

REPORT TO MAYOR AND COUNCIL

PRESENTED: JUNE 10, 2019 - SPECIAL MEETING
FROM: COMMUNITY DEVELOPMENT DIVISION
SUBJECT: DEVELOPMENT PERMIT APPLICATION NO. 101041
 (LANGCORP DEVELOPMENTS LTD. / 5350 - 272 STREET)

REPORT: 19-94
FILE: 14-05-0101

PROPOSAL:

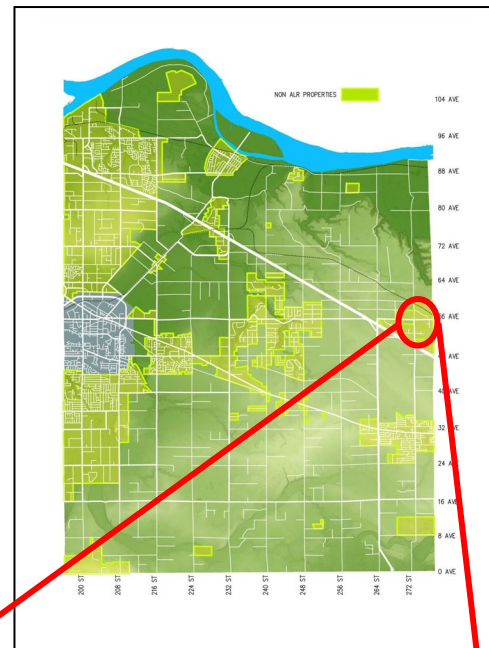
Development Permit application to facilitate construction of 1,219 m² (13,125 ft²) and 1,438 m² (15,483 ft²) additions to existing 1,534 m² (16,508 ft²) and 1,087 m² (11,700 ft²) industrial buildings located at 5350 - 272 Street in Gloucester.

RECOMMENDATION SUMMARY:

That Council authorize issuance of Development Permit No. 101041 for additions to existing industrial buildings located at 5350 - 272 Street subject to seven (7) conditions noting five (5) conditions to be completed prior to issuance of a Building Permit.

RATIONALE:

The proposal complies with the Gloucester Industrial Park Community Plan (and its Development Permit Guidelines) and with the site's General Industrial M-2 zoning.



RECOMMENDATION:

That Council authorize issuance of Development Permit No.101041 to Langcorp Developments Ltd. for property located in the 5350 - 272 Street, subject to the following conditions:

- a. Building plans being in substantial compliance with Schedules “A” through “D”;
- b. Landscape plans being in substantial compliance with Schedule “E” and in compliance with the Township’s Street Tree and Boulevard Planting Policy to the acceptance of the Township;
- c. All signage being in compliance with the Gloucester Development Permit Guidelines and the Township’s Sign Bylaw;
- d. Rooftop mechanical equipment to be screened from view by compatible architectural treatments;
- e. All refuse areas to be located indoors or alternatively in a substantial enclosure and screened to the acceptance of the Township;
- f. All chain link fences being black vinyl with black posts and rails; and
- g. All outdoor storage areas being covered by a dust free surface.

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

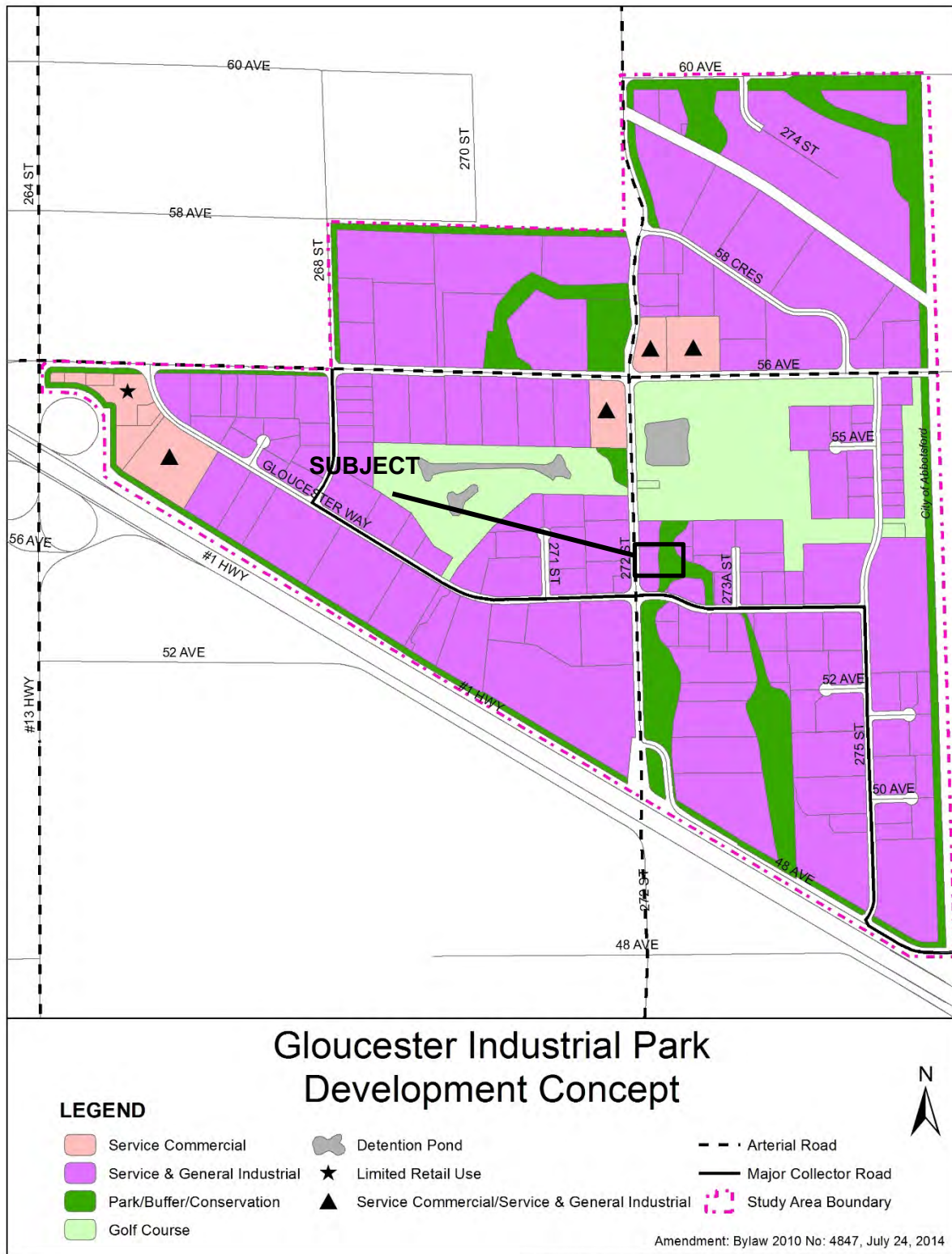
- a. Submission of a site specific on-site servicing and storm water management plan in accordance with the Subdivision and Development Servicing Bylaw, to the acceptance of the Township;
- b. Replacement trees being secured by a letter of credit in compliance with the Township’s Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection);
- c. Submission of an erosion and sediment control plan or exemption in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
- d. On-site landscaping being secured by a letter of credit at the Building Permit stage; and
- e. Payment of applicable Development Cost Charges, Building Permit administration fees and supplemental Development Permit application fees.

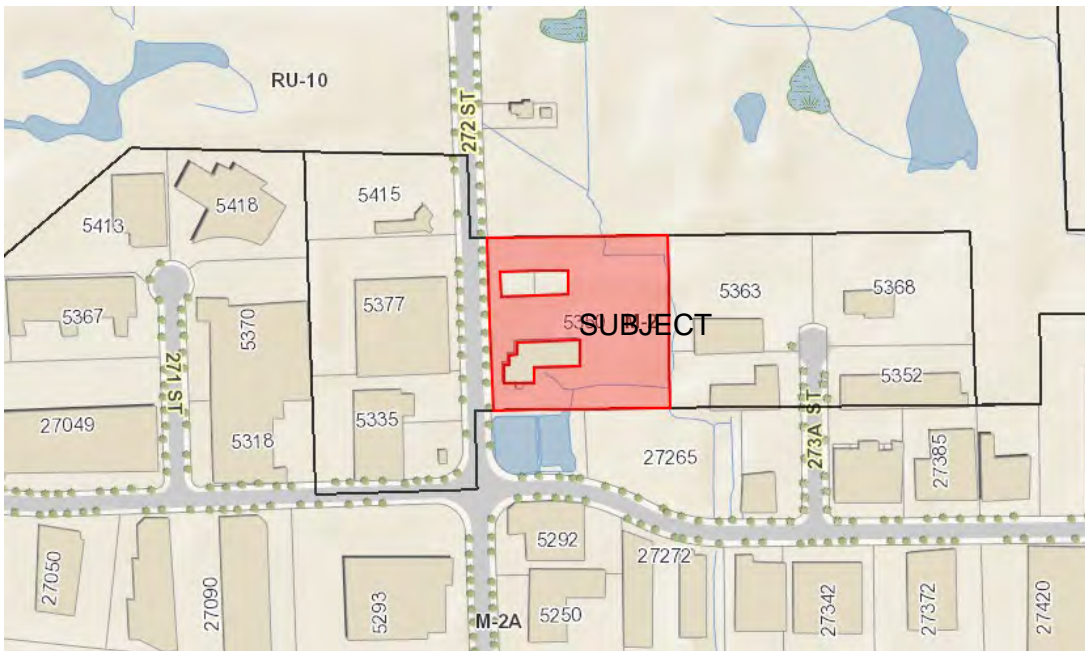
EXECUTIVE SUMMARY:

Langcorp Developments Ltd. has applied for a Development Permit to construct additions to the two (2) existing industrial buildings located on the subject property in the Gloucester Industrial Area. The applicant indicates the additions are necessary to accommodate filming and film related uses. The proposed development complies with the Township’s land use policies and, in staff’s opinion, with the Development Permit guidelines of the Gloucester Industrial Park Community Plan (see Attachment C).

PURPOSE:

This report is to provide information and recommendations concerning proposed Development Permit No.101041 for property located in the 5350 - 272 Street in the Gloucester industrial area.





ZONING

BYLAW NO. 2500



Renderings – SUBMITTED BY THE APPLICANT



REFERENCE:

Applicant:	Krahn Engineering Ltd. 400-34077 Gladys Avenue Abbotsford, BC V2S 2E8
Owners:	Langcorp Developments Ltd. 1800 401 West Georgia Street Vancouver, BC V6B 5A1 0886347 BC Ltd. 100 5350 – 272 Street Langley, BC V4W 1S3
Legal Description:	Strata Lots 1, 2 and 3 Section 5 Township 14 New Westminster District Strata Plan BCS4349 Together with a common interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V.
Location:	5350 - 272 Street
Area:	2 ha (5 ac)
Existing Zoning:	General Industrial M-2 Zone
Gloucester Industrial Park Community Plan:	Service and General Industrial Park/Buffer/Conservation

BACKGROUND/HISTORY:

On September 10, 2007 Council issued a development permit for the existing industrial building located on the south portion of the property. On May 10, 2010 Council issued a second development permit to facilitate construction of the existing building on the north portion of the site. The subject development application proposes to expand the footprint of both existing buildings. The buildings currently accommodate Quorum Construction and Langcorp Developments.

The subject site is split designated Service and General Industrial and Park/Buffer/Conservation in the Gloucester Industrial Park Community Plan and is zoned General Industrial Zone M-2. As the property is designated a mandatory Development Permit area in the Gloucester Industrial Park Community Plan, Council is provided the opportunity to review the form, character, and siting of the proposed development. Council's authorization of issuance of a Development Permit is required prior to issuance of a Building Permit.

DISCUSSION/ANALYSIS:

The development consists of a 1,219 m² (13,125 ft²) addition to Building 1 located on the southern portion of the property and a 1,438 m² (15,483 ft²) addition to Building 2 located on the northern portion of the property. The proposed additions consist of a mix of industrial and accessory office space facing the interior of the site. Loading and parking are proposed to be located in the interior of the site.

A red-coded watercourse traverses the southeastern and eastern portions of the property and accordingly the property is split designated Park/Buffer/Conservation in the eastern portion and Service and General Industrial in the remainder in the Gloucester Industrial Park Community Plan. The eastern areas are protected via non-disturbance covenant registered in conjunction with the previous rezoning of the site, which aligns with the requirements of the Park/Buffer/Conservation designation in the Gloucester Industrial Park Community Plan.

In accordance with Council's policy, a rendering, site plan, building elevations, and landscape plans have been submitted detailing the proposed development's form, character and siting. Proposed Development Permit No. 101041 is provided as Attachment A to this report.

Adjacent Uses:

Surrounding land uses include:

- North: A 36 ha (90 ac) parcel of land zoned Rural Golf Course Zone RU-10, designated Golf Course in the Gloucester Industrial Park Community Plan;
- South: A 0.38 ha (0.95 ac) vacant property accommodating a detention facility, red-coded watercourse and currently under application (western portion) for a proposed industrial building (DP100988); a 1 ha (2.4 ac) property accommodating two (2) industrial buildings; all zoned General Industrial Zone M-2, and designated Service and General Industrial in the Gloucester Industrial Park Community Plan;
- East: A red-coded watercourse, beyond which are two (2) industrial properties zoned General Industrial Zone M-2, and designated Service and General Industrial in the Gloucester Industrial Park Community Plan;
- West: 272 Street, beyond which two (2) industrial properties zoned General Industrial Zone M-2 and designated Service and General Industrial in the Gloucester Industrial Park Community Plan.

Development Permit:

This application proposes 1,219 m² (13,125 ft²) and 1,438 m² (15,483 ft²) additions to existing 1,534 m² (16,508 ft²) and 1,087 m² (11,700 ft²) industrial buildings consisting of industrial and accessory office space and on the subject site, with parking and overhead doors facing the interior of the site.

The proposed buildings feature concrete tilt-up panels painted white with blue and grey accent stripes complete with horizontal and vertical reveal lines. The design rationale (Attachment B) provided by the applicant states:

The proposed building additions will carry the existing building exterior façade architecture as a continuous seam to the existing streetscape. That being said the proposed development area is significantly screened from 272 Street by an established landscape berm & solid concrete fencing.

The site plan indicates the refuse bins are to be located in an enclosure (as illustrated in Attachment A) and screened from view of the roadway and noted as a condition of the Development Permit. A similar condition has been included in the Development Permit requiring all rooftop mechanical equipment to be screened to the acceptance of the Township.

The building height (9.9 m / 32.5 ft), siting and lot coverage (26%) comply with the provisions of the General Industrial M-2 Zone. The proposed building architecture is consistent with other buildings in Gloucester and the Gloucester Development Permit Guidelines.

Signage:

There is currently a freestanding sign located near the northernmost driveway and a fence sign located at the southernmost driveway. No additional signage is proposed at this time. All proposed and any future signage shall be in compliance with the Gloucester Development Permit Guidelines (Attachment C) and the Township's Sign Bylaw.

Access and Parking:

Access to the site is currently accommodated via three (3) driveways on 272 Street. The applicant is proposing 101 parking spaces on the site in compliance with the 97 spaces required in the Zoning Bylaw, as summarized in the table below.

Use	Required	Provided
Office	76	80
Industrial	21	21
TOTAL	97	101

Tree Protection:

The tree management plan submitted by the applicant indicates that no significant trees exist on areas proposed for building expansion. According to the applicant's development permit application, and consistent with the Subdivision and Development Servicing Bylaw (2011) No. 4861, thirty (30) replacement trees are proposed in and around the existing environmental areas to the east of the proposed additions. As 272 Street is currently constructed to its ultimate configuration including street trees, no additional street trees are required. Final tree retention, protection and replacement plans are subject to the final acceptance of the Township.

Landscaping:

Landscaping in accordance with the requirements of the Zoning Bylaw was completed under a previous development application (DP100511). The landscape plan (Attachment A – Schedule E) submitted in support of the current development application proposes to revitalize plantings in the landscape screening along lot lines and parking lot landscape as required by the Zoning Bylaw (see Attachment A – Schedule E).

Servicing:

Full urban services exist to the subject site. As a condition of Building Permit, an onsite servicing plan and a site-specific storm water management plan in accordance with the Township's Subdivision and Development Servicing Bylaw is required to the acceptance of the Township. Additionally, an Erosion and Sediment Control Permit or exemption will be required in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township.

Environmental Considerations:

The Township's Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township's Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Schedule 3 of the Township of Langley Official Community Plan, Erosion and Sediment Control Bylaw, and Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations. Full urban services exist to the subject site. The provision of storm water management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter.

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POLICY CONSIDERATIONS:

The proposed development complies with the site's Service and General Industrial designation in the Gloucester Industrial Park Community Plan, and the existing General Industrial Zone M-2 requirements. The proposal, in staff's opinion, complies with the Development Permit Guidelines for the Gloucester Industrial Park Community Plan (Attachment C).

Respectfully submitted,

Daniel Graham
DEVELOPMENT PLANNER
for
COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A	Development Permit No. 101041 and Schedules "A" through "E":
ATTACHMENT B	Applicant Design Rationale
ATTACHMENT C	Gloucester Industrial Park Community Plan – Development Permit Guidelines

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 101041

This Permit is issued this _____ day of _____, 2019 to:

1. Name:

Langcorp Developments Ltd.	0886347 BC Ltd.
1800 401 West Georgia Street	100 5350 – 272 Street
Vancouver, BC V6B 5A1	Langley, BC V4W 1S3

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Strata Lots 1, 2 and 3 Section 5 Township 14 New Westminster District Strata Plan BCS4349 Together with a common interest in the common property in proportion to the unit entitlement of the strata lot as shown on Form V.

CIVIC ADDRESS: 5350 – 272 Street

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:
- a. Building plans being in substantial compliance with Schedules “A” through “D”;
 - b. Landscape plans being in substantial compliance with Schedule “E” and in compliance with the Township’s Street Tree and Boulevard Planting Policy to the acceptance of the Township;
 - c. All signage being in compliance with the Gloucester Development Permit Guidelines and the Township’s Sign Bylaw;
 - d. Rooftop mechanical equipment to be screened from view by compatible architectural treatments;
 - e. All refuse areas to be located indoors or alternatively in a substantial enclosure and screened to the acceptance of the Township;
 - f. All chain link fences being black vinyl with black posts and rails; and
 - g. All outdoor storage areas being covered by a dust free surface.

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

- a. Submission of a site specific on-site servicing and storm water management plan in accordance with the Subdivision and Development Servicing Bylaw, to the acceptance of the Township;
- b. Replacement trees being secured by a letter of credit in compliance with the Township’s Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection);
- c. Submission of an erosion and sediment control plan or exemption in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
- d. On-site landscaping being secured by a letter of credit at the Building Permit stage; and

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- e. Payment of applicable Development Cost Charges, Building Permit administration fees and supplemental Development Permit application fees.
- 4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Development Permit shall be substantially commenced within two years after the date the Development Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

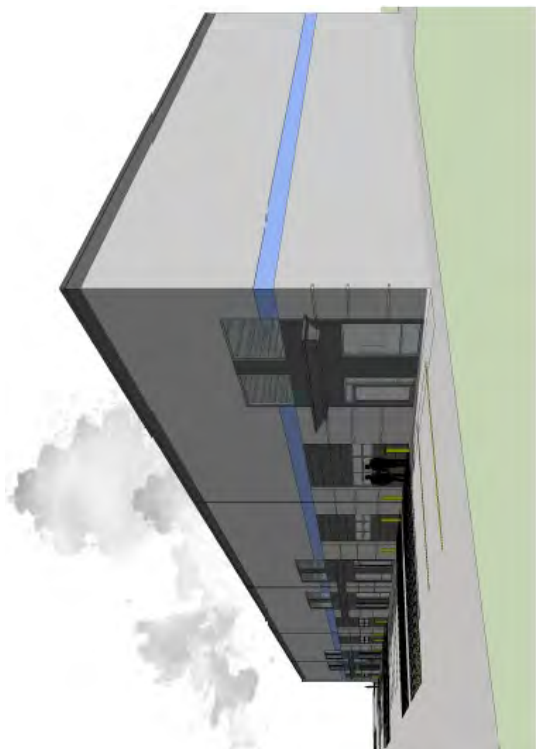
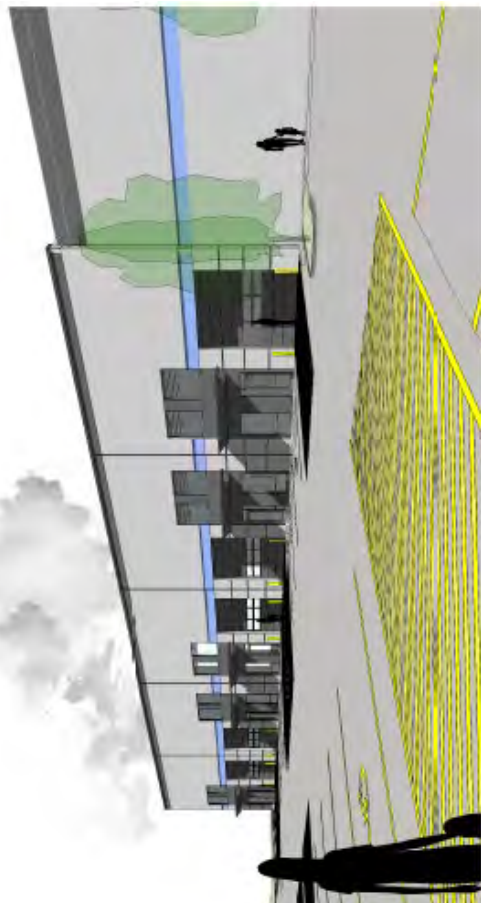
This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2019.

Attachments:

SCHEDULE A	Renderings
SCHEDULE B	Site Plan
SCHEDULE C	South Building Elevations
SCHEDULE D	North Building Elevations
SCHEDULE E	Landscape Plan

SCHEDULE A RENDERINGS



SCHEDULE B
SITE PLAN



1 | SITE PLAN
SCALE: 1/8" = 1'-0"



2 | CONTEXT MAP
SCALE: 1/4" = 1'-0"

PROJECT DATA

CLIENT: 3000 STREET, LANGLEY, BC
LEGAL ADDRESS: 3000 STREET, LANGLEY, BC
PROJECT NAME: 3000 STREET, LANGLEY, BC
PROJECT NUMBER: 3000 STREET, LANGLEY, BC

DESIGN TEAM

DESIGNER: 3000 STREET, LANGLEY, BC
ARCHITECT: 3000 STREET, LANGLEY, BC
ENGINEER: 3000 STREET, LANGLEY, BC
LANDSCAPE ARCHITECT: 3000 STREET, LANGLEY, BC

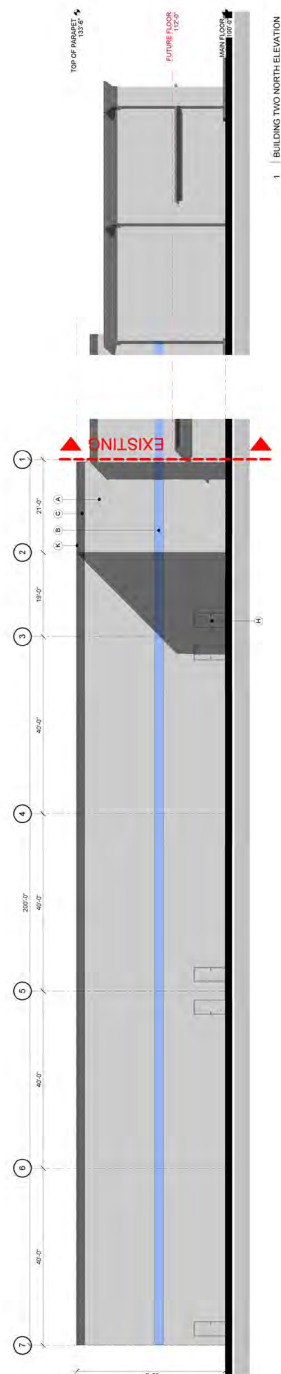
DATE

DATE: 3000 STREET, LANGLEY, BC
REVISION: 3000 STREET, LANGLEY, BC
PROJECT: 3000 STREET, LANGLEY, BC

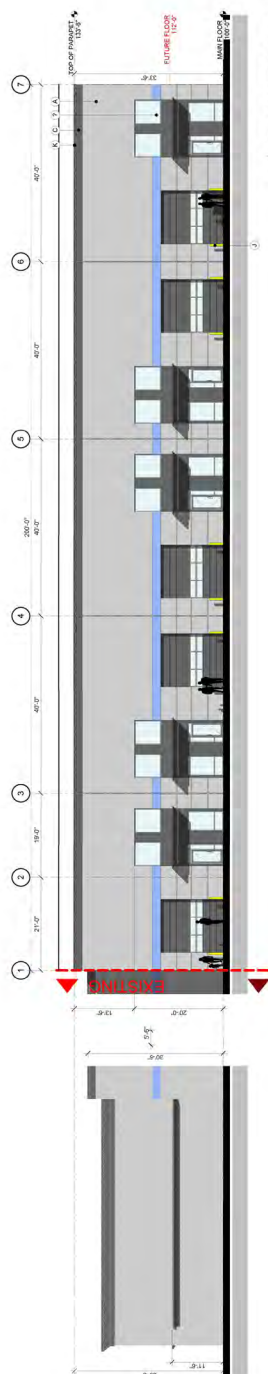
DP21







1 BUILDING TWO NORTH ELEVATION
SCALE 3/32" = 1'-0"



2 BUILDING TWO SOUTH ELEVATION
SCALE: 3/32" = 1'-0"

	2018/2017	ISSUED FOR DP
2	2018/09/27	ISSUED FOR DP
NO	DATE	DESCRIPTION

Quorum Proposed Building Additions

5350 272nd STREET LANGLEY, BC V4W
1S3

3/20/14 TITLE
BUILDING TWO
ELEVATIONS

DATE	14 FEBRUARY
NAME	LDP
REASON	UPDC
REMARKS	192734

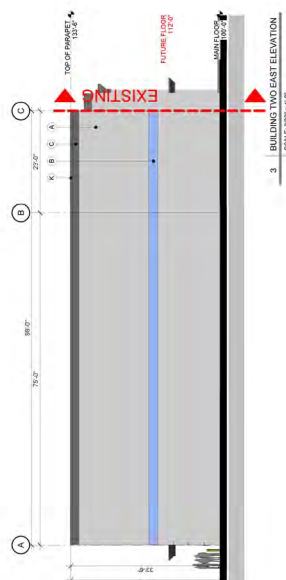
DP4.2

EXTERIOR FINISH LEGEND

A	CONCRETE TILT UP PANEL	PANED TO MATCH COLOUR C1
B	CONCRETE TILT UP PANEL	PANED TO MATCH COLOUR C2
C	CONCRETE TILT UP PANEL	PANED TO MATCH COLOUR C3
D	GLASS SLUZING	TO MATCH EXISTING BUILDING
E	COLORADO ALUMINUM	PAINTING TO BE GRANT TO MATCH COLOR
F	CONCRETE GANOPY	PANED TO MATCH COLOUR C3
G	OVERHEAD DOOR	TO MATCH ADJACENT COLOUR C3
H	MAIN DOOR	TO MATCH ADJACENT COLOUR C1
I	BOLLARD	PANED
J	WALL SIGN	TO MATCH ADJACENT COLOUR C3

PROJECTS COLOURS

C1	BENJAMIN MOORE	ST TC
C2	GENERAL PAINT	NE TC
C3	BENJAMIN MOORE	PA TC



3 BUILDING TWO EAST ELEVATION
SCALE: 1" = 3'-0" @ 1'-0"

Sep 7 2018
180234-A

The Corporation of the Township of Langley
Development Planning | Community Development
20338 – 65 Avenue, Langley, B.C. V2Y 3J1

Attention: Daniel Graham

RE: Letter of Intent – 5350 272nd Street, Quorum Warehouse Additions

The development proposal is to construct two concrete tilt up shell warehouse building additions onto the back of the two existing Quorum group warehouse buildings. The area where the additions are proposed is an already developed gravel storage yard in the rear of the property. As discussed in our public inquiry meeting there are no existing trees being removed with this proposal as verified by the arborist letter included with the submission. Thus the ISDC plan requirement has been waived.

The proposed building additions will carry the existing building exterior façade architecture as a continuous seam to the existing streetscape. That being said the proposed development area is significantly screened from 272nd street by an established landscape berm & solid concrete fencing. The area between the two buildings will consist of the required parking & loading for the new proposed building & will be completely paved. Minimal landscaping has been proposed between the two new buildings as the developer has discussed with staff.

The proposed development area remains clear of the riparian no build covenant areas. The landscape plan & included letter identifies the replacement of any missing trees from the original development that have died since being planted in 2006 & 2009 as requested by staff. Unfortunately the riparian areas have since flooded, so any trees that were planted within the riparian areas per the previous development permit(s) approved landscape plans are no longer in place. The developer has met with staff prior to this application being submitted to discuss any potential leniency on the tree per acre bylaw requirement.

Should you have any questions regarding the proposal please do not hesitate to contact me via phone or email. 604-615-3932, darrenc@krahn.com.

Yours truly,

Krahn Engineering Ltd.



Darren Cruickshanks

3.0 DEVELOPMENT STRATEGY

There is no need for the Township Of Langley to consider expansion of services to the subject area to permit industrial development. Development of services to the areas and consideration of zoning of properties in the area to industrial and commercial uses will only be considered on the basis of a comprehensive development for the subject lands. The Township Of Langley will not be developing capital expenditure programs for the subject area and considers the area unsuitable for industrial and commercial uses until municipal water and sewage systems are developed and a program to upgrade the drainage system, roadways and park requirements is proposed and adopted. Development of services will only proceed on the property owners request and agreement to pay the cost of developing services.

4.0 DEVELOPMENT PERMIT GUIDELINES

#2812
25/06/9 In a Development Permit Area, before a building permit may be obtained, a Development Permit must first be issued by Council. Council may set forth conditions under which development may take place that may be in addition to normal zoning requirements and the developer's Statutory Building Scheme registered as a charge against the lands pursuant to Section 216(1) of the Land Title Act.

Form and Character

- Building design, materials and exterior finish and landscaping shall support the creation of an attractive, high quality estate industrial environment and shall conform to the provisions of Gloucester's Statutory Building Scheme;
- Low profile building designs are encouraged, particularly adjacent to residential and rural areas as well as the No. 1 Highway;
- Commercial buildings are encouraged to incorporate "pitched" roofs or other similar roof treatment into the building design;
- The use of smooth surfaced, light coloured building materials, finished, painted "tilt-up" concrete panels, acrylic stucco, brick, baked enamel finished metal siding, or metal panels is encouraged;
- The use of untreated or unfinished concrete, metal or aluminum as a final building finish will not be permitted;
- Building design, layout, siting, landscaping, screening and buffering shall reflect the need to reduce noise impacts from the No. 1 Highway and between industrial development and adjacent uses;
- Buildings on corner sites or on lots backing onto roads shall be designed to recognize the building's visibility from more than one street with continuity of design, materials, exterior finish, signage and landscaping;
- Roof top mechanical equipment shall be hidden behind screens designed as an integral part of a building, or parapets may be extended to conceal such equipment;

- Underground utilities shall be provided;
- Building plans submitted in support of a Development Permit shall:
 - Be of sufficient detail to convey the intent of the design in terms of the building's appearance, exterior finish, materials and colour treatments;
 - Be prepared by an architect registered in B.C.;
 - Include a coloured rendering or perspective drawing and typical building elevations;
 - Include a coloured site plan indicating the siting of all buildings and structures, property lines, dimensions, easements, rights of way, roads, areas, phasing and significant physical features;
 - Include a detailed statement of land and building uses, lot sizes, coverage, building height, staging and the location and dimensions of landscape and buffer areas.

Landscape Areas and Buffers

Landscape plans submitted in support of a Development Permit shall:

- Be of sufficient detail to convey the intent of the landscape design;
- Complement the objective of creating an attractive, high quality industrial environment;
- Comply with the Landscape Design Guidelines attached as Appendix "A" to the developer's Statutory Building Scheme;
- Be prepared by a landscape architect registered in B.C.;
- Include a detailed plant list, quantity and sizing of plant material;
- Include fencing design, material and specifications;
- Include a cost estimate of the value of the landscape works including fencing and installation (of both the landscape works and fencing);
- Include boulevard treatment and street tree plantings in accordance with the Township's Boulevard Treatment and Street Tree Policy;
- At the building permit stage, be secured by a letter of credit;
- In buffer and building setback areas on-site natural vegetation shall be encouraged to be retained wherever practical;
- No site development works involving the removal of natural vegetation in the buffer or setback areas shall take place until after the Development Permit has been issued;

#3850
19/07/99

- Natural vegetation or berming adjacent to the No. 1 Highway shall not be removed unless specifically authorized by the Development Permit;
- The width of the undisturbed natural vegetation area adjacent to the No. 1 Highway shall be a minimum of 15m except where lands are designated for Service Commercial purposes the width of the required landscaping adjacent to the No. 1 Highway shall be a minimum of 7.5m;
- Adjacent to the No. 1 Highway, where no natural vegetation exists or where natural vegetation is specifically authorized to be removed by the Development Permit, it shall be replaced by a combination of landscape works and berming;
- Berms, where required, shall be a minimum of 1.8m height and be landscaped with evergreen shrubs/hedges and other plantings forming a continuous opaque screen;
- Adjacent to the street (other than the No. 1 Highway) a minimum 5m wide landscape area is required;
- Adjacent to residential or rural areas, a minimum 10m wide landscape area/buffer is required, plus a 1.8m high (minimum) fence designed to reduce the visual and noise impacts of the industrial use on adjacent lands;
- Parking areas are to be landscaped and shall not occupy more than 25% of the front yard of a building;
- Outside storage areas are to be screened; and
- Refuse collection areas shall be enclosed within a building or screened by a combination of walls, fencing and landscaping.

Signs

Sign plans submitted in support of the Development Permit application shall:

- Be in accordance with the developer's Statutory Building Scheme and the Township's Sign Control Bylaw;
- Be prepared by a professional graphic designer showing the location, type, size, colour and height of all signs, logos, graphics, symbols and colours to be located on all buildings and on free-standing signs;
- Complement the building's design scheme;
- Involve only one free-standing sign containing only the corporate names and street numbers on its face;
- No illuminated sign creating a glare or reflection on any building or street shall be permitted;
- Signs shall only identify those businesses located within the building itself.