BLACK E3 VINYL TO MATCH BENJAMIN MOORE CC-28 CLOUD COVER</p>	<p>ENTRY DOORS FIBERGLASS BENJAMIN MOORE 2210 JET BLACK</p> <p>WHITE BRICK</p> <p>GARAGE DOORS BENJAMIN MOORE CC-30 - ONYX WHITE</p> <p>PREFINISHED ALUMINUM GUTTERS & DOWNSPOUTS SANTA FE BLACK</p>
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BUILDING CHARACTER

MATERIAL SCHEME

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MATERIAL BOARD

<p>ASPHALT SHINGLES OWENS CORNING OWN BLACK</p> <p>SHINGLED SIDING BENJAMIN MOORE CC-28 CLOUD COVER</p> <p>HORIZONTAL HARDIE SIDING & WOOD TRIM CC-</p>
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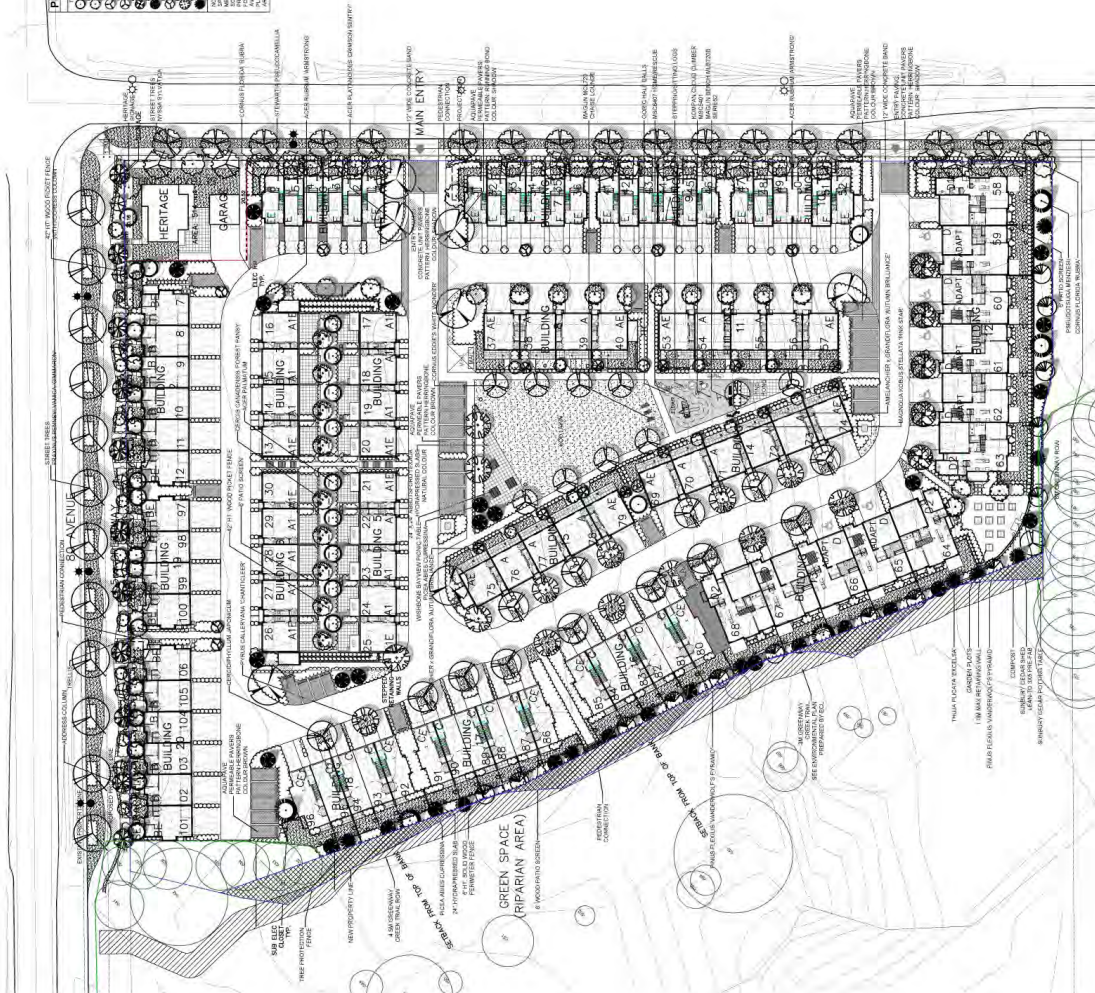
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SCALE

PLANT SCHEDULE - ON SITE

PLANT CODE	PLANT NAME	PLANT SIZE / COMMENTS
1	ACER FRAXINUS	10' x 12' x 10'
2	ACER FRAXINUS	10' x 12' x 10'
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NO.	REVISIONS	DATE
1	ISSUED FOR PERMIT	08-22-0091
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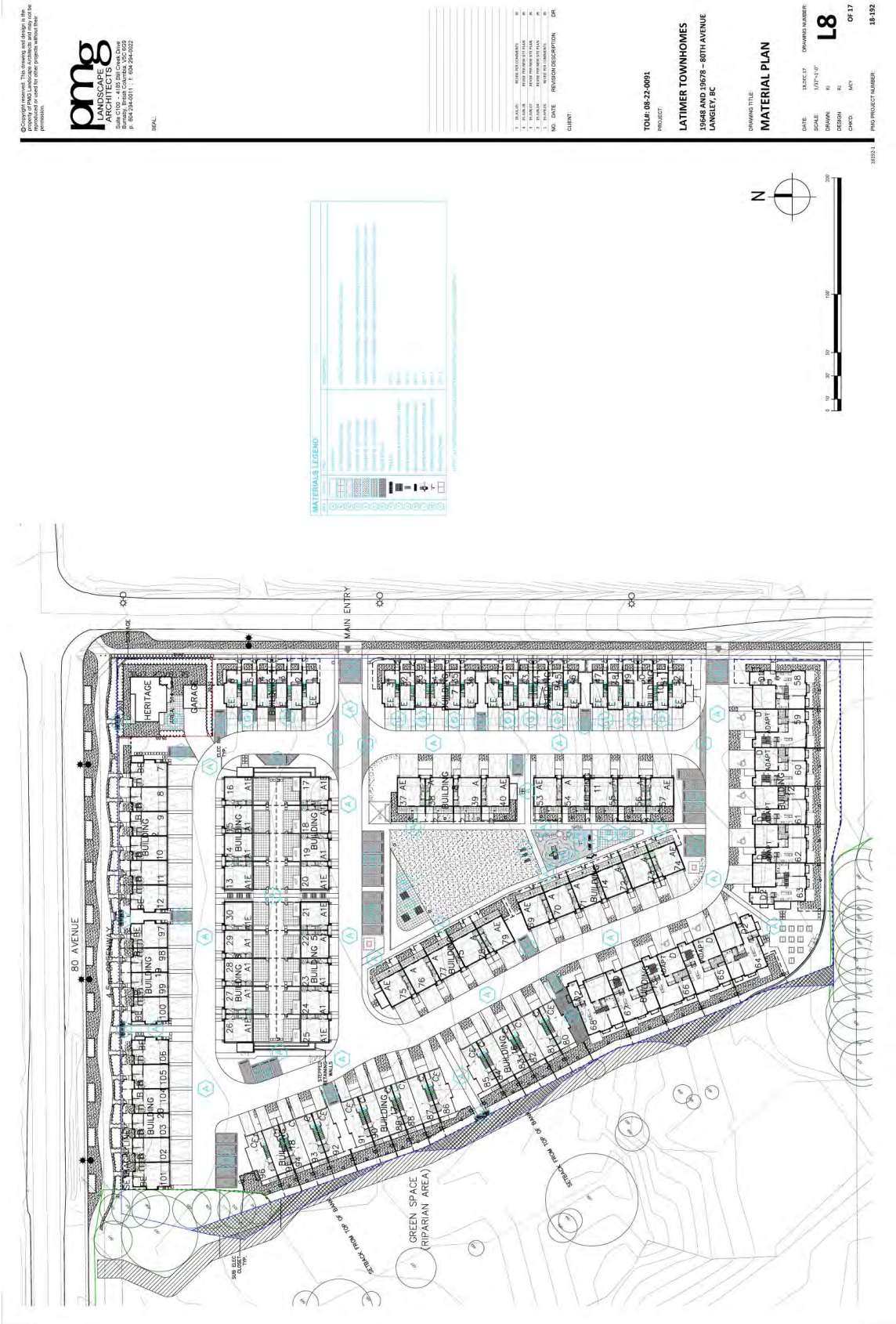
PROJECT: LATIMER TOWNHOMES
1968 AND 19678 - 80TH AVENUE
LANGLEY, BC

CLIENT: TOLIE 08-22-0091

PROJECT: LATIMER TOWNHOMES
1968 AND 19678 - 80TH AVENUE
LANGLEY, BC

PROJECT: LATIMER TOWNHOMES
1968 AND 19678 - 80TH AVENUE
LANGLEY, BC

SCHEDULE EE
MATERIAL PLAN



MATERIALS LEGEND

[Symbol]	Asph/Flt
[Symbol]	Gravel
[Symbol]	Grass
[Symbol]	Concrete
[Symbol]	Brick
[Symbol]	Stone
[Symbol]	Wood Deck
[Symbol]	Water Feature
[Symbol]	Lighting
[Symbol]	Signage
[Symbol]	Other

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pmg
LANDSCAPE
ARCHITECTS
100-105
Burnaby, British Columbia V5C 5G8
P: 604-244-0011 F: 604-294-0022

REAL

NO.	DATE	REVISION DESCRIPTION	DR.
1	08-22-0091	ISSUED FOR PERMIT	DR
2	08-22-0091	ISSUED FOR PERMIT	DR
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TITLE: 08-22-0091
PROJECT: LATIMER TOWNHOMES
15648 AND 15678 - 80TH AVENUE
LANGLEY, BC

DRAWING TITLE: MATERIAL PLAN

DATE: 08-22-07
SCALE: 1/32"=1'-0"
DRAWN: RI
DESIGN: RI
CHECKED: MCT
PROJECT NUMBER: 18-192

OF 17

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04/02/08

4.1.2 DEVELOPMENT PERMIT AREA “B” - RESIDENTIAL

Lands identified as “Residential” on Map 4, Development Permit Areas are hereby designated as development permit areas under Section 488(1)(e) and (f) of the Local Government Act to establish objectives and provide guidelines for the form and character of intensive and multi family residential development.

The objective of this development permit area designation is to encourage development of attractive and safe multi family areas.

Unless the owner first obtains a development permit, land within this development permit area shall not be subdivided, and construction of, addition to or alteration of a multi family dwelling (including a townhouse, rowhouse, apartment, duplex, triplex or fourplex) must not be started.

Development permit guidelines are as follows:

4.1.2.1 GENERAL

The following general guidelines apply to all development within Development Permit Area “B.”

4.1.2.2 SINGLE FAMILY DEVELOPMENT

General

- Single family developments shall enter into an Exterior Design Control Agreement (to be registered on title as a restrictive covenant) prior to final subdivision approval and to the acceptance of the Township. The agreement shall incorporate the following single family development permit guidelines.

Architectural Details

- No residential units shall back onto a public road or street greenway other than 212 Street between 76 and 80 Avenues.
- All building elevations visible from public land (i.e. parks, roads, greenways and detention pond sites) shall provide architectural detailing to be consistent with the front of the building.

Parking and Traffic/Pedestrian Circulation

- Where single-family lots abut an arterial road or a street greenway vehicular access and parking shall be provided via a rear lane or any other vehicular access from the rear of the property while retaining the front pedestrian access of the building facing the street.

Landscaping

- Fences adjacent to a street greenway shall not exceed 122 cm (48 inches) in height. These fences shall be designed to complement the building and be an open picket fence design. Fences must permit observation of the public realm and incorporate landscaping to soften their appearance from the road.

Building Form

- Pitched roofs are required. Pitched roofs shall have architectural grade roof material, including ridge caps and shadow lines.

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4.1.2.3 MULTIPLE UNIT DEVELOPMENT

General

The following guidelines apply to all multiple-unit development including but not limited to apartment, townhouse, rowhouse, duplex, triplex and fourplex buildings.

Site Design

- While providing individual design character, buildings shall be designed to integrate and complement adjacent developments with respect to siting, setbacks, design, exterior finish, landscaping and parking areas. Facade and roofline articulation with porches and other projecting elements is required. Blank or undifferentiated facades shall be avoided.
- Buildings shall be sited and designed to maximize sun penetration to adjacent roads, sidewalks and properties.
- Buildings sited on corners shall address both street edges, shall express a visually stimulating 'landmark' architecture, and be massed to define the intersection.
- On sloping sites, buildings should be massed to create a terraced form of development and provide view opportunities for a majority of housing units.
- Site planning and landscaping for residential development should take into account established principles of Crime Prevention Through Environmental Design (CPTED) – including opportunities for neighbourhood surveillance of pathways, landscaped areas and roadways and provision of defensible space that is clearly separated by fences, landscaping or paving, readily visible by residents and adequately lit.
- In order to allow for stormwater infiltration to maintain flow in watercourses, development is encouraged to maintain low surface imperviousness through compact building form and site layout, consideration shall be given to alternative stormwater and road standards, use of pervious surface materials where feasible and preservation of existing vegetation.
- Multi family buildings shall be designed to maximize avoidance of leaky condominium syndrome by using industry best building practices.
- Mail box kiosks located within a stratified development shall be protected from the weather, be architecturally integrated into the development and be located adjacent to a visitor parking stall with pull-out.
- Presenting garages to public roads is discouraged. Offsetting garages behind the front face of the building is encouraged. Carports are not permitted. Developments shall register a restrictive covenant on title preventing conversion of the garage to any other use that prohibits vehicle storage.
- Development of street facing buildings (i.e. the front door is facing towards the municipal roadway) is required abutting a street or street greenway, other than 200 and 212 (between 76 and 80 Avenues) Streets.
- A pedestrian connection shall be provided from each development site to adjacent streets, street greenways, or public spaces. Public, semi-public and private space shall be clearly delineated.
- A strong street presence is required through inclusion of elements such as extended porches and patios, recessed entries, ground oriented units with direct pedestrian street access, and other similar arrangements. Where individual street access to residential units is not practical, building design should foster a relationship with the adjacent street and pedestrians using the street.
- Buildings should be oriented to streets, greenways, or other public spaces, neither gated nor turning away from the public realm, to provide overview for safety and encourage resident involvement with the activities of the neighbourhood.
- Pedestrian street access to individual residential units is strongly encouraged in order to reinforce pedestrian activity and street life.
- Private outdoor spaces of residential buildings fronting public streets shall provide a sense of separation while still contributing to the streetscape. Semi-private outdoor spaces adjacent to the public realm shall be similarly arranged.
- Private driveway access over greenways should be consolidated and minimized to ensure maximum safety of the users of the greenway. Private driveways may be restricted to laneway access only.

Building Form

- Roofscape is an important element of building design. Green roofs and green walls are encouraged in compliance with the BC Building Code. Roofs may also be developed to provide resident amenity. Open areas of flat roofs shall be finished with pavers or other coloured materials to enhance the view from above. Pitched roofs are required unless a green roof or amenity space incorporating landscaping is provided. Flat roofs shall be designed to enhance the view from adjacent buildings with patterned, textured and/or coloured materials and also include activity areas and or green roofs. Low albedo (light coloured) roofing should be used to the greatest possible extent consistent with appearance from above and avoidance of glare from light reflection for the visual comfort of occupants.
- Ground level and roof areas created by setbacks shall be used as active outdoor space wherever possible, arranged to create 'eyes on the street', and appropriately landscaped.
- Building entrances should be clearly identified by the architecture of the building and include articulation or added elements to provide weather protection.

Exterior Design and Finish

- The main entrance of the building should be clearly identified by the architecture of the building and include such elements as pedestrian awnings, canopies, and building overhangs to provide protection from the weather.
- Exterior finish of buildings shall be high quality to ensure integrity of the building envelope design, and to present an attractive appearance.
- Exterior materials, colours and textures shall be selected and applied in the context of newer residential and mixed use developments as well as overall community character.
- Acceptable wall cladding materials include natural and manufactured stone, brick masonry, wood, fiber cement composite siding and panels, metal, and glass. Vinyl as a secondary material is permitted, however, a variety of cladding orientation, material, design and/or colour shall be used. Stucco cladding materials may also be used, however are discouraged, and may not fill more than 25% of any wall surface.
- Glass elements incorporated into weather protection shall be frosted, or provided with other translucent finish, to maintain acceptable appearance between maintenance cycles.
- Mechanical equipment shall be screened or integrated with the roof form, as viewed from the street or higher buildings, in a manner consistent with the overall architecture of the building.
- To provide visual interest elevations of buildings facing a street shall have architectural details such as roofline height, varied colour treatments, windows, articulation in the building envelope, etc.
- Building elevations that are visible from adjacent roads, municipal greenway or other public spaces shall be designed with the same level of care and attention in terms of character, articulation, fenestration, architectural detail, and material quality.
- All exposed base supports for structures that include signage, amenity features, building appurtenances and other site elements shall be architecturally integrated into the overall site design. Unadorned concrete and metal is not permitted.

Landscaping

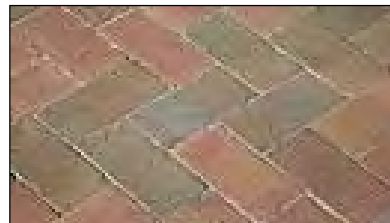
- Significant tree stands and tree corridors shall be incorporated into the development. A Tree Management Plan shall be prepared and submitted in compliance with the Subdivision and Development Servicing Bylaw 2011 No. 4861 (Schedule I – Tree Protection), as amended from time to time.

- Roof top patios shall be landscaped with water and electrical outlets.
- On-site landscaping shall be required to enhance the appearance of the development, screen parking, loading and utility areas, and garbage containers/enclosures from adjacent properties and roadways. Best efforts should be made to appropriately screen all utility boxes and meters.
- A landscape plan shall be prepared by a registered B.C. Landscape Architect.
- Playground facilities shall be provided, in accordance with the Township's Child Friendly Amenity Area requirements, as amended.
- Entrances shall be articulated with appropriate low fencing and high quality features to provide distinction between public and private space.
- Where lots abut municipal property (i.e. environmental area or a park) a black coated chain link fence shall be constructed to municipal standard. If an adequately landscaped buffer (native plant species are encouraged) of at least 2 metres in width is provided on the greenway side of the fence to the acceptance of the Township, other fence types may be used provided they are visually permeable above 122 cm (48 inches) and do not exceed 180cm (6 feet) in total height.
- If security fencing is required for storage areas, black coated chain link fencing screened with hedging material may be used.
- A 5 metre wide landscaping area and a fence shall be provided on multi family properties along abutting lots designated for non residential development (other than municipal greenspace). Fences should be aesthetically designed and reflect adjacent residential building character where applicable.
- The use of perimeter berms (in most circumstances), high fences and security gates is not permitted to provide surveillance and a more pedestrian-friendly street system. Fences adjacent to a public road allowance or a street greenway shall not exceed 122 cm (48 inches) in height. These fences shall complement the building in terms of design character, materials, and colour. Fences must permit observation of the public realm and incorporate landscaping to soften their appearance from the road.
- Landscape materials and design, on development sites and within road right-of-ways and other public spaces, shall be selected in the context of adjacent developments as well as overall community character, all in consultation with the Township.
- Landscape site planning and design shall incorporate both hard and soft materials in support of the principles of CPTED.
- Where fencing or guards are used for life safety purposes or public/private space definition within the landscape, such enclosures shall be as transparent as possible in support of CPTED objectives.
- All retaining walls shall be composed of split face concrete block, natural stone, or patterned cast-in-place concrete. Material selection shall be in the context of, and integrate with similar installations on adjacent properties.
- The public realm shall incorporate street furniture and amenities, heritage artifacts, and public art pieces, to enhance the pedestrian experience and contribute to the character, unity and identity of the neighbourhood.
- The design, materials and finishes of site furniture and pedestrian walkways shall be selected and should be generally consistent throughout the neighbourhood.
- Street and site furniture shall be durable and have a low life-cycle cost; be selected to discourage vandalism and use for skateboard activity; and be designed to meet the needs of a wide range of users including children, seniors, and those with disability.
- On-site utilities shall be architecturally integrated into the development or screened from view through a combination of hard and/or soft landscaping.
- Landscape planting within residential and commercial areas shall use minimum 50% native plantings with appropriate character, and mixed with other non-invasive plants.

- Use of materials such as permeable paving to maximize surface permeability to the greatest extent possible and practical is encouraged.
- The following surface treatments shall be incorporated into on-site hard surfaces and/or walkway design as a substitute for conventional pavement in low traffic areas.
- Porous pavement in areas with low-risk of ground water contamination. Porous pavements may be applied to lanes/access roads, driveways, and low-traffic parking areas.



- Concrete grid / modular pavers in low-traffic areas and may be applied to lanes/access roads, driveways, and low-traffic parking areas, footpaths and bike paths.



- Grass Pave/Grasscrete/Golpha plastic reinforcement products used in conjunction with gravel or grass surfaces.



- Curb cuts may be used to divert runoff from road surfaces into swales or rainwater gardens which contribute to evapotranspiration.



- Multi-use trails shall be incorporated into the development to promote pedestrian and cyclist activity and link to the surrounding trail network.

5101
28/09/15

Parking Lot Landscaping

- Screen at-grade and structured parking or service areas located within a residential building from the public street through such treatments as soft and hard landscaping elements. Where possible, parking should be integrated into the building structure or provided below grade.
- If surface parking areas are required in multi-unit residential buildings, place them away from public view and not between the public street and the building. Design landscape parking areas so they do not detract from any rear yard amenity space.
- Provide a landscape buffer along the edges of multi-unit residential parking areas, in situations where they are along a public street. Provide breaks in the buffers to connect the sidewalk to walkways on the site. Buffers may include low shrubs, trees, and decorative fences.
- In addition to trees and landscaping around the perimeter of surface parking areas, shade trees and landscaping are required within parking lots as per Section 111 of Zoning Bylaw 1987 No. 2500 Landscape Requirements, as amended from time to time.
- Pedestrian connections should be facilitated throughout the development, including through parking lots, and to adjoining land uses.

Parking and Traffic/Pedestrian Circulation

- Pedestrian connections shall be provided throughout the development, including through parking lots, and to adjoining land uses. Ornamental paving materials (stamped and coloured concrete or better) are required for all pedestrian connections.
- Provision of underground parking is encouraged and shall be designed with CPTED principles. Access to either underground or structured parking should be from a lane if possible.
- Parking shall be provided in enclosed and secured garages attached to individual units or in a secure underground parkade.
- Tandem parking on all end units is not permitted.
- Surface parking should be provided for in a number of smaller areas rather than one large lot, and shall be located primarily in the interior of the site or otherwise screened from view. Surface parking shall integrate landscaping and other design elements to reduce the massing of parking areas. Vehicular entrances to surface parking areas shall be landscaped, not gated, to create a subtle boundary between the semi-private and public areas.
- Private driveway access over greenways should be consolidated and minimized to ensure maximum safety of the users of the greenway. Private driveways accessing arterial roads may be restricted.
- Wheelchair access shall be provided throughout the development.
- Pedestrian connections shall be clearly visible, landscaped, and provided with hard surfaces suitable for older people and wheelchairs.
- Highly detailed paving materials are required along the High Street to indicate such things as storefronts, thru traffic, seating areas, and aesthetic relief areas.



- Without compromising the safety of users, all surface parking shall be visually screened from sub-neighbourhood streets through a combination of building arrangement and landscaping.
- At grade frontage shall be for commercial uses with only the access and egress points visible from the street.
- Vehicular access and egress points shall be combined and the presence and appearance of garage entrances should be designed so that they do not dominate the street frontage of a building.
- Horizontal floor designs are preferred to allow for adaptive reuse. Scissored floor designs are discouraged.
- Garage entrances shall have less prominence than the pedestrian entrances. A separate pedestrian entrance to the garage shall be provided. This may be achieved through:
 - The relative importance of the garage entrance reduced by enhancing the pedestrian entrance.
 - Locating the entry on the side of the facade where it will draw less attention than if it is centered on the facade.
 - Recessing the portion of the facade where the entry is located to help conceal it.
 - Extending portions of the structure over the garage entry to help conceal it.
 - Emphasizing other elements of the facade to reduce the visual prominence of the garage entry.
 - Use of screening and landscaping to soften the appearance of the garage entry from the street.
 - Locating the garage entry where the topography of the site can help conceal it.
- Pedestrian entrances shall be separate from vehicular access points.
- Uses near access and egress points shall include design elements that reduce conflict between uses.
- Ramps to additional levels are to be contained within the structure and screened from view.
- Access and egress points shall have consistent sidewalk texture, colours and material for that portion intersecting with the streetscape.
- Provide separate parking areas for residential and commercial uses.
- The façade shall be architecturally integrated into the building and otherwise screened from view. Green walls and planters may be used in combination with architectural integration for this effect.
- Setbacks from above the second storey shall be incorporated into the design.
- If rooftop parking is provided additional landscaping shall be required consistent with Parking Lot Landscaping. Planters with arbors shall be provided continuously along the parapet.
- Lighting on the exterior (including the roof) shall be consistent with the entire building. Ornamental lighting shall be used on the rooftop parking areas.
- Public and private parking shall be clearly identified through a system of numbering and signage.

5101
28/09/15

- Underground parking structures shall be planned for the convenience and safety of users; shall have walls and ceilings finished in a light coloured paint for reflectivity; and shall incorporate motion-activated lighting to the greatest extent permitted.
- Adequate secured, sheltered and screened bicycle parking be provided on-site for short term and long term bicycle parking/storage facilities.
 - Short term bicycle parking should be in well-lit locations and clearly visible from a main building entrance and/or public roads with bicycle racks made of sturdy, theft-resistant material that is securely anchored to the floor or ground.
 - Longer term bicycle storage areas provided (secured in a separate room/enclosed area) as part of a parking structure should be located close to elevators and access points.

4825
30/05/11

4.1.2.4 TOWNHOUSES/ROWHOUSE

These guidelines are in addition to section 4.1.2.3 and apply to all townhouse and rowhouse developments.

Site Design

- Ground-oriented developments shall be designed with continuity in the design with respect to the exterior finishing materials and architectural detailing. Individual or paired units shall be significantly visually differentiated from other adjoining units (i.e. staggering in plan or elevation, varying rooflines, variation in exterior materials, variation in colour treatments, and architectural detailing).
- Developments which include multiple buildings on the same site shall include significant variation in the exterior design, façade, roofline articulation, material and colour of buildings.
- Units shall be oriented towards public roads, street greenways, natural areas, and greenlinks/commons where applicable.
- Scale building height and massing in proportion to open spaces.
- A pedestrian connection shall be provided from each development site to adjacent streets, street greenways, or public spaces. Public, semi-public and private space shall be clearly delineated.
- Tandem parking on end units is not permitted.

Landscaping

- Where there are multiple buildings on a site, buildings should be located to enclose courtyards and other landscaped spaces.

4825
30/05/11

4.1.2.5 APARTMENTS

These guidelines are in addition to section 4.1.2.3 and apply to all apartment developments.

Architectural Details

- Street facing facades of free-standing apartment buildings shall be designed for a pedestrian scale with the first storey architecturally differentiated from upper floors.
- The apparent mass of a building shall be reduced through roof design, facade articulation and shadowing.
- Incorporate a 'good neighbour' policy by ensuring building heights being stepped or terraced to relate to adjacent buildings.
- Building height and massing shall be in proportion to adjacent open space.

- The main entrance of each apartment building should include an awning, canopy, porte-cochere or other architectural element to provide protection from the weather.
- Orient the main building entrance to the street and provide a secondary building entrance and pedestrian link to adjacent municipal greenspace where applicable.
- Avoid blank or undifferentiated facades.
- Provide weather protection from parking area to front entrance where appropriate.

Landscaping

- Where there are multiple buildings on a site, buildings should be located to provide common space such as courtyards.

Parking and Traffic/Pedestrian Circulation

- Minimize above grade projection of parking structures.
- Provide drop-off areas at grade level near the main building entrance where possible.
- Provide resident parking underground or within the building.



2 July 2019

Colin Moore
Development Planner
Township of Langley
20338 65 Avenue
Langley, BC V2Y 3J1

Re: Development Application Project 08-22-0083 / MITCHELL GROUP INVESTMENTS INC

CIVIC: 7661 - 197 Street and 19648 & 19678 - 80 Avenue

LEGAL: Lots 1 and 2 Plan LMP33103, and Lot 1 Plan 5507 Except: Firstly: East 33 Feet
Secondly: Parcel "B" (Explanatory Plan 11051) Thirdly: Part Subdivided by Plan 22389; all of
Section 22 Township 8 NWD

We have reviewed the above proposal. We calculate the approximate number of students generated by this proposal will be as follows:


Type of Housing	Number of Units	Elementary K-5	Middle 6-8	Secondary 9-12
Single Family Units	21	8	2	4
Rowhomes	38	12	5	9

Given the current school catchments this development would impact Willoughby Elementary School, Peter Ewart Middle School and R.E. Mountain Secondary School.

There is currently sufficient capacity within the School District to enroll the students as noted above if the projected numbers were actually seeking admission to schools at the present time. While the School District is committed to making every effort to enroll students at their catchment schools, such may not be possible in all cases.

Please advise if you need any other information.

Yours sincerely,


Brian Iseli, CPA, CMA
Secretary Treasurer



2 July 2019

Colin Moore
Development Planner
Township of Langley
20338 65 Avenue
Langley, BC V2Y 3J1

Re: Development Application Project 08-22-0091 / MITCHELL LATIMER

CIVIC: 19700 Block of 80 Avenue

LEGAL: Future Lot_____Plan EPP_____Section 22 Township 8 NWD

We have reviewed the above proposal.

We calculate the approximate number of students generated by this proposal will be as follows:

Type of Housing	Number of Units	Elementary K-5	Middle 6-8	Secondary 9-12
Townhouses	106	31	14	27

Given the current school catchments this development would impact Willoughby Elementary School, Peter Ewart Middle School and R.E. Mountain Secondary School. As you know, while the Langley School District is not responsible for the amount or pace of development we work closely with the Township of Langley in order to advocate to the Ministry of Education for the development of joint sites to benefit our students.

We make every effort to keep students in their catchment schools, but if there is insufficient space in the catchment school we will find them a space at another school in the district.

Please advise if you need any other information.

Yours sincerely,

Brian Iseli, CPA, CMA
Secretary Treasurer

September 26, 2018
Our File: 2111-03850-02

Township of Langley
Community Development Division
20338 65 Avenue
Langley, BC V2Y 3J1

Attention: Mr. Colin Moore, Development Planner

Summary Report - Public Information Meeting

Proposed 53 Lot Development within the Latimer Neighbourhood Plan Area, Township of Langley Project No. 08-23-0083

INTRODUCTION

This report is submitted to the Township of Langley in accordance with the Developer Held Public Information Meetings Policy. The Public Information Meeting (PIM) organization and logistics are also in accordance with the policy.

The PIM for development application 08-23-0083 represented lands located at 7661 197 Street, 19648 80 Avenue, and 19678 80 Avenue in the Latimer Neighbourhood Plan Area of the Township of Langley, and was held on Wednesday, September 12, 2018.

Since this application is located in close proximity to two other development applications by the same proponent as a part of an overall phased development strategy, a joint PIM was held for all three development applications. The results presented in this summary report pertain specifically to the above-noted application.

The purpose of the meeting was to introduce the project and project team, present the development plans, and obtain feedback from the community.

NOTIFICATION

The public was notified in two (2) ways: through a direct mail-out to neighbouring properties, and through two (2) advertisements in the Langley Times in advance of the PIM date (August 29th and September 5th). The Township of Langley staff generated and provided a mail-out map and prepared mailing labels. A total of 102 notifications were mailed out on August 27th, 16 days prior to the scheduled PIM. Two (2) mail-outs were returned to the McElhanney office as undeliverable.

The notification provided general information including an overall description of the development and the location of the PIM, as well as the subject site. A site location map was included to provide context. Contact information was provided on the invitation for anyone who wished to ask a question, inquire, or make a comment if unable to attend the meeting. No persons contacted McElhanney prior to the PIM.

INFORMATION MEETING LOGISTICS

The PIM was held at the Langley Events Centre, located at 7888 200 Street, Langley BC. The venue location, parking availability, and total space of the setting were suitable to host the PIM, directional signage to the meeting room was provided by the Langley Events Centre. The meeting was scheduled from 5:00 p.m. to 7:30 p.m. on Wednesday September 12th, 2018. The consulting team prepared the meeting room in advance of the publicly advertised start time.

The consulting team in attendance included the following individuals:

James Pernu – Senior Planner, McElhanney Consulting Services Ltd.
Raymond Sull – Senior Engineer, McElhanney Consulting Services Ltd.
Noah Talbot – Arborist, McElhanney Consulting Services Ltd.
Clover Mei – Planner, McElhanney Consulting Services Ltd.

A representative from the Township of Langley Development Services Department and representatives of the proponent, the Mitchell Group, were in attendance to observe the PIM.

PUBLIC INFORMATION MEETING DETAILS

A total of 14 attendees attended the event, 10 of whom signed in (*Attachment 1*). 8 of those who signed in provided their address. All the attendees appear to reside in the area surrounding the subject site. Two of the four attendees who did not sign in had come with their family or partner who had signed in on their behalf.

The meeting was arranged in an open house format where community members viewed display boards and had the opportunity to ask questions of project team members. A total of 17 display boards were exhibited at the PIM. Tables and chairs were set up throughout the room to allow members of the public to fill in their comment sheets.

The following display boards were presented in the meeting space:

Welcome	Rizun Heritage Residence Elevations
Community Context	Conceptual Subdivision Layout (B)
Air Photo: West Latimer	Tree Management Strategy (B)
Current Applications	Conceptual Subdivision Layout (C)
Latimer Neighbourhood Plan	Tree Management Strategy (C)
Overall Project Information	Servicing Strategy
Proposed Subdivision Layout (A)	Next Steps
Tree Management Strategy (A)	Thank You
Rizun Heritage Residence	

In addition to these display boards, the following materials were provided to the public:

Project Information Handout	Questionnaire / Comment Sheet
------------------------------------	--------------------------------------

The questionnaire / comment sheet could either be completed at the meeting and returned to the project team immediately or returned by mail or email following the meeting (by September 22nd, 2018). Copies of the questionnaires are included in *Attachment 2*.

PUBLIC INFORMATION MEETING RESULTS



A questionnaire was prepared to gather public input on the proposed development. The questionnaire included six (6) questions, two (2) of which were specific to this project, and community members were given an opportunity to provide additional comments. This summary will include only the questions applicable to this specific project, which are referred to as Question 1 and Question 2.

The Questionnaire / Comment Sheet included the questions shown below. The two (2) questions were structured so that respondents had five possible options to choose from:

- Support
- Somewhat Support
- Neutral
- Somewhat Oppose
- Oppose

A total of 4 questionnaires were returned at the conclusion of the PIM, with two (2) additional questionnaires received by the consultants within the two weeks following the PIM. Additionally, one (1) phone inquiry was made by a resident who did not make the meeting and had general inquiry about the proposed developments. Upon being informed of the details of the applications that was presented at the PIM, the resident was in support of the applications for the sites but declined to fill out a questionnaire.

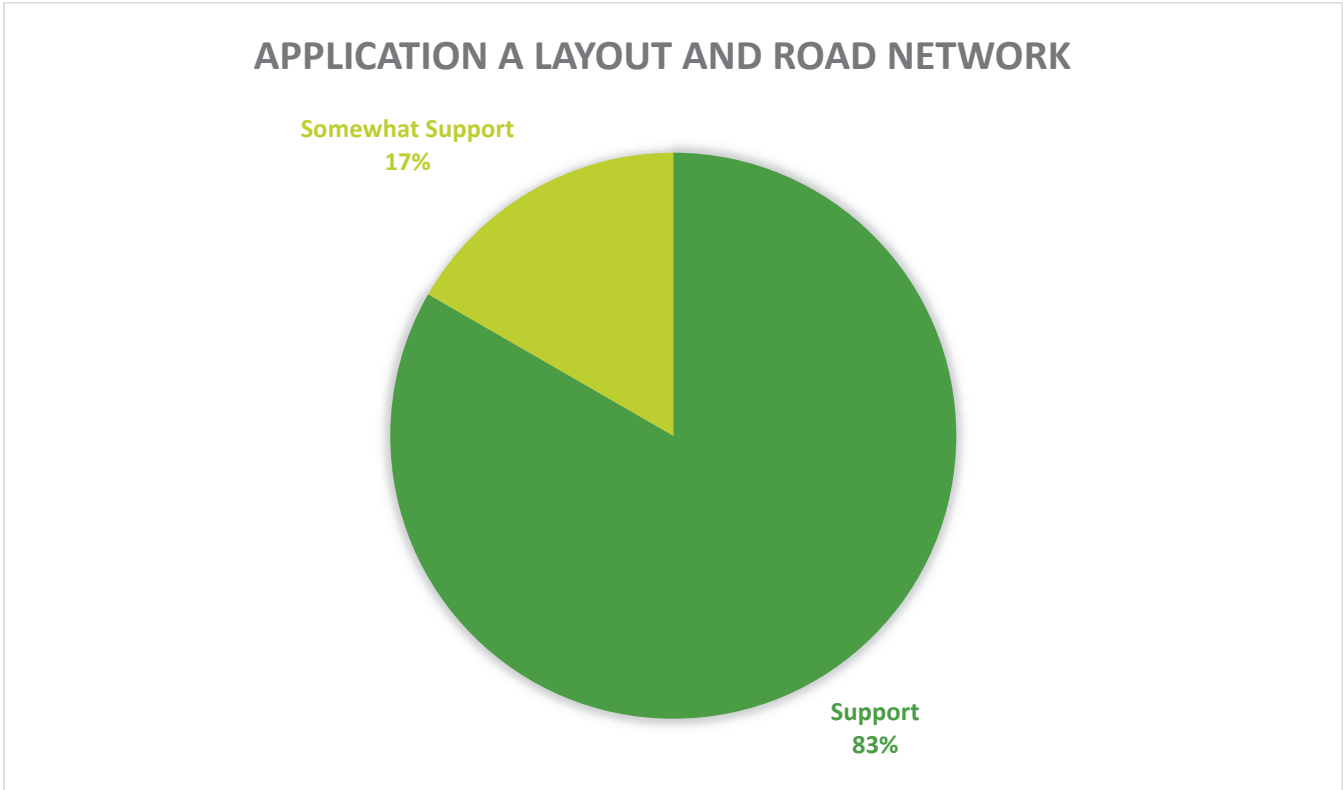
The questionnaires are included in the attachments (see *Attachment 2*).

Attendee Questionnaire Response Rate **43%**

The information collected from the questionnaires is summarized below for the two (2) applicable questions.

Question 1

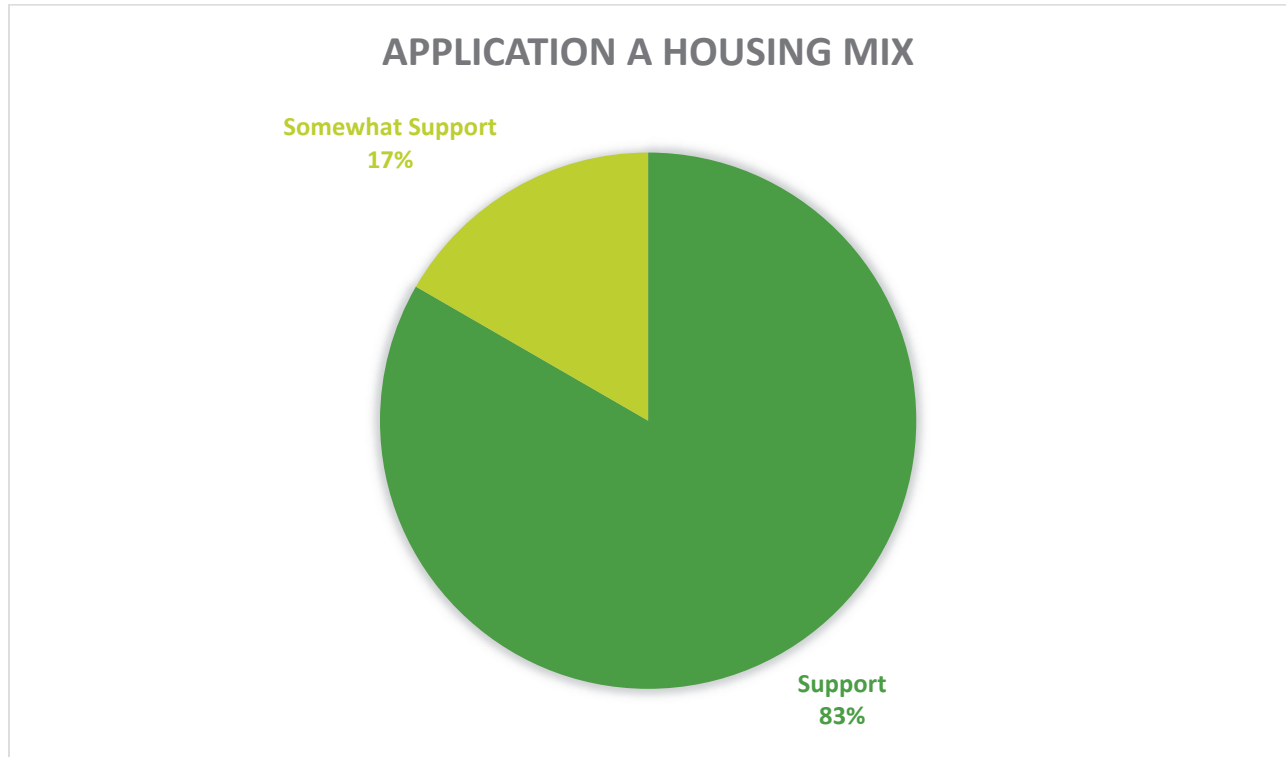
With respect to the proposed lot layout design and road network for TOL project 08-22-0083 (Application A) that will result in subdivision of the existing lands into approximately 51 Single Family Mixed residential lots, 1 townhouse lot, and 1 heritage lot, do you:



Question 1 received 6 responses, all of which indicated support or somewhat in support of the lot layout and road network design. No attendees indicated neutral or in opposition of the layout.

Question 2

The proposed layout will provide 15% single-family detached units and 18% single family attached units, and 66% townhouse units, meeting density requirements for each land use designation within Latimer Neighbourhood Plan. With respect to this housing mix, do you:



Question 2 received 6 responses, all of which indicated support or somewhat support of the proposed housing mix. No attendees held neutral position or in opposition of the proposed housing mix.



COMMENTS SECTION

The questionnaire included space to provide additional comments. Additional comments were provided on five (5) of the questionnaires. The following comments speak to the combined presentation of the three applications and are listed below.

- There is a lot of different sized houses / townhouses / duplexes etc. which will cater to everybody. I am glad to see there is a school site & park site.
- Let's go ahead!
- I strongly support all 3 applications.
- Our main concern is widening of 197th St. between 76th Ave. & 80th Ave. When any construction starts, it will be dangerous for anyone walking on that road. It must be widened first.

CONCLUSION

The completed questionnaires showed a majority support for the proposed development. Based on the comments and responses, majority of attendees support the development. One concern pertains related to the impact of site construction prior to 197th Street road widening have on pedestrian safety was noted as a part of the otherwise favorable feedback received.

If you have questions about this report, please do not hesitate to contact me.

Yours truly,

McELHANNEY CONSULTING SERVICES LTD.

James Pernu, M.Sc.
Senior Planner / Project Manager
jpernu@mcelhanney.com

Attachments:

- 1 Sign-in sheets
- 2 Completed questionnaire / comment sheet

Attachment 1 Sign-In Sheet

September 12, 2018
Our File: 2111-03850-02 / 03 / 04

SIGN-IN SHEET

Public Information Meeting for Proposed Development Application
Township of Langley Project No. 08-22-0083, 08-22-0045, 08-22-0072

September 12, 2018 5:00 pm-7:30 pm
Langley Events Centre, Meeting Room A

NAME

ADDRESS

EMAIL (optional)

FOIPPA s.22(1)

FOIPPA s.22(1)

FOIPPA s.22(1)

FOIPPA s.22(1)

FOIPPA s.22(1)

FOIPPA s.22(1)

FOIPPA s.22(1)

FOIPPA s.22(1)

Pavna Aranasan

Pavna.Son@tol.ca

M. Chan / for

18464-72 Ave. Surrey

m3charlton@gmail.com



Attachment 2

Completed Questionnaires



September 12, 2018

Our File Nos: 2111-03850-02,03,04

QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-22-0083 / 08-22-0045 / 08-22-0072

Wednesday, September 12, 2018 / 5:00– 7:30pm

Langley Events Centre, Meeting Room A

FOIPPA s.22(1)

Name

Residential Address

FOIPPA s.22(1)

Phone / Email (optional)

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-22-0083 (Application A)

1. With respect to the proposed lot layout design and road network for TOL project 08-22-0083 (**Application A**) that will result in subdivision of the existing lands into approximately 51 Single Family Mixed residential lots, 1 townhouse lot, and 1 heritage lot, do you:

☒ A

Support

B

Somewhat
Support

C

Neutral

D

Somewhat
Oppose

E

Oppose

2. The proposed layout will provide 15% single-family detached units and 18% single-family attached units, and 66% townhouse units, meeting density requirements of each land use designation within Latimer Neighbourhood Plan. With respect to this housing mix, do you:

☒ A

Support

B

Somewhat
Support

C

Neutral

D

Somewhat
Oppose

E

Oppose

Project No. 08-22-0045 (Application B)

3. In regard to the proposed lot layout design and road network for TOL project 08-22-0045 (**Application B**) that will result in subdivision of the existing lands into approximately 62 Single Family Mixed residential lots, do you:

☒ A

Support

B

Somewhat Support

C

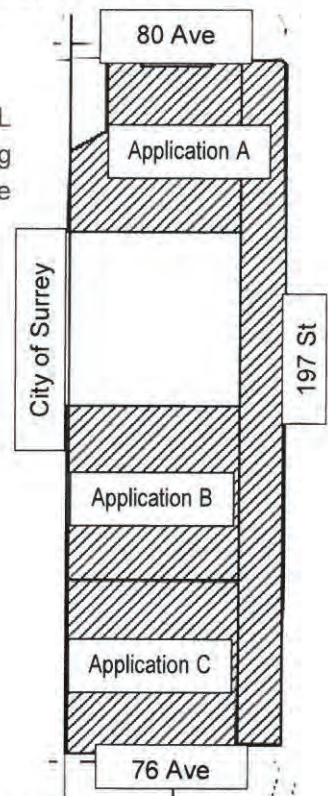
Neutral

D

Somewhat Oppose

E

Oppose



Suite 2300 Central City Tower
13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel: (604) 596 0391



September 12, 2018

Our File Nos: 2111-03850-02,03,04

4. The proposed layout will provide 58% single-family detached and 42% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A
Support

B
Somewhat Support

C
Neutral

D
Somewhat Oppose

E
Oppose

Project No. 08-22-0072 (Application C)

5. In regard to the proposed lot layout design and road network for TOL project 08-22-0072 (**Application C**) that will result in subdivision of the existing lands into approximately 79 Single Family Mixed residential lots, do you:

A
Support

B
Somewhat Support

C
Neutral

D
Somewhat Oppose

E
Oppose

6. The proposed layout will provide 59% single-family detached units and 41% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A
Support

B
Somewhat Support

C
Neutral

D
Somewhat Oppose

E
Oppose

Please use the below space for any additional comments:

There is a lot of different sized houses / town houses / duplexes
etc which will cater to everybody. I am glad to
see there is a school site + park site

THANK YOU!!

Please return your comment sheet to the registration table.

You may also send your comments to McElhanney at the address below or by email at jpernu@mcelhanney.com prior to September 22, 2018.

Suite 2300 Central City Tower
13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel (604) 596 0391



September 12, 2018

Our File Nos: 2111-03850-02,03,04

QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-22-0083 / 08-22-0045 / 08-22-0072

Wednesday, September 12, 2018 / 5:00– 7:30pm

Langley Events Centre, Meeting Room A

Name

FOIPPA s.22(1)

Residential Address

Phone / Email (optional)

FOIPPA s.22(1)

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-22-0083 (Application A)

1. With respect to the proposed lot layout design and road network for TOL project 08-22-0083 (**Application A**) that will result in subdivision of the existing lands into approximately 51 Single Family Mixed residential lots, 1 townhouse lot, and 1 heritage lot, do you:

A
Support

B
Somewhat
Support

C
Neutral

D
Somewhat
Oppose

E
Oppose

2. The proposed layout will provide 15% single-family detached units and 18% single-family attached units, and 66% townhouse units, meeting density requirements of each land use designation within Latimer Neighbourhood Plan. With respect to this housing mix, do you:

A
Support

B
Somewhat
Support

C
Neutral

D
Somewhat
Oppose

E
Oppose

Project No. 08-22-0045 (Application B)

3. In regard to the proposed lot layout design and road network for TOL project 08-22-0045 (**Application B**) that will result in subdivision of the existing lands into approximately 62 Single Family Mixed residential lots, do you:

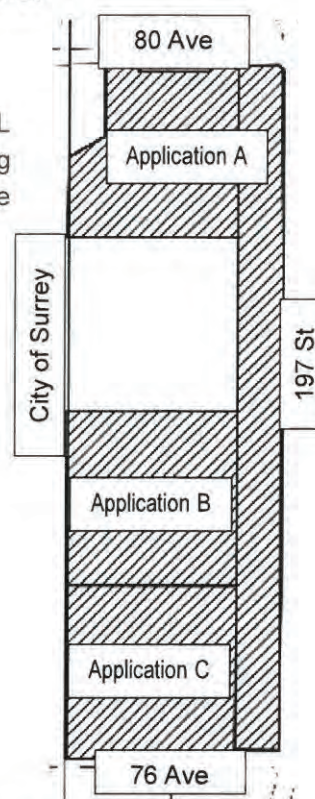
A
Support

B
Somewhat Support

C
Neutral

D
Somewhat Oppose

E
Oppose



Suite 2300 Central City Tower
13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel (604) 596-0391



September 12, 2018

Our File Nos: 2111-03850-02,03,04

4. The proposed layout will provide 58% single-family detached and 42% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A
Support

B
Somewhat Support

C
Neutral

D
Somewhat Oppose

E
Oppose

Project No. 08-22-0072 (Application C)

5. In regard to the proposed lot layout design and road network for TOL project 08-22-0072 (**Application C**) that will result in subdivision of the existing lands into approximately 79 Single Family Mixed residential lots, do you:

A
Support

B
Somewhat Support

C
Neutral

D
Somewhat Oppose

E
Oppose

6. The proposed layout will provide 59% single-family detached units and 41% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A
Support

B
Somewhat Support

C
Neutral

D
Somewhat Oppose

E
Oppose

Please use the below space for any additional comments:

I STRONGLY SUPPORT ALL 3 APPLICATIONS.

THANK YOU!!

Please return your comment sheet to the registration table.

You may also send your comments to McElhanney at the address below or by email at jpernu@mcelhanney.com prior to September 22, 2018.

Suite 2300 Central City Tower
13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel (604) 596 0391



September 12, 2018

Our File Nos: 2111-03850-02,03,04

QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-22-0083 / 08-22-0045 / 08-22-0072

Wednesday, September 12, 2018 / 5:00– 7:30pm

Langley Events Centre, Meeting Room A

Name

Residential Address

Phone / Email (optional)

FOIPPA s.22(1)

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-22-0083 (Application A)

- With respect to the proposed lot layout design and road network for TOL project 08-22-0083 (**Application A**) that will result in subdivision of the existing lands into approximately 51 Single Family Mixed residential lots, 1 townhouse lot, and 1 heritage lot, do you:

<input checked="" type="radio"/> A	B	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose

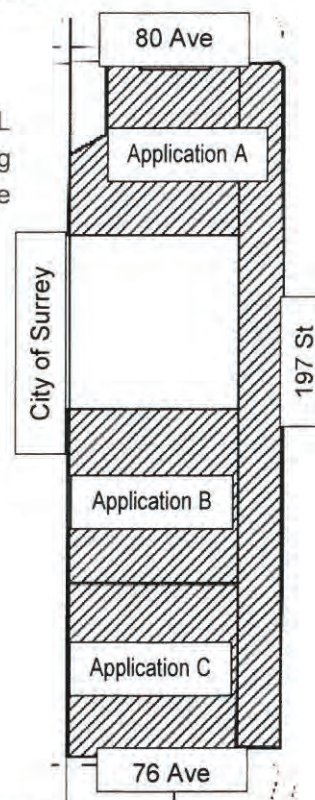
- The proposed layout will provide 15% single-family detached units and 18% single-family attached units, and 66% townhouse units, meeting density requirements of each land use designation within Latimer Neighbourhood Plan. With respect to this housing mix, do you:

<input checked="" type="radio"/> A	B	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose

Project No. 08-22-0045 (Application B)

- In regard to the proposed lot layout design and road network for TOL project 08-22-0045 (**Application B**) that will result in subdivision of the existing lands into approximately 62 Single Family Mixed residential lots, do you:

<input checked="" type="radio"/> A	B	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose



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Surrey BC Canada V3T 5X3
Tel: (604) 596 0391



September 12, 2018

Our File Nos: 2111-03850-02,03,04

4. The proposed layout will provide 58% single-family detached and 42% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

☒ A
Support

☐ B
Somewhat Support

☐ C
Neutral

☐ D
Somewhat Oppose

☐ E
Oppose

Project No. 08-22-0072 (Application C)

5. In regard to the proposed lot layout design and road network for TOL project 08-22-0072 (**Application C**) that will result in subdivision of the existing lands into approximately 79 Single Family Mixed residential lots, do you:

☒ A
Support

☐ B
Somewhat Support

☐ C
Neutral

☐ D
Somewhat Oppose

☐ E
Oppose

6. The proposed layout will provide 59% single-family detached units and 41% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

☒ A
Support

☐ B
Somewhat Support

☐ C
Neutral

☐ D
Somewhat Oppose

☐ E
Oppose

Please use the below space for any additional comments:

lets go ahead!

THANK YOU!!

Please return your comment sheet to the registration table.

You may also send your comments to McElhanney at the address below or by email at jpernu@mcelhanney.com prior to September 22, 2018.

Suite 2300 Central City Tower
13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel (604) 596 0391



September 12, 2018

Our File Nos: 2111-03850-02,03,04

QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-22-0083 / 08-22-0045 / 08-22-0072

Wednesday, September 12, 2018 / 5:00– 7:30pm
Langley Events Centre, Meeting Room A

Name

Residential Address

Phone / Email (optional)

FOIPPA s.22(1)

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-22-0083 (Application A)

1. With respect to the proposed lot layout design and road network for TOL project 08-22-0083 (**Application A**) that will result in subdivision of the existing lands into approximately 51 Single Family Mixed residential lots, 1 townhouse lot, and 1 heritage lot, do you:

A	B	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose

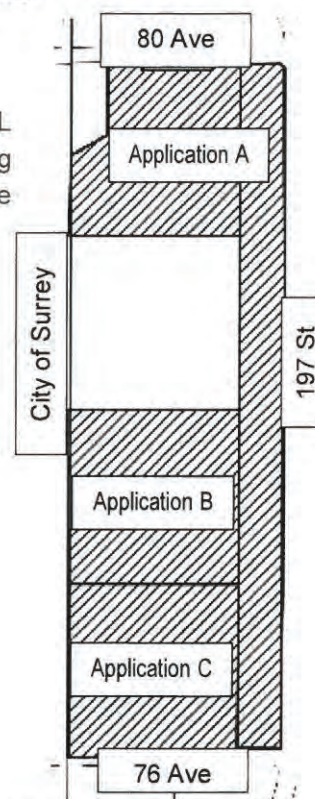
2. The proposed layout will provide 15% single-family detached units and 18% single-family attached units, and 66% townhouse units, meeting density requirements of each land use designation within Latimer Neighbourhood Plan. With respect to this housing mix, do you:

A	B	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose

Project No. 08-22-0045 (Application B)

3. In regard to the proposed lot layout design and road network for TOL project 08-22-0045 (**Application B**) that will result in subdivision of the existing lands into approximately 62 Single Family Mixed residential lots, do you:

A	B	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose



Suite 2300 Central City Tower
13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel: (604) 586 0391



September 12, 2018

Our File Nos: 2111-03850-02,03,04

4. The proposed layout will provide 58% single-family detached and 42% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A Support	B Somewhat Support	C Neutral	D Somewhat Oppose	E Oppose
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Project No. 08-22-0072 (Application C)

5. In regard to the proposed lot layout design and road network for TOL project 08-22-0072 (**Application C**) that will result in subdivision of the existing lands into approximately 79 Single Family Mixed residential lots, do you:

A Support	B Somewhat Support	C Neutral	D Somewhat Oppose	E Oppose
--------------	-----------------------	--------------	----------------------	-------------

6. The proposed layout will provide 59% single-family detached units and 41% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A Support	B Somewhat Support	C Neutral	D Somewhat Oppose	E Oppose
--------------	-----------------------	--------------	----------------------	-------------

Please use the below space for any additional comments:

THANK YOU!!

Please return your comment sheet to the registration table.

You may also send your comments to McElhanney at the address below or by email at jpernu@mcelhanney.com prior to September 22, 2018.

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Surrey BC Canada V3T 5X3
Tel (604) 596 0391



September 12, 2018

Our File Nos: 2111-03850-02,03,04

QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-22-0083 / 08-22-0045 / 08-22-0072

Wednesday, September 12, 2018 / 5:00– 7:30pm

Langley Events Centre, Meeting Room A

FOIPPA s.22(1)

Name

Residential Address

Phone / Email (optional)

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-22-0083 (Application A)

1. With respect to the proposed lot layout design and road network for TOL project 08-22-0083 (**Application A**) that will result in subdivision of the existing lands into approximately 51 Single Family Mixed residential lots, 1 townhouse lot, and 1 heritage lot, do you:

A	<u>B</u>	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose

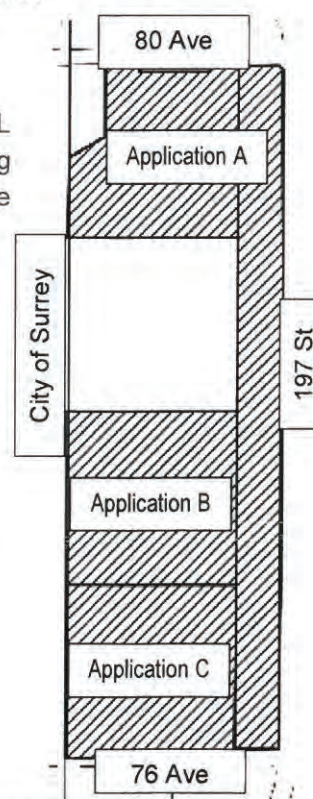
2. The proposed layout will provide 15% single-family detached units and 18% single-family attached units, and 66% townhouse units, meeting density requirements of each land use designation within Latimer Neighbourhood Plan. With respect to this housing mix, do you:

A	<u>B</u>	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose

Project No. 08-22-0045 (Application B)

3. In regard to the proposed lot layout design and road network for TOL project 08-22-0045 (**Application B**) that will result in subdivision of the existing lands into approximately 62 Single Family Mixed residential lots, do you:

A	<u>B</u>	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose



Suite 2300 Central City Tower
13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel: (604) 596-0391



September 12, 2018

Our File Nos: 2111-03850-02,03,04

4. The proposed layout will provide 58% single-family detached and 42% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A Support B Somewhat Support C Neutral D Somewhat Oppose E Oppose

Project No. 08-22-0072 (Application C)

5. In regard to the proposed lot layout design and road network for TOL project 08-22-0072 (Application C) that will result in subdivision of the existing lands into approximately 79 Single Family Mixed residential lots, do you:

A Support B Somewhat Support C Neutral D Somewhat Oppose E Oppose

6. The proposed layout will provide 59% single-family detached units and 41% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A Support B Somewhat Support C Neutral D Somewhat Oppose E Oppose

Please use the below space for any additional comments:

OUR MAIN CONCERN IS WIDENING OF
197 ST. BETWEEN 76 AV. & 80TH AV.
WHEN ANY CONSTRUCTION STARTS, IT WILL
BE DANGEROUS FOR ANYONE WALKING
ON THAT ROAD. IT MUST BE
WIDENED FIRST.

FOIPPA s.22(1)

THANK YOU!!

Please return your comment sheet to the registration table.

You may also send your comments to McElhanney at the address below or by email at jpernu@mcelhanney.com prior to September 22, 2018.

Suite 2300 Central City Tower
13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel (604) 596 0391

September 12, 2018
Our File Nos: 2111-03850-02,03,04

QUESTIONNAIRE | COMMENT SHEET

Public Information Meeting for Proposed Development Applications
Township of Langley Project Nos. 08-22-0083 / 08-22-0045 / 08-22-0072

Wednesday, September 12, 2018 / 5:00– 7:30pm
Langley Events Centre, Meeting Room A

Name M-3 Management Inc. Maxine Charlton
Residential Address 18484-72 Ave, Surrey BC V4N 1M9
Phone / Email (optional) 604 290 5969 m3charlton@gmail.com

Prior to advancing these development applications to the Township of Langley Council for consideration, we would like your input on the proposals.

Project No. 08-22-0083 (Application A)

1. With respect to the proposed lot layout design and road network for TOL project 08-22-0083 (**Application A**) that will result in subdivision of the existing lands into approximately 51 Single Family Mixed residential lots, 1 townhouse lot, and 1 heritage lot, do you:

<u>A</u>	B	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose

2. The proposed layout will provide 15% single-family detached units and 18% single-family attached units, and 66% townhouse units, meeting density requirements of each land use designation within Latimer Neighbourhood Plan. With respect to this housing mix, do you:

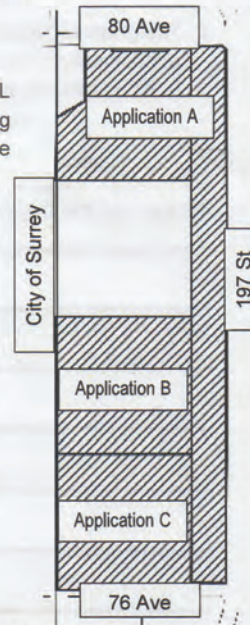
<u>A</u>	B	C	D	E
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose

Project No. 08-22-0045 (Application B)

3. In regard to the proposed lot layout design and road network for TOL project 08-22-0045 (**Application B**) that will result in subdivision of the existing lands into approximately 62 Single Family Mixed residential lots, do you:

A	B	C	D	<u>E</u>
Support	Somewhat Support	Neutral	Somewhat Oppose	Oppose

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13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel: (604) 596 0391





September 12, 2018

Our File Nos: 2111-03850-02,03,04

4. The proposed layout will provide 58% single-family detached and 42% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A Support B Somewhat Support C Neutral D Somewhat Oppose E Oppose

Project No. 08-22-0072 (Application C)

5. In regard to the proposed lot layout design and road network for TOL project 08-22-0072 (Application C) that will result in subdivision of the existing lands into approximately 79 Single Family Mixed residential lots, do you:

A Support B Somewhat Support C Neutral D Somewhat Oppose E Oppose

6. The proposed layout will provide 59% single-family detached units and 41% single-family attached units, meeting density requirement for the Latimer Neighbourhood Plan. With regard to this housing mix, do you:

A Support B Somewhat Support C Neutral D Somewhat Oppose E Oppose

Please use the below space for any additional comments:

I support Projects A and C, but we have a large concern with Project B. Project B, the east portion of the shared 78 Ave. east of 196 St., does not correspond to our March 2018 development application 00-22-0063. The road network was co-ordinated with the previous owner of 19610 78 Ave. At the Open House (Sept. 12, 2018), I was surprised to see the 78 Ave. road alignment had been revised. This change has a significant negative impact on our property yield. The Township should insist the two properties co-ordinate a road pattern that benefits **BOTH** properties. M-3 Management Inc. must oppose Project B until the road alignment matter is beneficially resolved.

13450 102 Avenue
Surrey BC Canada V3T 5X3
Tel: (604) 596 0361

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

LANGLEY OFFICIAL COMMUNITY PLAN BYLAW 1979 NO. 1842

AMENDMENT (WILLOUGHBY COMMUNITY PLAN) BYLAW 1998 NO. 3800

AMENDMENT (LATIMER NEIGHBOURHOOD PLAN) BYLAW 2015 NO. 5101

AMENDMENT (MITCHELL LATIMER 80 / 197 INC.) BYLAW 2019 NO. 5491

EXPLANATORY NOTE

Bylaw 2019 No. 5491 amends the Willoughby Community Plan and Latimer Neighbourhood Plan to allow a townhouse and single family development on lands located at 19648 and 19678 – 80 Avenue and 7661 – 197 Street.

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

LANGLEY OFFICIAL COMMUNITY PLAN BYLAW 1979 NO. 1842

AMENDMENT (WILLOUGHBY COMMUNITY PLAN) BYLAW 1998 NO. 3800

AMENDMENT (LATIMER NEIGHBOURHOOD PLAN) BYLAW 2015 NO. 5101

AMENDMENT (MITCHELL LATIMER 80 / 197 INC.) BYLAW 2019 NO. 5491

A Bylaw to amend the Willoughby Community Plan Bylaw No. 3800 and Latimer
Neighbourhood Plan Bylaw No. 5101

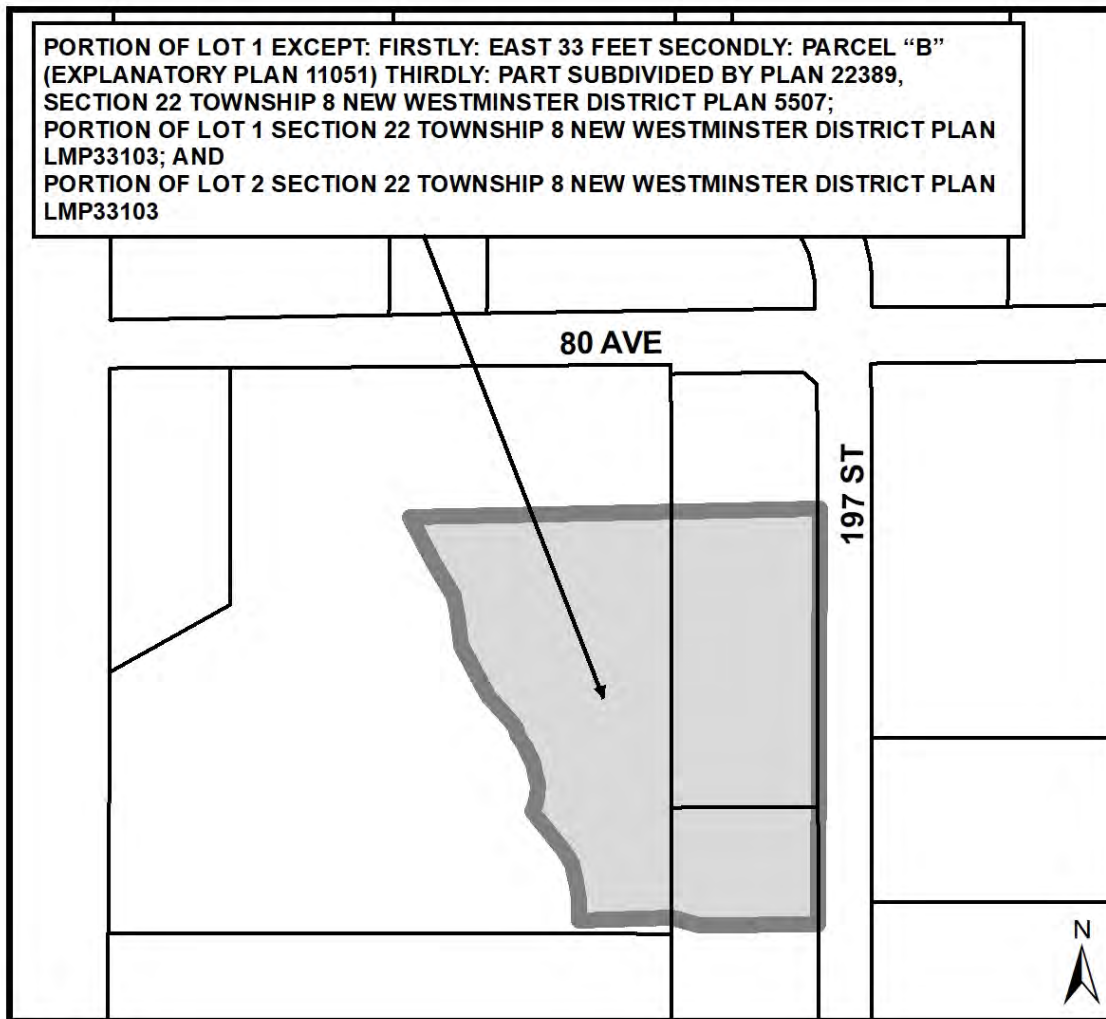
The Municipal Council of the Corporation of the Township of Langley, in Open Meeting
Assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as “Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 Amendment (Latimer Neighbourhood Plan) Bylaw 2015 No. 5101 Amendment (Mitchell Latimer 80 / 197 Inc.) Bylaw 2019 No. 5491”.
2. Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 is further amended by amending Map 1 to change the land use designation for the subject properties to “Multi Family” for the area described on Schedule A attached to an forming part of this Bylaw.
3. Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Willoughby Community Plan) Bylaw 1998 No. 3800 Amendment (Latimer Neighbourhood Plan) Bylaw 2015 No. 5101 is further amended by amending Map 1 – Land Use Concept by changing the land use designation for the properties shown on Schedule A attached to and forming part of this Bylaw to “Rowhouse / Townhouse B (8 – 22 upa).”

READ A FIRST TIME the	day of	, 2019.
READ A SECOND TIME the	day of	, 2019.
PUBLIC HEARING HELD the	day of	, 2019.
READ A THIRD TIME the	day of	, 2019.
RECONSIDERED AND ADOPTED the	day of	, 2019.

_____ Mayor _____ Township Clerk

SCHEDULE 'A' BYLAW NO. 5491



THE CORPORATION OF THE TOWNSHIP OF LANGLEY
TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500
AMENDMENT (MITCHELL LATIMER 80 / 197 INC.)
BYLAW 2019 NO. 5492

EXPLANATORY NOTE

Bylaw 2019 No. 5492 rezones 7.78 ha (19.23 ac) of land located at 19648 and 19678 – 80 Avenue and 7661 – 197 Street from Suburban Residential Zone SR-2 to Residential Compact Lots Zone R-CL(A), R-CL(B), R-CL(SD), and Comprehensive Development Zone CD-131 to accommodate 21 single family lots, 38 semi-detached units, and 106 townhouses.

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500

AMENDMENT (MITCHELL LATIMER 80 / 197 INC.) BYLAW 2019 NO. 5492

A Bylaw to amend Township of Langley Zoning Bylaw 1987 No. 2500

The Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as "Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Mitchell Latimer 80 / 197 Inc.) Bylaw 2019 No. 5492".
2. The "Township of Langley Zoning Bylaw 1987 No. 2500" as amended is further amended by:
 - a. Adding to the Table of Contents and Section 104.1 – Zones the words "Comprehensive Development Zone CD-131" after the words "Comprehensive Development Zone CD-130"
 - b. Adding to Section 110.1 after the words "CD-130" the words "CD-131 – 0.5 ha"
 - c. Adding after Section 1030 "Comprehensive Development Zone CD-130" the following as Section 1031 "Comprehensive Development Zone CD-131"

1031 COMPREHENSIVE DEVELOPMENT ZONE CD-131

Uses Permitted

- 1031.1 In the CD-131 Zone only the following *uses* are permitted and all other *uses* are prohibited:
- 1) *accessory buildings and uses*
 - 2) *accessory home occupations* subject to Section 104.3
 - 3) *townhouses*

Density

- 1031.2 The density permitted shall be no less than 39 units per hectare (16 units per acre) and no greater than 54 units per hectare (22 units per acre).

Lot Coverage

- 1031.3 *Buildings and structures* shall not cover more than 45% of the *lot area*.

Siting of Buildings and Structures

- 1031.4 Siting of *buildings and structure* shall be in accordance with the provisions of the Development Permit.

Height of Buildings and Structures

- 1031.5 The *height of buildings and structures* shall not exceed three (3) *storeys*.

1031.6 Parking and loading shall be provided in accordance with Section 107 and be in accordance with the provisions of the Development Permit. Units fronting arterial roads must provide a minimum of 4 off-street parking spaces per *dwelling unit*.

1031.7 All *lots* created by *subdivision* shall comply with Section 110 of this Bylaw and the Subdivision and Development Servicing Bylaw 2011 No. 4861 as amended.

SCHEDULE 'A' BYLAW NO. 5492

