



## REPORT TO MAYOR AND COUNCIL

**PRESENTED:** JUNE 25, 2018 - REGULAR EVENING MEETING  
**FROM:** COMMUNITY DEVELOPMENT DIVISION  
**SUBJECT:** REZONING APPLICATION NO. 100496 AND  
 DEVELOPMENT PERMIT APPLICATION NO. 100916  
 (ESSENCE PROPERTIES INC. / 20235 AND 20263 – 72B AVENUE,  
 20276, 20244 AND 20348 – 73A AVENUE)

**REPORT:** 18-88  
**FILE:** 08-23-0164

### PROPOSAL:

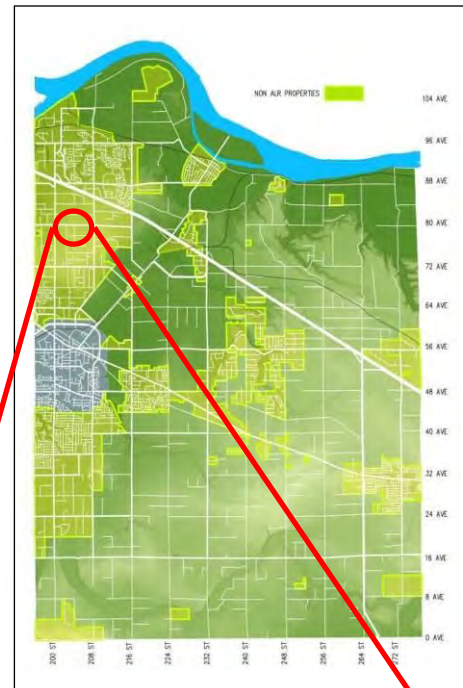
Application to rezone approximately 2.4 ha (5.9 ac) of land located at 20235 and 20263 – 72B Avenue, 20244, 20276, and 20348 – 73A Avenue to Comprehensive Development Zone CD –124 and issue a Development Permit to facilitate development of 102 townhouse units and 75 apartment units.

### RECOMMENDATION SUMMARY:

That Council give first and second reading to Bylaw No. 5381 subject to 12 development prerequisites being satisfied prior to final reading; that Council authorize issuance (at time of final reading of Bylaw No. 5381) of Development Permit No. 100916 subject to seven (7) conditions, noting five (5) building permit conditions and that staff be authorized to schedule the required Public Hearing.

### RATIONALE:

The proposed development is consistent with the Central Gordon Estate Neighbourhood Plan's overall objectives.



REZONING APPLICATION NO. 100496 AND  
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## RECOMMENDATIONS:

**That** Council give first and second reading to Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Essence Properties Ltd.) Bylaw 2018 No. 5381 rezoning 2.4 hectares (5.9 ac) of land located at 20235 and 20263 – 72B Avenue, 20244, 20276, and 20348 – 73A Avenue to Comprehensive Development Zone CD –124, to facilitate the development of 102 townhouse units and 75 apartment units, subject to the following development prerequisites being satisfied prior to final reading:

1. In accordance with the Central Gordon Estate Neighbourhood Plan requirements, secure a community stormwater detention site to serve the storm catchment area to the acceptance of the Township;
2. A servicing agreement being entered into with the Township to secure required road and utility upgrades and extensions in accordance with the Township's Subdivision and Development Servicing Bylaw, to the acceptance of the Township;
3. Completion of an erosion and sediment control plan and provision of security in accordance with the Erosion and Sediment Control Bylaw to the acceptance of the Township;
4. Provision of road dedications, widenings, and necessary traffic improvements for 72B Avenue, 73A Avenue and 202A Street in accordance with the Township's Master Transportation Plan, Subdivision and Development Servicing Bylaw and the Central Gordon Estate Neighbourhood Plan, to the acceptance of the Township;
5. Dedication and construction of a 4.5 metre wide street greenway on the east side of 202A Street and local gateway feature at 72B Avenue and 202A Street to the acceptance of the Township, including final acceptance of the greenway landscape design plans, sidewalk/trail alignment, signage, landscape details and security;
6. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
7. Compliance with Age Friendly Amenity Area requirements to the acceptance of the Township;
8. Registration of restrictive covenants acceptable to the Township:
  - a. Prohibiting parking on internal strata roadways (other than in clearly identified parking spaces);
  - b. Prohibiting garages from being developed for purposes other than the parking of vehicles, and prohibiting the development of secondary suites within individual units (for townhouse units);
  - c. Identifying the units (minimum 5% of townhouse units and 10% of apartment units) required in accordance with the Schedule 2 – Adaptable Housing Requirements for the Township's Official Community Plan;
9. Registration of a cross access easement in favour of the property located south of Lot C (20343 – 72 Avenue) for future access purposes to the acceptance of the Township;
10. Compliance with the requirements of the Central Gordon Estate Amenity Zoning Policy including payment of applicable Central Gordon amenity fee;
11. Payment of applicable Neighbourhood Planning Administration fees, supplemental Rezoning fees, Site Servicing Review fee, ISDC review fee, Development Works Agreement (DWA) and Latecomer charges, and compliance with the Township's 5% Neighbourhood Park Land Acquisition Policy; and
12. Consolidation of lands north of 72B Avenue into two (2) lots for the proposed townhouse developments.

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**That** Council at time of final reading of Rezoning Bylaw No. 5381 authorize issuance of Development Permit No. 100916 subject to the following conditions:

- a. Building plans being in compliance with Schedules “A” through “WW”;
- b. Landscape plans being in substantial compliance with Schedules “XX” through “BBB” and in compliance with the Township’s Street Tree and Boulevard Planting Policy and Age Friendly Amenity Area requirements, to the acceptance of the Township;
- c. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township’s Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
- d. All signage being in compliance with Schedule “ZZ” and the Township’s Sign Bylaw;
- e. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments;
- f. All refuse areas to be located in an enclosure and screened to the acceptance of the Township; and
- g. Preparation of a CPTED (Crime Prevention Through Environmental Design) report to the acceptance of the Township and incorporation of its recommendations into the final development design.

Although not part of the development permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

- a. Payment of supplemental Development Permit application fees, applicable Development Cost Charges, and Building Permit administration fees;
- b. Landscaping and boulevard treatment being secured by letter of credit at the Building Permit stage;
- c. Tree retention, replacement and protection in compliance with the Township’s Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) being secured by letter of credit, including payment of associated administration fees;
- d. Written confirmation from owner and landscape architect or arborist that the tree protection fencing identified in the tree management plan is in place; and
- e. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw, and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township; and further

**That** Council authorize staff to schedule the public hearing for the rezoning bylaw in conjunction with the hearing for proposed Development Permit No. 100916.

#### **EXECUTIVE SUMMARY:**

Essence Properties Inc. has applied to rezone a 2.4 ha (5.9 ac) of land located at 20235 and 20263 – 72B Avenue, 20244, 20276, and 20348 – 73A Avenue to Comprehensive Development Zone CD –124 to facilitate development of 102 townhouse units and 75 apartment units.

A Development Permit for the site is being processed in conjunction with the rezoning application to provide Council the opportunity to review the form and character of the proposed development.

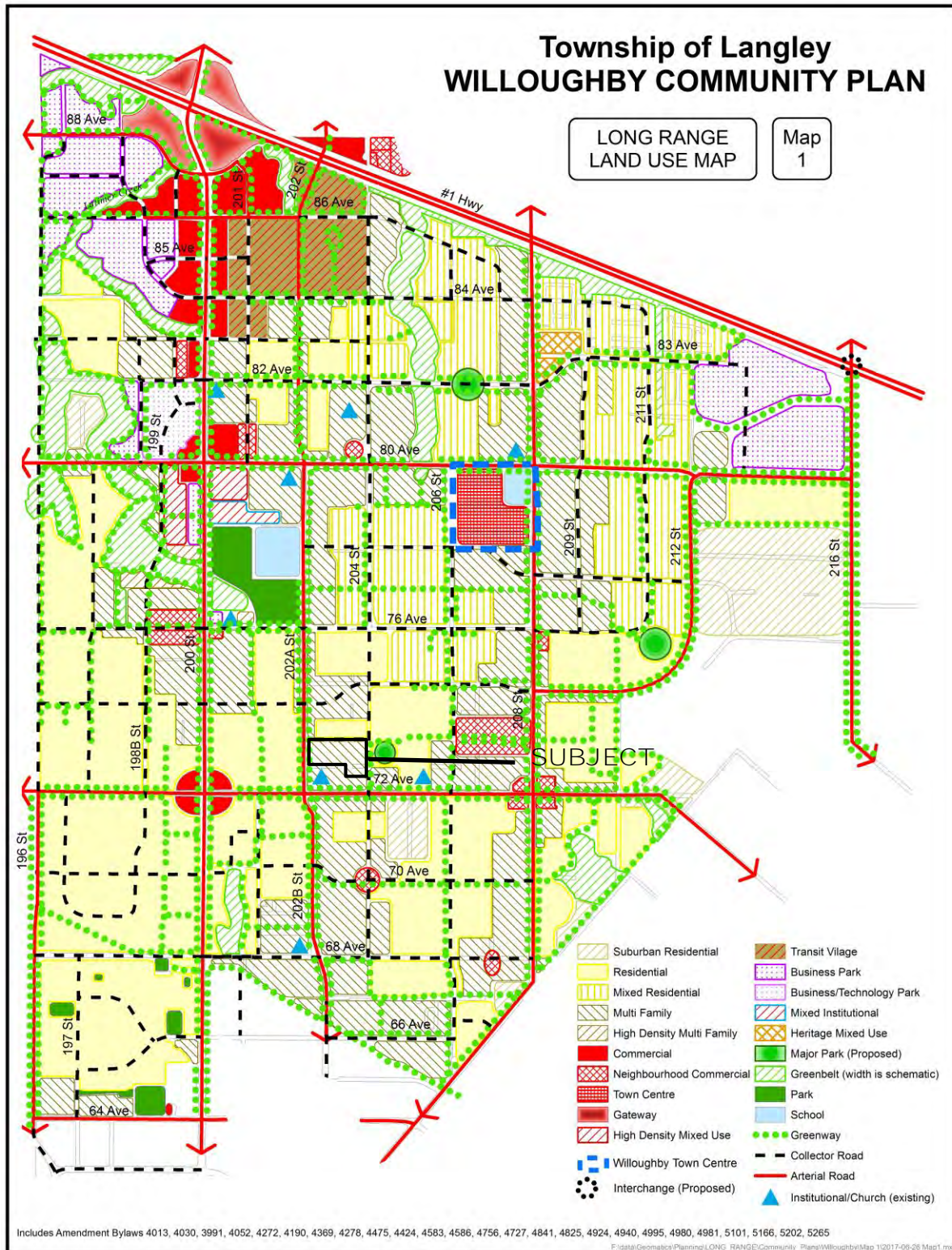
The proposal is consistent with the overall objectives of the Central Gordon Estate Neighbourhood Plan. Staff recommend that Council consider the rezoning request, subject to the completion of 12 development prerequisites. Staff also recommend that Council authorize issuance (at time of final reading of Bylaw No. 5381) of Development Permit No. 100916.

#### **PURPOSE:**

The purpose of this report is to advise and make recommendations to Council with respect to Rezoning Bylaw No. 5381 and Development Permit No. 100916 in the Central Gordon Estate neighbourhood of Willoughby.

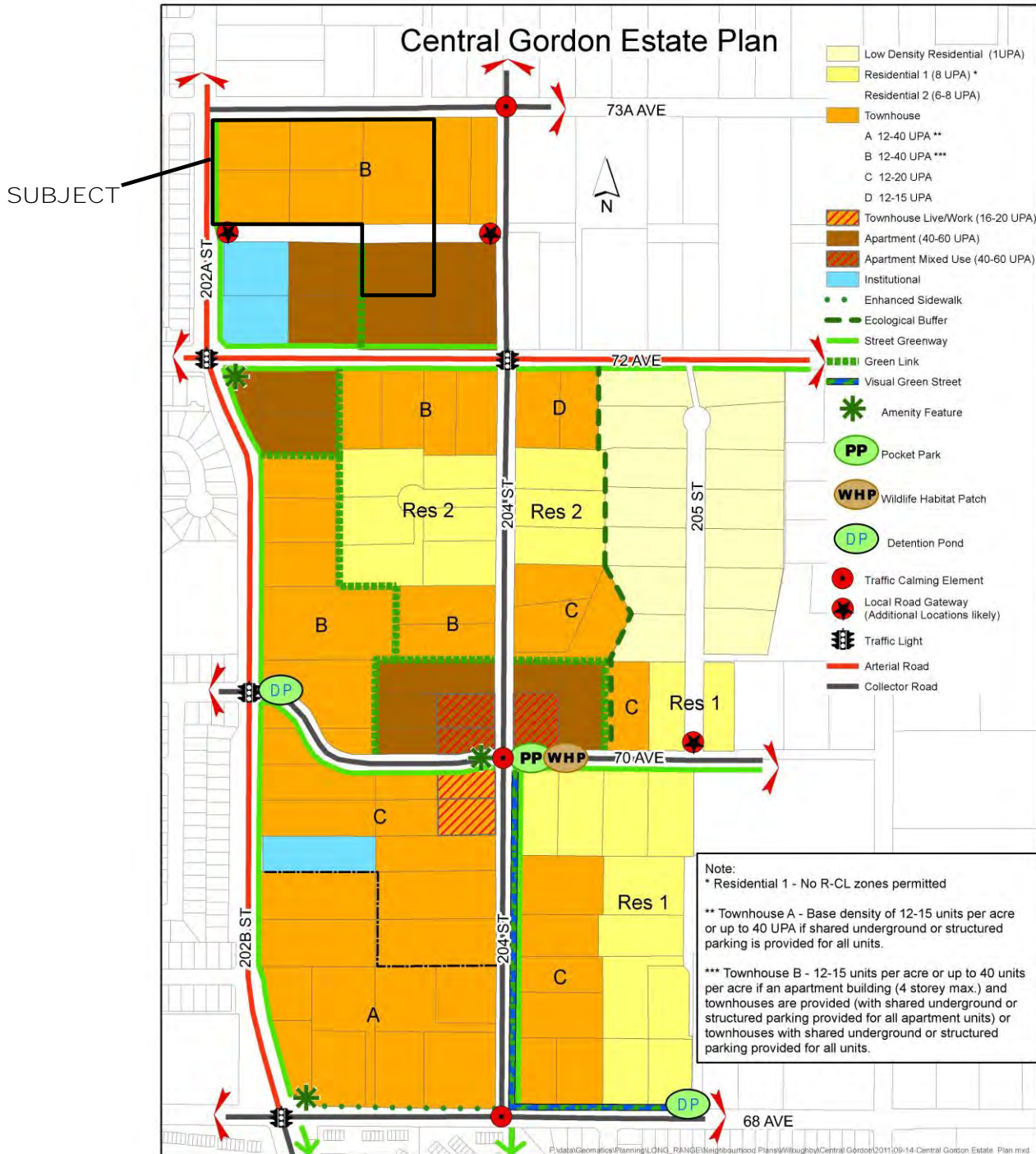


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**ZONING BYLAW NO. 2500**

REZONING APPLICATION NO. 100496 AND  
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**RENDERING (LOT A TOWNHOUSES) – SUBMITTED BY APPLICANT**



**RENDERING (LOT B TOWNHOUSES) – SUBMITTED BY APPLICANT**



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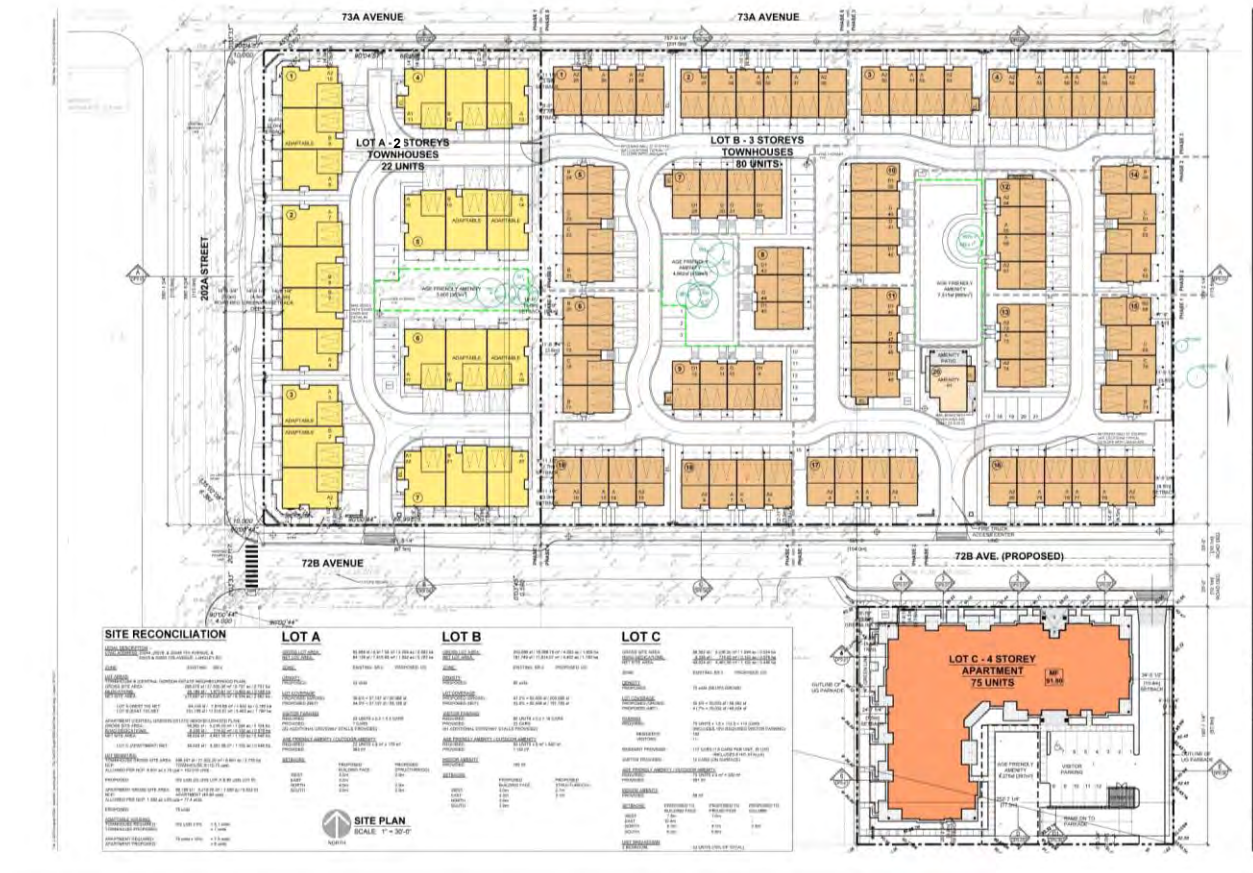


**RENDERING (LOT B TOWNHOUSES) – SUBMITTED BY APPLICANT**



**RENDERINGS (LOT C APARTMENT) – SUBMITTED BY APPLICANT**

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**SITE PLAN / CONTEXT MAP- SUBMITTED BY APPLICANT**

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#### REFERENCE:

<b>Owner:</b>	Essence Holdings (Parc Central 1) Inc. Essence Holdings (Parc Central 2) Inc. Essence Holdings (Parc Central 3) Inc. 216 – 18525 – 53 Avenue Surrey, BC V3S 7A4
<b>Agent:</b>	Essence Properties Inc. #216 – 18525 – 53 Avenue Surrey, BC V3S 7A4
<b>Legal Description:</b>	Lot 73,74,75,76 Plan 41978 & Lot 80 Plan 47681 All of Section 23, Township 8, NWD
<b>Location:</b>	20235 and 20263 – 72B Avenue 20244, 20276 and 20348 – 73A Avenue
<b>Area:</b>	2.4 ha (5.9 ac)
<b>Existing Zoning:</b>	Suburban Residential Zone SR-2
<b>Proposed Zoning:</b>	Comprehensive Development Zone CD-124
<b>Willoughby Community Plan:</b>	Multi-Family
<b>Central Gordon Estate Neighbourhood Plan:</b>	Townhouse B ( 30 – 99 upha / 12 – 40 upa) Apartment ( 99 – 148 upha / 40 – 60 upa)

#### BACKGROUND/HISTORY:

Essence Properties Inc. has assembled lands in the Central Gordon Estate Neighbourhood Plan. As shown in the site plan included in this report, the assembly extends east from 202A Street between 72B Avenue and 73A Avenue. The proposed development site is currently zoned Suburban Residential SR-2 and is designated Townhouse B and Apartment in the Central Gordon Estate Neighbourhood Plan.

#### DISCUSSION/ANALYSIS:

Essence Properties Inc. has applied to rezone 2.4 ha (5.9 ac) of land located at 20235 and 20263 -72B Avenue, and 20276, 20244 and 20348 – 73A Avenue to facilitate development of 102 townhouse units and 75 apartment units. The applicant has also applied for a development permit for the site to be processed in conjunction with the rezoning application to provide Council the opportunity to review the form, character and siting of the development. The existing properties are currently used for suburban residential purposes, with a house and accessory buildings on each lot. The overall site slopes to the south.



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The portion of the assembly located to the north of 72B Avenue is designated 'Townhouse B', permitting a density ranging from 30 to 37 units per ha (12 to 15 units per ac). Although a higher density of up to 99 units per ha (40 units per ac) is permitted if underground or structured parking is provided for all units, the applicant is not proposing to use this provision. The townhouse component proposes an overall gross density of 37 units per ha (15 units per ac) and complies with the density provisions of the Central Gordon Estate Neighbourhood Plan.

The southern portion of the assembly is designated as 'Apartment' and permits a minimum density of 99 units per ha (40 units per ac) and a maximum of 148 units per ha (60 units per ac). The proposed density of 148 units per ha (60 units per ac) complies with the density provisions of the plan.

### **Adjacent Uses:**

North: 73A Avenue, beyond which are three suburban residential lots zoned Suburban Residential Zone SR-2, designated Single Family Residential 3 and Rowhouse/Townhouse B in the Latimer Neighbourhood Plan;

South: 72B Avenue, beyond which are three properties zoned Suburban Residential Zone SR-2, with the western property designated as Institutional and other two as Apartment in the Central Gordon Estate Neighbourhood Plan;

East: two properties zoned Suburban Residential SR-2; these properties are designated Townhouse B (north of 72B Avenue) and Apartment (south of 72B Avenue) in the Central Gordon Estate Neighbourhood Plan;

West: 202A Street, beyond which are suburban residential lots zoned Residential Compact Zone R-CL, designated as Residential Density Bonus 2 in the Southwest Gordon Estate Neighbourhood Plan.

### **Zoning Amendment:**

The subject development site is currently zoned Suburban Residential Zone SR-2. Bylaw No. 5381 proposes to rezone the site to a new Comprehensive Development Zone (CD-124) to facilitate development of 102 townhouse units and 75 apartment units. In conjunction with the rezoning application, a subdivision of properties will be required to create separate lots for the townhouse and apartment sites, as well as greenway parcels and road dedications.

The project complies with the provisions of the site's proposed Comprehensive Development Zone CD-124 zoning in terms of siting, site coverage, parking, height, use and density.

### **Public Consultation:**

As per Policy No. 07-164, the applicant held a public meeting on February 8, 2018. Results of the Developer Held Public Information Meeting were compiled and are provided on Attachment D.

### **Development Permit:**

The site is designated a mandatory Development Permit area to provide Council the opportunity to review the form, character and siting of any proposed development. The site has been considered in accordance with the existing Residential Development Permit Area guidelines included in the Willoughby Community Plan (see Attachment B). Proposed Development Permit No. 100916 is attached to this report (See Attachment A). The proponent has submitted elevations and renderings detailing the form, height, exterior finishing and architectural style and massing of the proposed townhouse and apartment sites for Council's consideration.

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The five (5) parcels involved in the development will be resubdivided to create three (3) development sites. The townhouse portion of the development consists of 102 townhouse units contained on two separate lots (north of 72B Avenue). A third lot (south of 72B Avenue) will be created for the proposed 75 unit apartment site.

#### *Lot A (Townhouses)*

The western townhouse site on proposed Lot A (adjacent to 202A Street) will contain 22 units in seven (7) buildings. The floor area for individual units ranges from 276 to 294 m<sup>2</sup> (2,973 to 3,168A ft<sup>2</sup>). All units will have main floor living areas (kitchen, dining room, living room, powder room), and contain four (4) or five (5) bedrooms (depending on the unit type) with a master bedroom on the main floor and double car garages. The units are two (2) storeys with a basement level and offer entrances facing pedestrian sidewalks to take advantage of walkways.

The street facing elevations feature design elements such as gabled roofs, covered entrances and strongly identifiable entrances. Consistent with the Development Permit guidelines, the applicant has provided 'landmark' architecture through the form of a wrap around porch feature with a stone veneer feature and provided appropriate massing the corner units at 202A Street and 72B Avenue. Cladding materials include hardi panel, stone veneer, and hardi shingle. The variations in colours and materials proposed are used to highlight the individual units as well as the architectural features of the buildings.

The proposed building heights (2 storeys), site coverage (44%) and siting comply with the requirements of the Comprehensive Development CD-124 zone.

#### *Lot B (Townhouses)*

The proposed eastern townhouse site on proposed Lot B will contain 80 townhouse units in 19 buildings. The floor area for individual units ranges from 192 to 225 m<sup>2</sup> (2,075 to 2,427 ft<sup>2</sup>). All units will have main floor living areas (kitchen, dining room, living room, powder room) and contain three (3) to four (4) bedrooms (depending on the unit type), as well as a double car garage. The units are three (3) storeys with street facing elevations also featuring gabled roofs, and covered strongly identifiable entrances. Cladding materials include hardi panel, hardi plank and stone veneer. The variations in colours and materials proposed are used to highlight the individual units as well as the architectural features of the buildings. A single storey amenity building is proposed adjacent to the amenity area near the site entrance at 72B Avenue for use by the townhouse residents.

The proposed building heights (3 storeys), site coverage (43%) and siting comply with the requirements of the Comprehensive Development CD-124.

#### *Lot C (Apartments)*

The apartment building will be located on proposed Lot C (south of 72B Avenue) and will contain 75 apartment units. The proposed four (4) storey building will have an "L-shaped" configuration, with lobby entrances on the south (internal parking area) and north elevations (facing 72B Avenue). The floor area for individual units ranges from 49 to 95 m<sup>2</sup> (537 to 1,026 ft<sup>2</sup>), and vary from one (1) to two (2) bedrooms and den. An outdoor amenity space and surface parking area are proposed to the south of the building.

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The proponent has submitted a design rationale (Attachment E) which states “the building exteriors are designed in a west-coast style, which include cement board siding and shingles, board and batten siding, and brick accents on condo units”.

The proposed building height (4 storeys), site coverage (42%), parking and building siting comply with the CD-124 zoning provisions.

#### **Access and Parking:**

Vehicular access is proposed from 72B Avenue for each of the proposed townhouse and apartment sites. Pedestrian access will be provided from a greenway along 202A Street, and new sidewalks to be constructed along 73A Avenue and 72B Avenue. Prior to the final reading of the rezoning bylaw, the applicant will be required to register a cross access easement on the proposed apartment site in favour of the property located to the south (20343 – 72 Avenue) as that site will not be permitted access from 72 Avenue (arterial road) upon its future redevelopment.

A total of 425 parking spaces are proposed, which is 78 spaces above the minimum requirements of the Zoning Bylaw. No tandem parking spaces are proposed in the townhouse or apartment sites. A summary of the proposed parking is provided below:

	<b>Parking Spaces Required</b>	<b>Parking Spaces Provided</b>
Lot A (22 townhouse units)	48 (of which 4 are dedicated visitor)	73 (of which 7 are dedicated visitor and 7 are adaptable)
Lot B (80 townhouse units)	176 (of which 16 are dedicated visitor)	223 (of which 22 are dedicated visitor)
Lot C (75 apartment units)	123 (of which 11 are dedicated visitor)	129 (of which 12 are dedicated visitor and 8 are adaptable)
<b>Total</b>	<b>347</b>	<b>425</b>

As a prerequisite of final reading of the rezoning bylaw, the applicant will be required to register a restrictive covenant on the proposed townhouse sites prohibiting parking on the internal strata roadways and prohibiting garages from being developed for purposes other than the parking of vehicles.

#### **Subdivision:**

The property assembly currently consists of five (5) parcels, which the applicant is proposing to re-subdivide to create three (3) development sites. Lot A will consist of the “master on main” two-storey townhouses (22 units). Lot B will consist of 80 three-storey townhouse units. Lot C will contain the apartment building with 75 units. Subdivision will be required prior to final reading for the dedications of the greenway lands and road widenings.



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### **Adaptable Housing:**

In accordance with Section 3.1.9 of the Township's Official Community Plan, a minimum of 10% apartment units and 5% of townhouse units shall be provided as adaptable housing. Council has chosen to implement this provision through the adoption and implementation of Schedule 2 – Adaptable Housing Requirements of the Official Community Plan. In compliance with the Official Community Plan, fifteen (15) adaptable units are being proposed in the development, consisting of seven (7) townhouse units, and eight (8) apartment units. As a prerequisite of final reading of the rezoning bylaw, the applicant will be required to register a restrictive covenant identifying/securing the units required to comply with Schedule 2 – Adaptable Housing Requirements.

### **School Sites:**

School District 35 has provided comments (Attachment C) estimating that the proposed development will ultimately generate approximately 39 new students for Willoughby Elementary (located 2.6 km northeast of the site). An additional 18 students are projected for Yorkson Creek Middle School (located approximately 3.9 km northeast of the site) and 17 students for RE Mountain Secondary School (located approximately 1.1 kilometres west of the site). The School District notes that there is currently sufficient capacity within the School District to enroll the students as noted above at the present time.

### **Landscaping:**

The landscape plans (Attachment A - Schedules "XX" to "BBB") proposes the planting of trees, shrubs and groundcovers around the perimeter of the site as well as along the internal roadways and the common areas. The streetscape landscaping includes a low picket fencing fronting the streets for the townhouse to the individual street fronting units to define the private and public realm.

### **Age Friendly Amenity Area:**

Section 111.5 of the Township's Zoning Bylaw requires provision of Age Friendly Amenity areas (8 m<sup>2</sup> per residential unit) for townhouse developments, resulting in a requirement of 800 m<sup>2</sup> (8,611 ft<sup>2</sup>). The applicant's landscape architect has incorporated one (1) amenity space on Lot A (22 townhouse units) and two (2) amenity spaces in Lot B (80 townhouse units). The applicant has also provided one (1) amenity space on Lot C (75 apartment units) with an amenity area of 319 m<sup>2</sup> (3,434 ft<sup>2</sup>). The amenity areas total 1,119 m<sup>2</sup> (12,045 ft<sup>2</sup>). Final age friendly amenity area plans are subject to the final acceptance of the Township. This requirement has been included in the list of development prerequisites to be completed prior to final reading of the rezoning bylaw.

### **Tree Protection/Replacement:**

The tree management plans submitted by the applicant indicate that 132 significant trees exist on the subject site, with 16 proposed for retention. In accordance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection), a total of 191 replacement trees are required and 191 replacement trees are proposed. In addition, approximately 60 street trees are required along the road frontages (in compliance with the Township's Street Trees and Boulevard Plantings Policy). Post development approximately 191 trees will be in place. Final tree retention, protection, and replacement plans are subject to the final acceptance of the Township. This requirement has been included in the list of development prerequisites to be completed prior to final reading of the rezoning bylaw.

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**Greenways:**

As part of the project, the applicant will be required to dedicate and construct street greenways (including a path and landscaping) along 202A Street as defined in the Central Gordon Estate Neighbourhood Plan.

The Central Gordon Estate Neighbourhood Plan also identifies areas where a green link is required to provide a combination of private and public space to create an interconnection of trails, pathways, and parks. Each development is required to integrate a public right-of-way through the property or share it with a neighbouring property. The applicant has provided a 3.0 m (10 ft) statutory right of way along the western property line of the Apartment site (future Lot C). Details of the open space improvements (i.e. required landscaping and fencing including the phasing/treatment/construction of the greenways and municipal trails) will need to be finalized prior to final reading to the acceptance of the Township.

The applicant is also providing the local gateway on 72B Street and 202A Street as identified in the Central Gordon Estate Neighbourhood Plan, which is incorporated into the road design to help create an identifiable place.

**Servicing:**

Prior to final reading, the construction of Community Detention Pond No. 8 will be required. The applicant will also be required to dedicate 5.0 m for road widening along the east side of 202A Street along the full frontage of the assembly lands. The applicant will also be required to construct the north half of 72B Avenue and dedicate 20.0m road allowance fronting the apartment site and construct the ultimate road standard of 72B Avenue through the eastern portion of the site. The construction of the south half of 73A Avenue along the frontage of the assembly lands is also required.

The applicant will be required to register a covenant to prohibit access off 202A Street, as access from arterials is not permitted. The applicant will also register a cross access easement in favour of the property (20343 – 72 Avenue) located south of the proposed apartment building, as access from 72 Avenue (arterial) to this site will not be permitted in the future.

The applicant is required to enter into a Servicing Agreement to secure works and services such as construction of road works, greenways, tree replacement, community stormwater detention pond and utility upgrades and/or extensions to the acceptance of the Township. Road dedications, widening, and necessary traffic improvements (both on-site and off-site) will be required in accordance with the Subdivision and Development Servicing Bylaw and the Central Gordon Estate Neighbourhood Plan. The applicant will also be required to provide erosion and sediment control measures in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township.

**Transit:**

Currently, transit service is provided along 72 Avenue and 202A Street.

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### **Environmental Considerations:**

The Township's Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township's Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Schedule 3 of the OCP, Erosion and Sediment Control Bylaw, and Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations. The provision of stormwater management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter.

### **POLICY CONSIDERATIONS:**

The proposed rezoning and Development Permit applications will facilitate the development of 102 townhouse units and 75 apartment units. The proposed development complies with the land use and density provisions of the Central Gordon Estate Neighbourhood Plan, and in staff's opinion is in compliance with the Development Permit Guidelines of the Willoughby Community Plan.

Staff recommend that Council give first and second reading to Bylaws No. 5381 (subject to 11 development prerequisites) and authorize issuance (at time of final reading of Bylaw No. 5381) of accompanying Development Permit No. 100916, and authorize staff to schedule the required Public Hearing.

Respectfully submitted,

Ruby Sandher  
 DEVELOPMENT PLANNER  
 for  
 COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A	Development Permit No.100916 text and Schedules A through BBB
ATTACHMENT B	Willoughby Development Permit Area B – Residential Guidelines
ATTACHMENT C	School District 35 comments dated May 11, 2018
ATTACHMENT D	Public Information Meeting comments
ATTACHMENT E	Design Rationale



THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 100916

This Permit is issued this \_\_\_\_\_ day of \_\_\_\_\_, 2018 to:

1. Name:      Essence Holdings (Parc Central 1)  
                 Essence Holdings (Parc Central 2)  
                 Essence Holdings (Parc Central 3)

Address:    216 – 18525 – 53 Avenue  
                 Surrey, BC V3S 7A4

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION:      Lot 73,74,75,76 Plan 41978 & Lot 80 Plan 47681 All of  
   Section 23, Township 8, NWD

CIVIC ADDRESS:            20235 – 72B Avenue  
   20263 – 72B Avenue  
   20244 – 73A Avenue  
   20276 – 73A Avenue  
   20348 – 73A Avenue

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:
- a. Building plans being in compliance with Schedules “A” through “WW”;
  - b. Landscape plans being in substantial compliance with Schedules “XX” through “BBB” and in compliance with the Township’s Street Tree and Boulevard Planting Policy and Age Friendly Amenity Area requirements, to the acceptance of the Township;
  - c. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township’s Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
  - d. All signage being in compliance with Schedule “ZZ” and the Township’s Sign Bylaw;
  - e. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments;
  - f. All refuse areas to be located in an enclosure and screened to the acceptance of the Township; and
  - g. Preparation of a CPTED (Crime Prevention Through Environmental Design) report to the acceptance of the Township and incorporation of its recommendations into the final development design.

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

- a. Payment of supplemental Development Permit application fees, applicable Development Cost Charges, and Building Permit administration fees

DEVELOPMENT PERMIT NO.100916  
 (ESSENCE PROPERTIES INC. / 20235 & 20263 -72B AVENUE, 20244, 20276, AND  
 20348 – 73A AVENUE)  
 Page 2 . . .

- b. Landscaping and boulevard treatment being secured by letter of credit at the Building Permit stage;
  - c. Tree retention, replacement and protection in compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) being secured by letter of credit, including payment of associated administration fees;
  - d. Written confirmation from owner and landscape architect or arborist that the tree protection fencing identified in the tree management plan is in place;
  - e. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw, and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township; and further
4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Development Permit shall be substantially commenced within two years after the date the Development Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS \_\_\_\_ DAY OF \_\_\_\_\_, 2018.

Attachments:

SCHEDULE A	Rendering – Lot A
SCHEDULE B	Rendering – Lot B
SCHEDULE C	Rendering – Lot B
SCHEDULE D	Rendering – Lot C
SCHEDULE E	Rendering – Lot C
SCHEDULE F	Rendering – Lot C
SCHEDULE G	Site Plan
SCHEDULE H	Streetscape
SCHEDULE I	Streetscape
SCHEDULE J	Lot A Site Plan
SCHEDULE K	Building Elevations (Building 1)
SCHEDULE L	Building Elevations (Building 2)
SCHEDULE M	Building Elevations (Building 3)
SCHEDULE N	Building Elevations (Building 4)

DEVELOPMENT PERMIT NO.100916  
(ESSENCE PROPERTIES INC. / 20235 & 20263 -72B AVENUE, 20244, 20276, AND  
20348 – 73A AVENUE)  
Page 3 . . .

SCHEDULE O	Building Elevations (Building 5)
SCHEDULE P	Building Elevations (Building 6)
SCHEDULE Q	Building Elevations (Building 7)
SCHEDULE R	Colour Scheme 1
SCHEDULE S	Colour Scheme 2
SCHEDULE T	Lot B Site Plan
SCHEDULE U	Building Elevations (Building 1)
SCHEDULE V	Building Elevations (Building 2)
SCHEDULE W	Building Elevations (Building 3)
SCHEDULE X	Building Elevations (Building 4)
SCHEDULE Y	Building Elevations (Building 5)
SCHEDULE Z	Building Elevations (Building 6)
SCHEDULE AA	Building Elevations (Building 7)
SCHEDULE BB	Building Elevations (Building 8)
SCHEDULE CC	Building Elevations (Building 9)
SCHEDULE DD	Building Elevations (Building 10)
SCHEDULE EE	Building Elevations (Building 11)
SCHEDULE FF	Building Elevations (Building 12)
SCHEDULE GG	Building Elevations (Building 13)
SCHEDULE HH	Building Elevations (Building 14)
SCHEDULE II	Building Elevations (Building 15)
SCHEDULE JJ	Building Elevations (Building 16)
SCHEDULE KK	Building Elevations (Building 17)
SCHEDULE LL	Building Elevations (Building 18)
SCHEDULE MM	Building Elevations (Building 19)
SCHEDULE NN	Building Elevations (Amenity)
SCHEDULE OO	Colour Scheme 1
SCHEDULE PP	Colour Scheme 2
SCHEDULE QQ	Colour Scheme 3
SCHEDULE RR	Lot C Site Plan
SCHEDULE SS	Building Elevations (North and West)
SCHEDULE TT	Building Elevations (South and East)
SCHEDULE UU	Coloured Elevations
SCHEDULE VV	Coloured Elevations
SCHEDULE WW	Colour Scheme
SCHEDULE XX	Landscape Plan
SCHEDULE YY	Landscape Detail
SCHEDULE ZZ	Landscape Detail
SCHEDULE AAA	Offsite Landscape Plan
SCHEDULE BBB	Offsite Landscape Plan



## SCHEDULE A RENDERING (LOT A)





## SCHEDULE B RENDERING (LOT B)





SCHEDULE C  
RENDERING (LOT B)





SCHEDULE D  
RENDERING (LOT C)





## SCHEDULE E RENDERING (LOT C)





SCHEDULE F  
RENDERING (LOT C)







SCHEDULE H  
STREETSCAPE





WEST STREETSCAPE (202A STREET)  
SCALE: N.T.S.

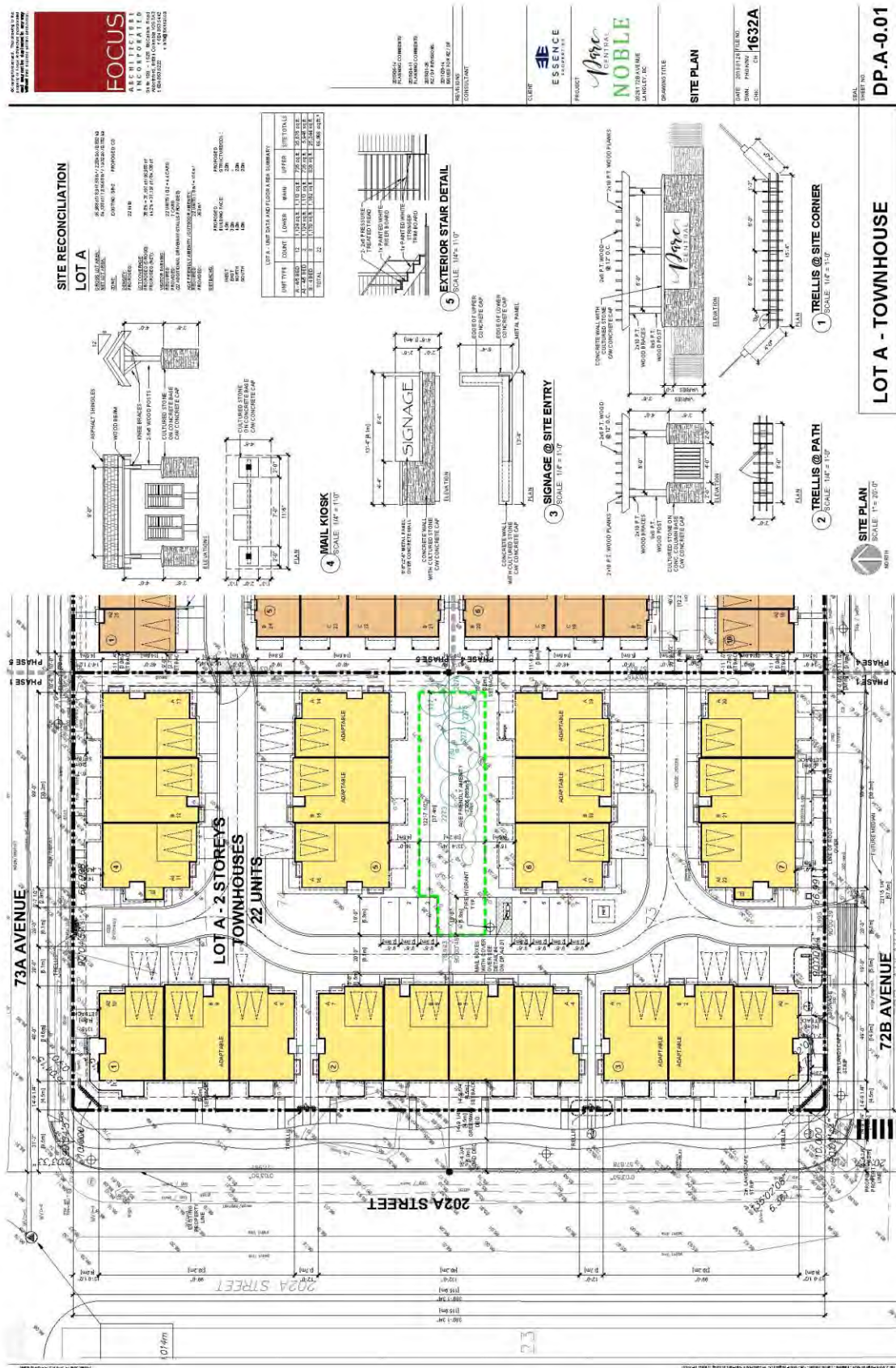


TOWNHOUSE AMENITY ELEVATION  
SCALE: N.T.S.

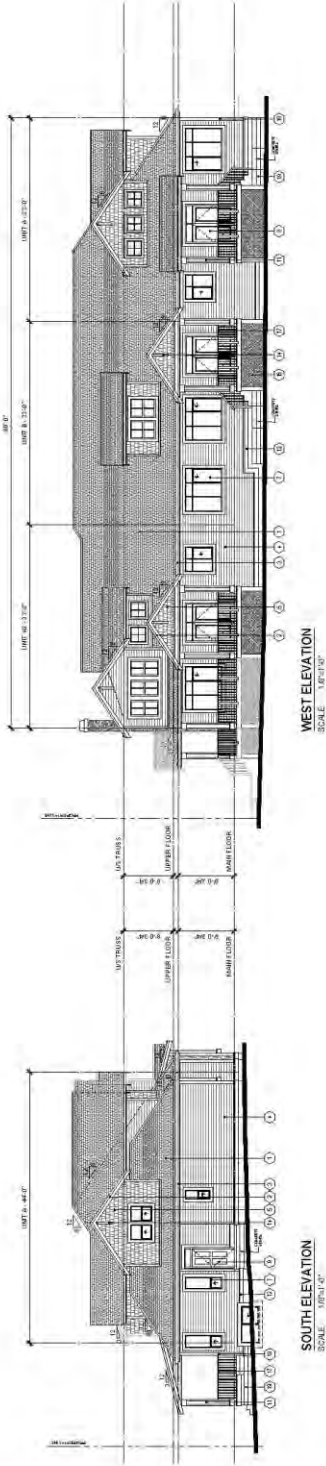


NORTH STREETSCAPE (72B AVENUE)  
SCALE: N.T.S.

# SCHEDULE I STREETSCAPE







- ELEVATION MATERIAL LEGEND**
- (1) COMPOSITE LAPANT FINISHES
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**LOT A - TOWNHOUSE**

# SCHEDULE K BUILDING ELEVATIONS (BUILDING 1)

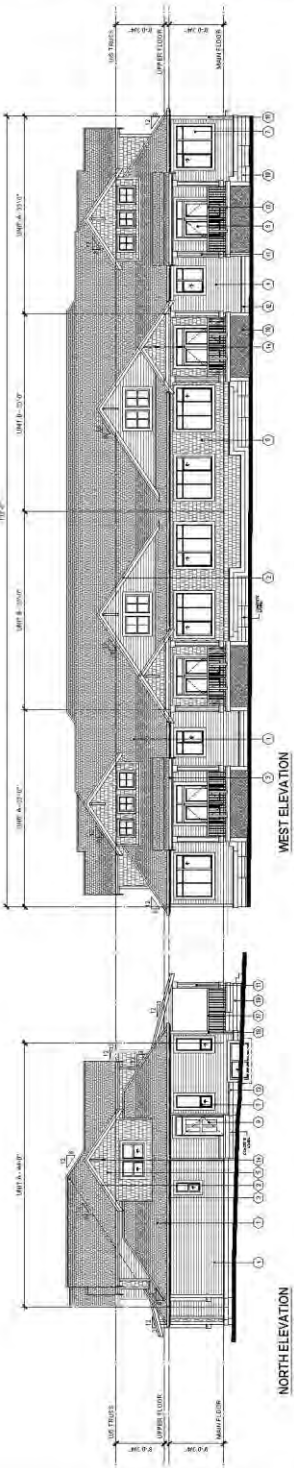
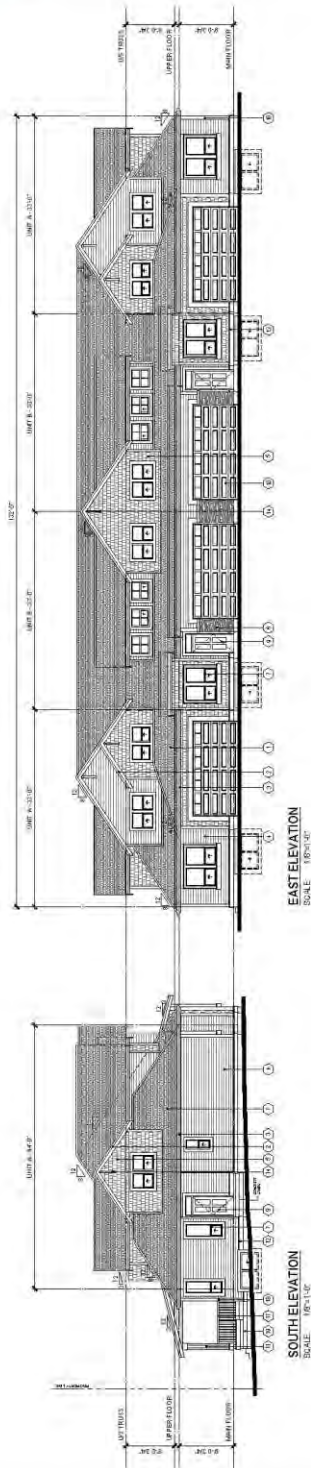


FOCUS  
INCORPORATED  
1400 WEST 10TH AVENUE  
DENVER, CO 80202  
303.733.1111

ESSENCE  
PROJECT  
NOBLE  
JOHN TOWNHOUSE  
DRAFTING TITLE  
BUILDING 2  
ELEVATIONS

DATE: 09/15/2015  
OWN: JTD  
CNC: 1632A

LOT A - TOWNHOUSE  
DP-A-2.03



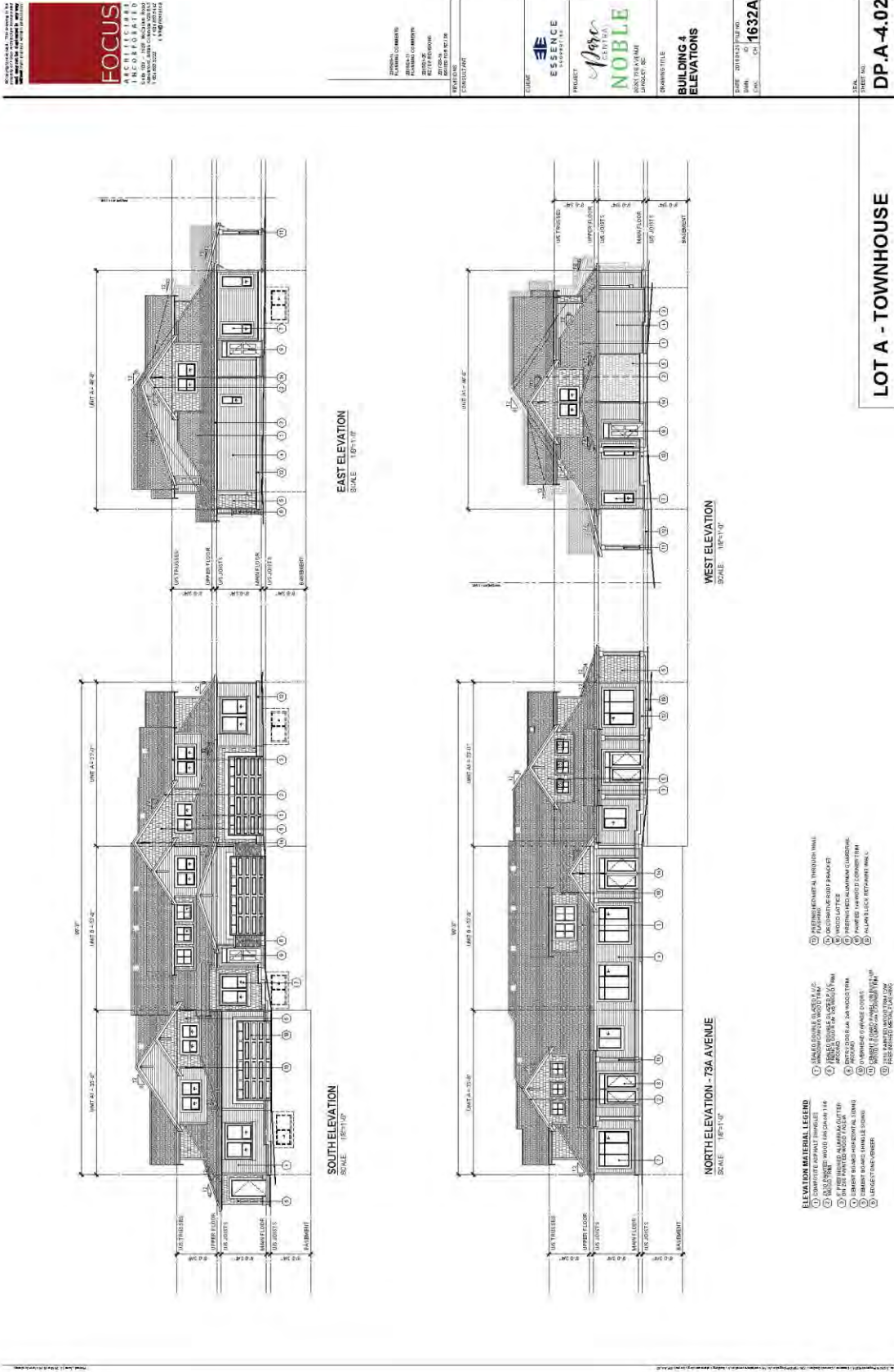
- ELEVATION MATERIAL LEGEND**
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  - 996. CEMENT
  - 997. BRICK
  - 998. STUCCO
  - 999. SIDING
  - 1000. GLASS

# SCHEDULE L BUILDING ELEVATIONS (BUILDING 2)

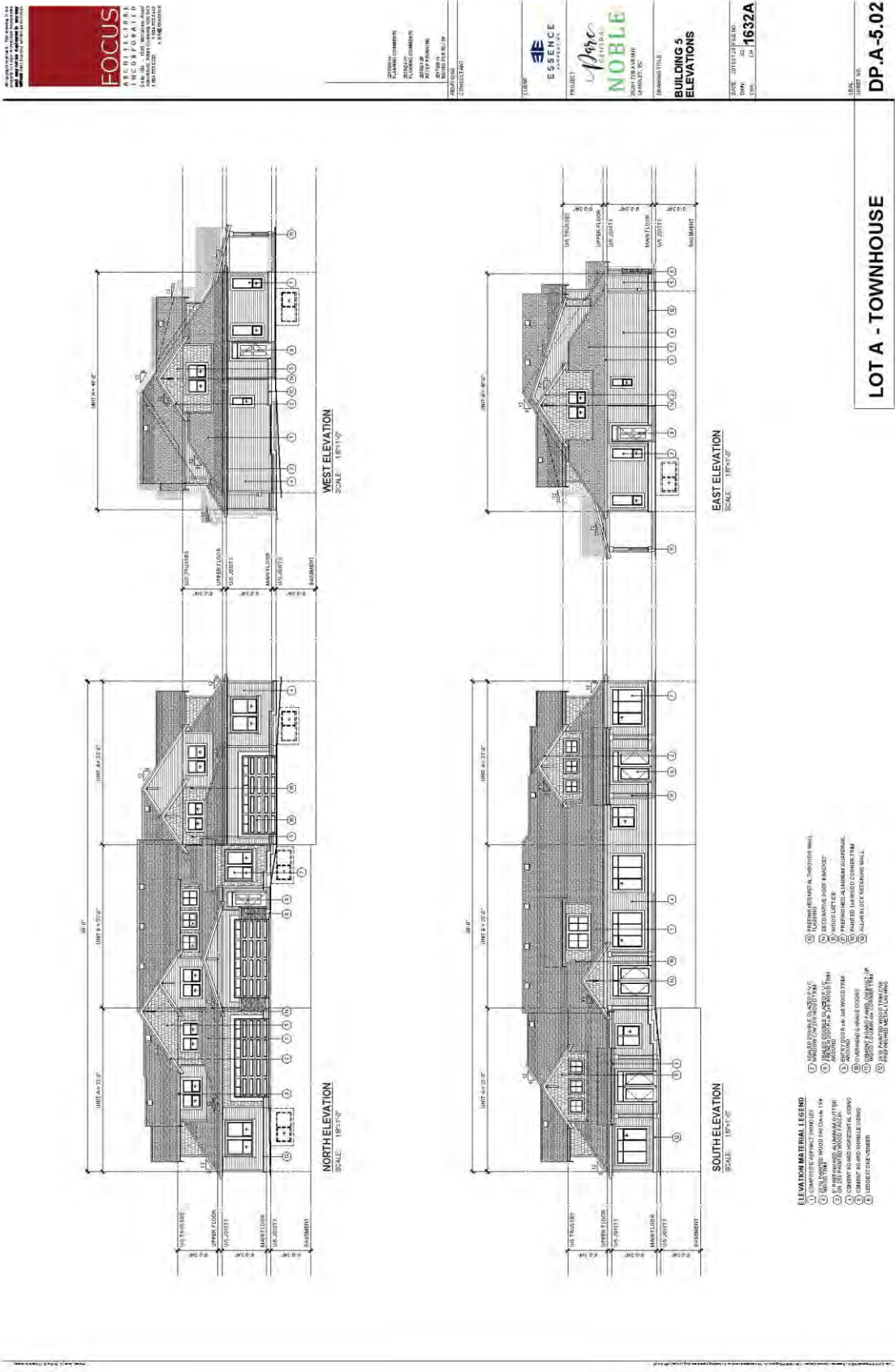




# SCHEDULE N BUILDING ELEVATIONS (BUILDING 4)



# SCHEDULE O BUILDING ELEVATIONS (BUILDING 5)







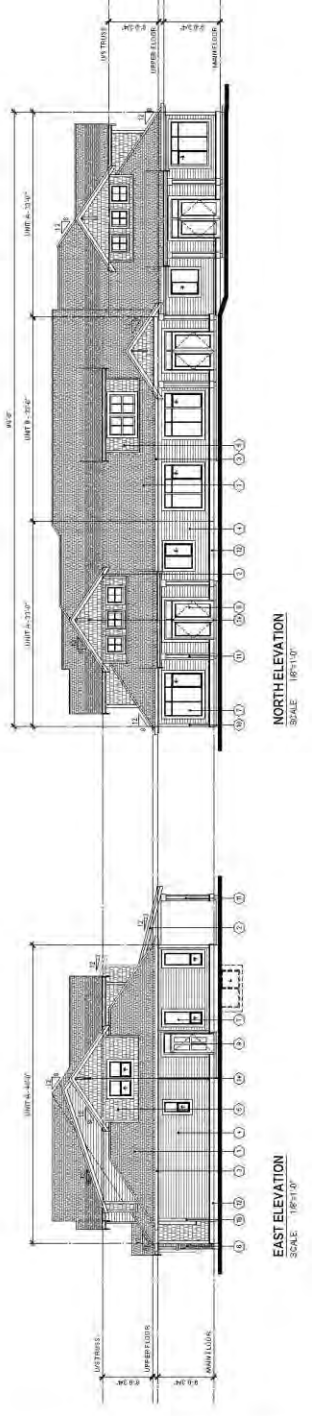
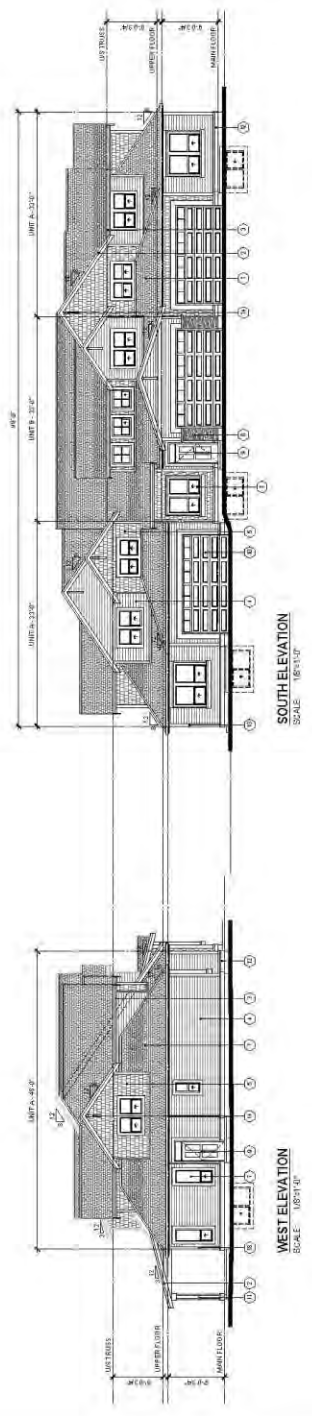
DESIGNED BY: FOCUS ARCHITECTURAL  
DRAWN BY: FOCUS ARCHITECTURAL  
CHECKED BY: FOCUS ARCHITECTURAL  
DATE: 01/11/2017  
PROJECT: 1632A



BUILDING 6  
ELEVATIONS

DATE: 01/11/2017  
JOB: 1632A  
SHEET: 1632A

SCALE: 1/8" = 1'-0"  
SHEET NO.:  
DP A-6.02

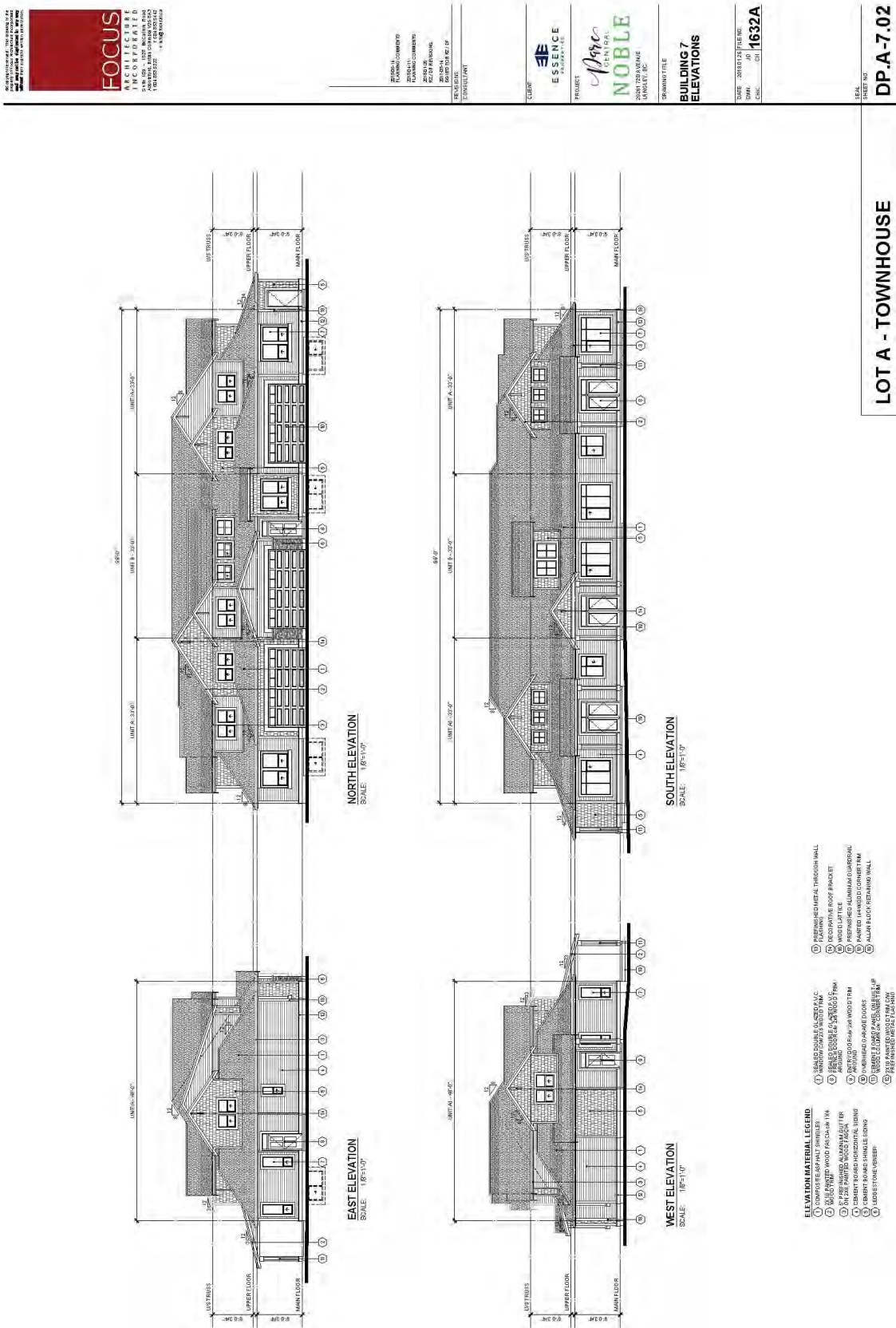


- ELEVATION MATERIAL LEGEND**
- 1. COMPOSITE ASPHALT SHINGLES
  - 2. 1/2" x 1/2" x 1/2" BRICK
  - 3. 1/2" x 1/2" x 1/2" BRICK
  - 4. 1/2" x 1/2" x 1/2" BRICK
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  - 100. 1/2" x 1/2" x 1/2" BRICK

LOT A - TOWNHOUSE

# SCHEDULE P BUILDING ELEVATIONS (BUILDING 6)





## F.1 - Page 37

**LOT A - COLOUR SCHEME 1**

**FOCUS**  
INCORPORATING  
THE BEST OF  
NATURE'S  
ELEMENTS  
TO CREATE  
A TRULY  
UNIQUE  
DESIGN.

**ESSENCE**  
PROPERTIES

**PROJECT**  
*Noble Central*  
**NOBLE CENTRAL**  
2017 7th Avenue  
Langley BC

**DRAWING TITLE**  
**COLOUR SCHEME 1**

**DATE** 2014.03.20  
**BY** JACOB  
**CHECKED** JACOB  
**SCALE** AS SHOWN  
**CD** 1632A

**REVISIONS**

**NOTES**

**CLIENT**

**DESIGNED BY**

**CONTRACT NO.**

<b>A</b>	<b>Roof Shingles:</b> Panco Premier Laminated Shingle "Pearl Gray"
<b>B</b>	<b>Hardie Shingle:</b> James Hardie - "Pearl Gray"
<b>C</b>	<b>Hardie Plank Siding:</b> James Hardie - "Rich Espresso"
<b>D</b>	<b>Stone Veneer:</b> Cultured Stone - Ledgestone "Burnt Ochre Del Mare"
<b>E</b>	<b>Fascia, Wood Trim &amp; Bracket:</b> Benjamin Moore "OC-17 - White Dove"
<b>F</b>	<b>Garage Doors:</b> Benjamin Moore "OC-17 - White Dove"
<b>G</b>	<b>Doors:</b> Stained - "Walnut"
<b>H</b>	<b>Window/Sliding Door Frames:</b> Vinyl - "Black"
<b>I</b>	<b>Railings:</b> Aluminum - "Black"
<b>J</b>	<b>Gutters:</b> Makin Metals "Cambridge White"
<b>K</b>	<b>Soffit:</b> Royal Building Products Vinyl - "Linen"

**LOT A - TOWNHOUSE**

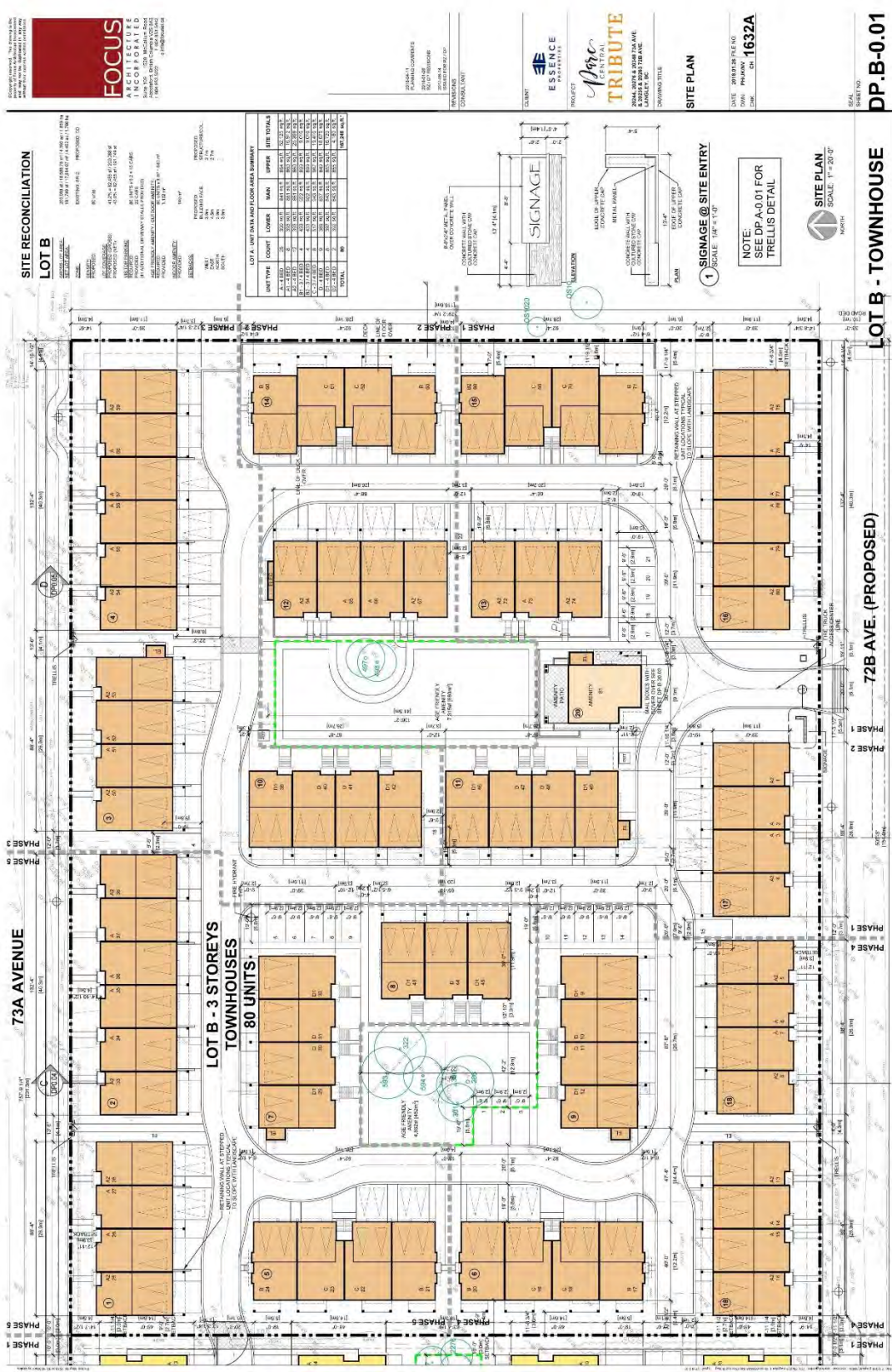
**KEYPLAN**

**DP.A-0.02a**

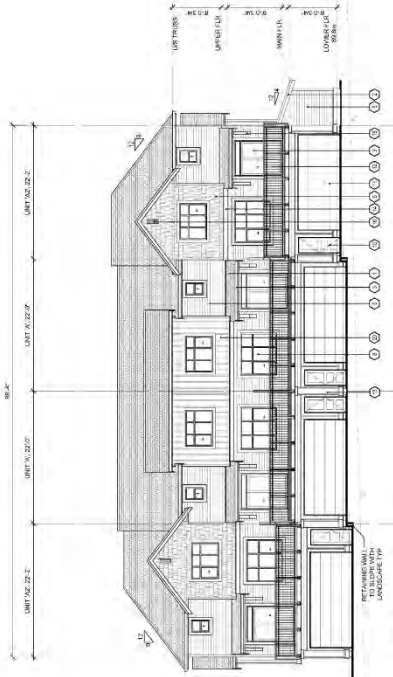
## F.1 - Page 38

LOT A - TOWNHOUSE  
DP-A-0.02b

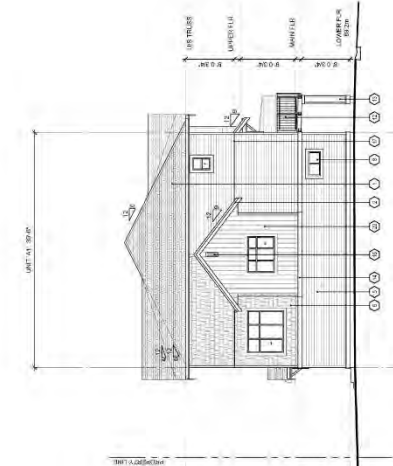




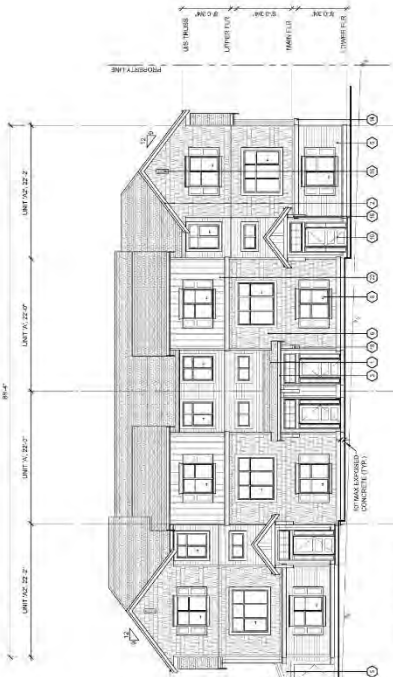
# SCHEDULE T LOT B SITE PLAN



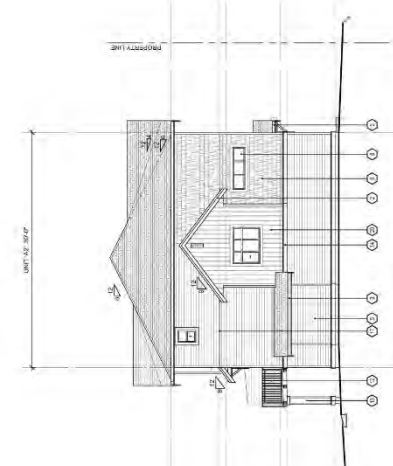
**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"

- ELEVATION MATERIAL LEGEND**
- 1. EXTERIOR WALLS - CONCRETE BLOCK
  - 2. EXTERIOR WALLS - BRICK
  - 3. EXTERIOR WALLS - STUCCO
  - 4. EXTERIOR WALLS - SIDING
  - 5. EXTERIOR WALLS - SHINGLES
  - 6. EXTERIOR WALLS - METAL CLADDING
  - 7. EXTERIOR WALLS - GLASS
  - 8. EXTERIOR WALLS - WOOD
  - 9. EXTERIOR WALLS - COMPOSITE
  - 10. EXTERIOR WALLS - OTHER
  - 11. ROOF - ASPH/FLT SHINGLES
  - 12. ROOF - METAL
  - 13. ROOF - CLAY/CONCRETE TILES
  - 14. ROOF - SLATE
  - 15. ROOF - OTHER
  - 16. FLOORING - CARPET
  - 17. FLOORING - HARDWOOD
  - 18. FLOORING - LAMINATE
  - 19. FLOORING - TILE
  - 20. FLOORING - OTHER
  - 21. CEILING - DRYWALL
  - 22. CEILING - POP
  - 23. CEILING - OTHER
  - 24. PAINT - EXTERIOR
  - 25. PAINT - INTERIOR
  - 26. FINISHES - OTHER

**LOT B - TOWNHOUSE**  
**DP-B-1.02**

# SCHEDULE U BUILDING ELEVATIONS (BUILDING 1)





FOCUS  
ARCHITECTURE  
INCORPORATED  
10000 100th Ave. S.E.  
Suite 100  
Langley, BC V3A 1K1  
Tel: 604.881.1111  
Fax: 604.881.1112  
www.focusarch.com

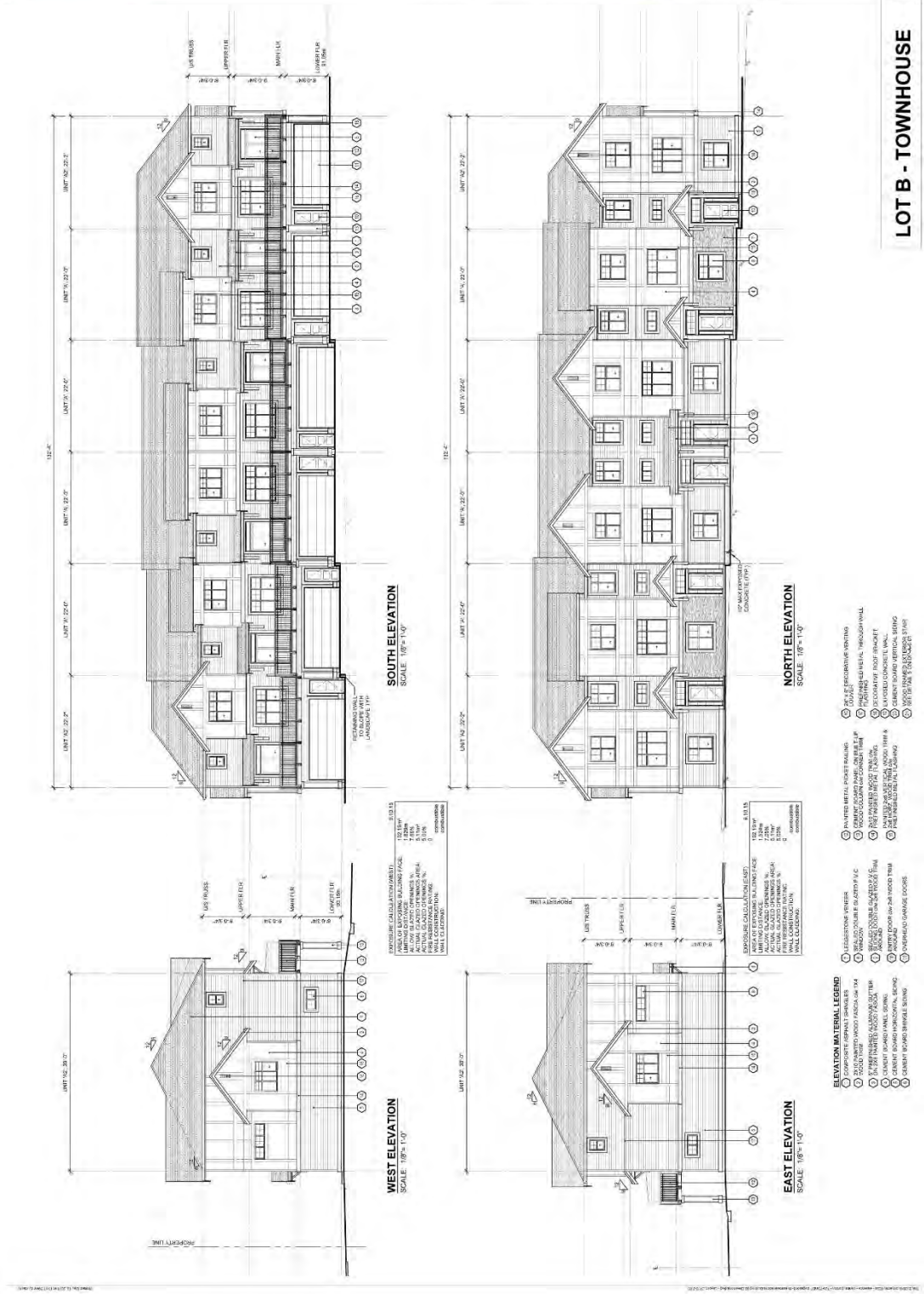
CLIENT  
ESSENCE  
PARTNERS  
PROJECT  
TRIBUTE  
CENTRAL  
10000 100th Ave. S.E.  
Suite 100  
Langley, BC V3A 1K1  
Tel: 604.881.1111  
Fax: 604.881.1112  
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Fax: 604.881.1112  
www.focusarch.com

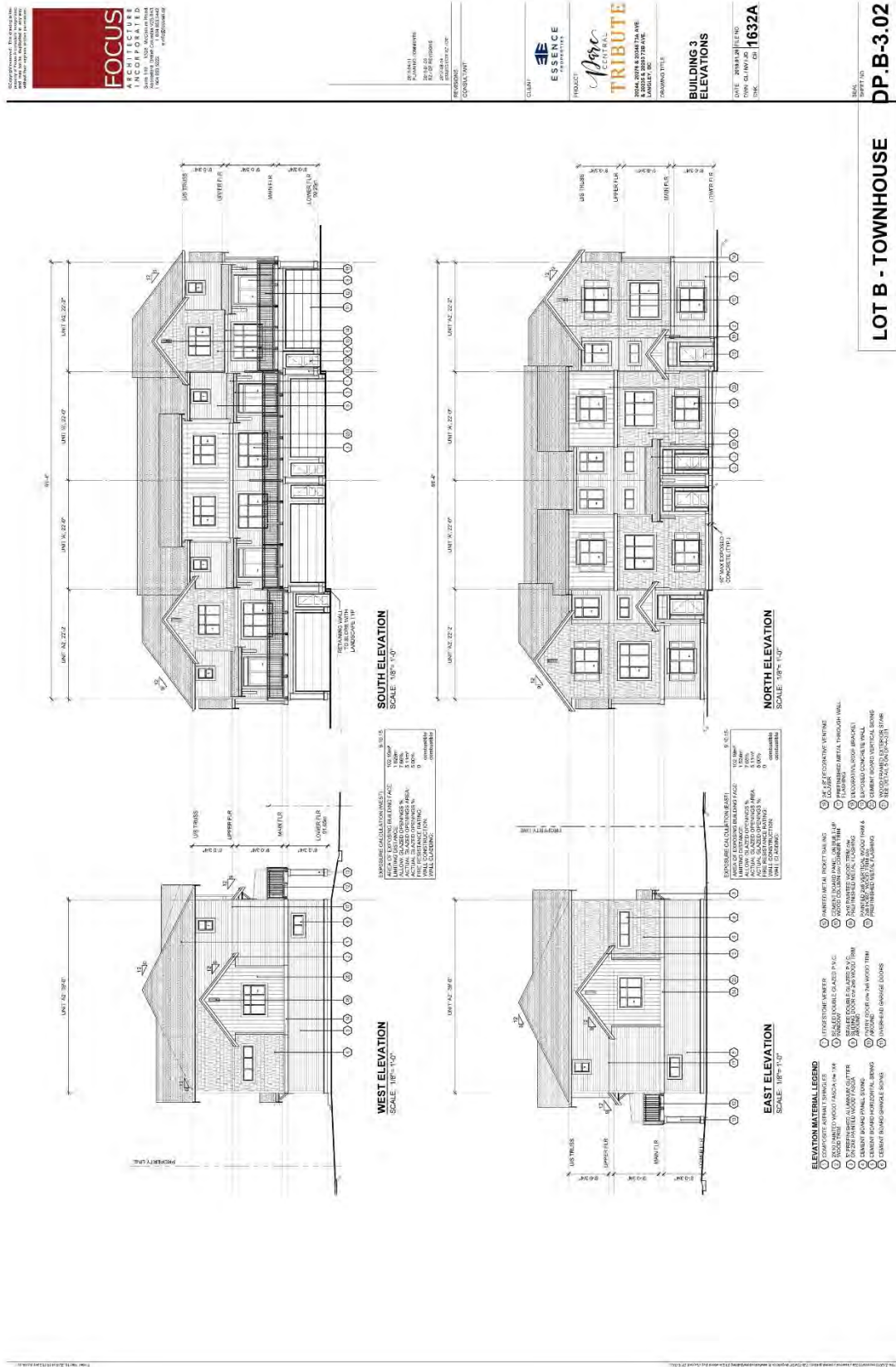


# SCHEDULE V BUILDING ELEVATIONS (BUILDING 2)

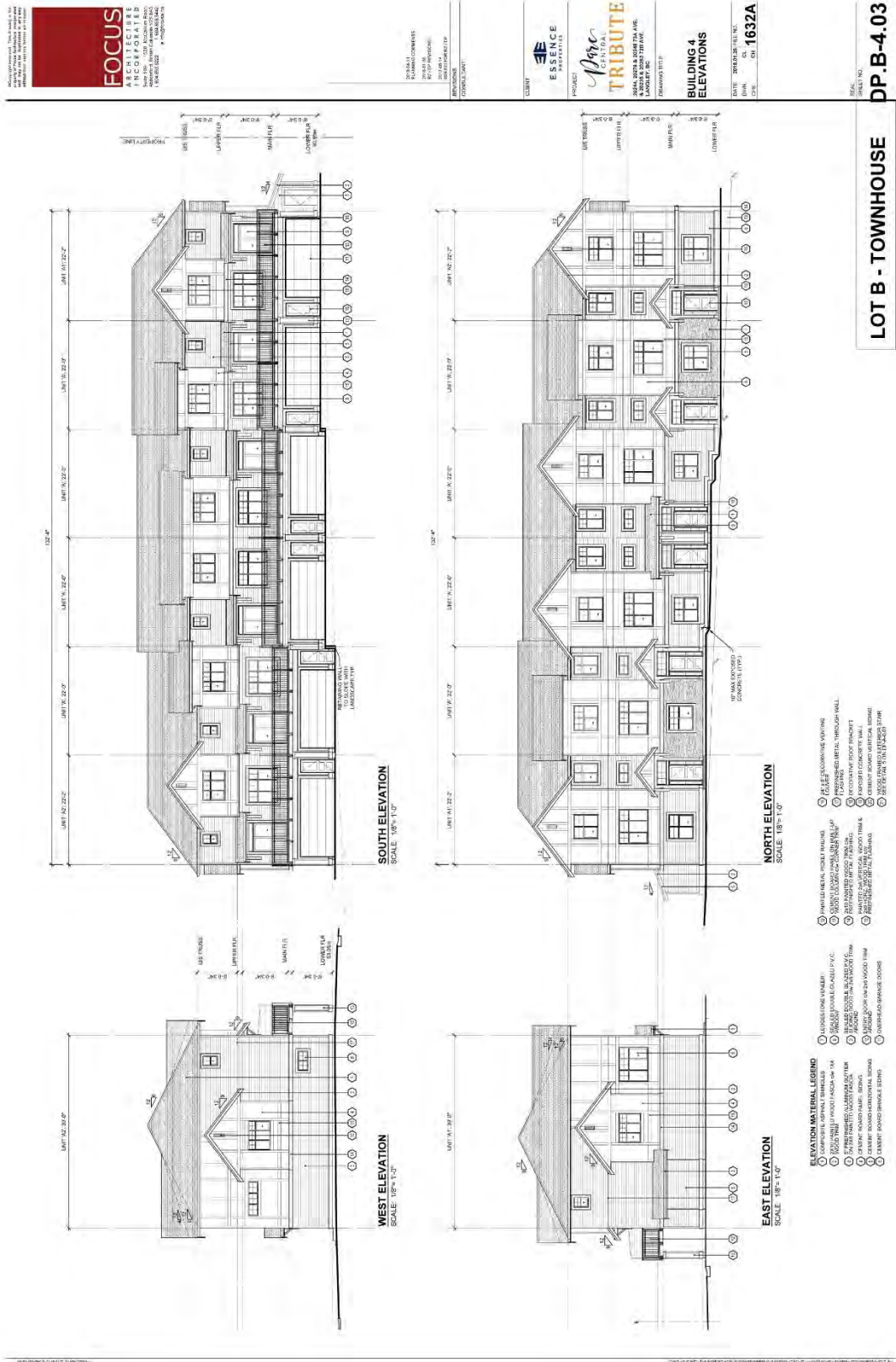


# SCHEDULE W BUILDING ELEVATIONS (BUILDING 3)

F.1



# SCHEDULE X BUILDING ELEVATIONS (BUILDING 4)



LOT B - TOWNHOUSE DP.B-4.03



CLIENT  
PLANNING COMMUNITY  
PROJECT  
TOWN OF LANGLEY  
CONSULTANT  
FOCUS ARCHITECTS INC.

CLIENT  
ESSEX  
PROJECT  
TRIBUTE  
CENTRAL  
TOWN OF LANGLEY  
CONSULTANT  
FOCUS ARCHITECTS INC.

BUILDING 5  
ELEVATIONS

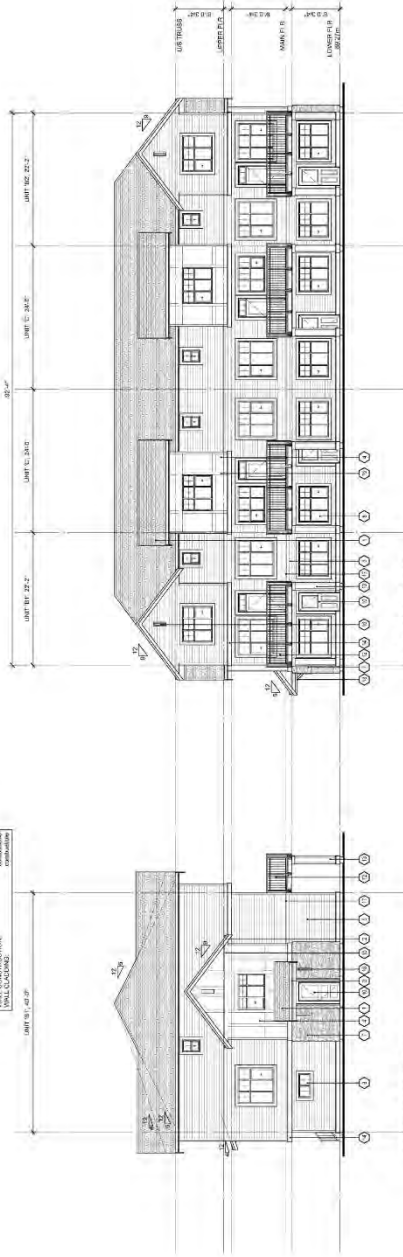
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DRAWN: CL  
CHECK: 1632A  
DATE: 2018.08.28 (1:1) (1:1)

SEAL  
SHEET NO.  
DP.B-5.02



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"

EXPOSURE CALCULATED  
AREA OF EXPOSURE BUILDING FACE  
100 SQ. FT.  
ACTUAL SQUARE FOOTAGE: 100 SQ. FT.  
PERCENTAGE OF EXPOSURE: 100%  
WALL CALCULATED  
100 SQ. FT.



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

- ELEVATION MATERIAL LEGEND**
- 1. COMPOSITE BRICK/SIMILAR
  - 2. BRICK
  - 3. BRICK
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  - 100. BRICK

LOT B - TOWNHOUSE

# SCHEDULE Y BUILDING ELEVATIONS (BUILDING 5)



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FOCUS ARCHITECTURAL INCORPORATED  
1000 WEST 10TH AVENUE, SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1111  
WWW.FOCUSARCH.COM

CLIENT: [REDACTED]  
PROJECT: [REDACTED]  
DATE: [REDACTED]  
DRAWN BY: [REDACTED]  
CHECKED BY: [REDACTED]  
SCALE: 1/8" = 1'-0"

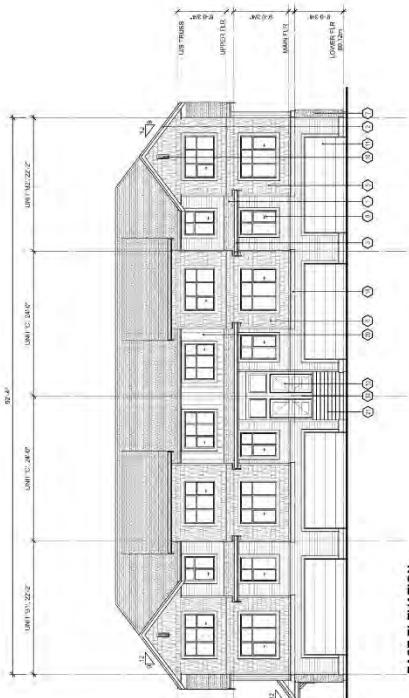


ESSENCE OF THE TRIBUTE  
3000 30TH AVENUE, SUITE 100  
DENVER, CO 80202  
TEL: 303.733.1111  
WWW.ESSENCEOFTHETRIBUTE.COM

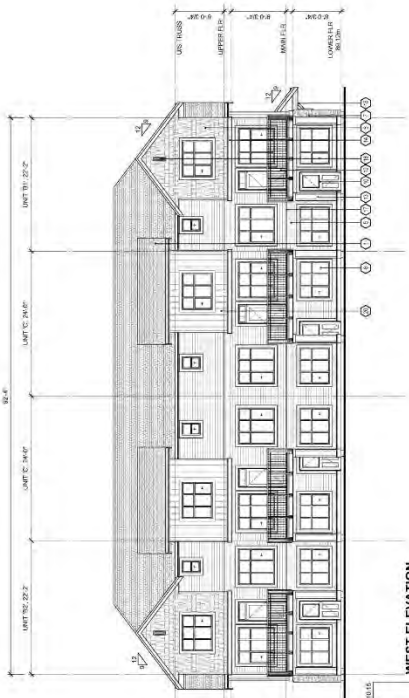
BUILDING & ELEVATIONS

DATE: 08/15/2018  
BY: [REDACTED]  
SCALE: 1/8" = 1'-0"

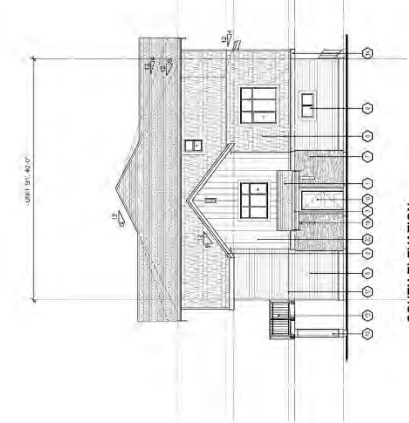
LOT B - TOWNHOUSE  
DP-B-6.02



**SOUTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"

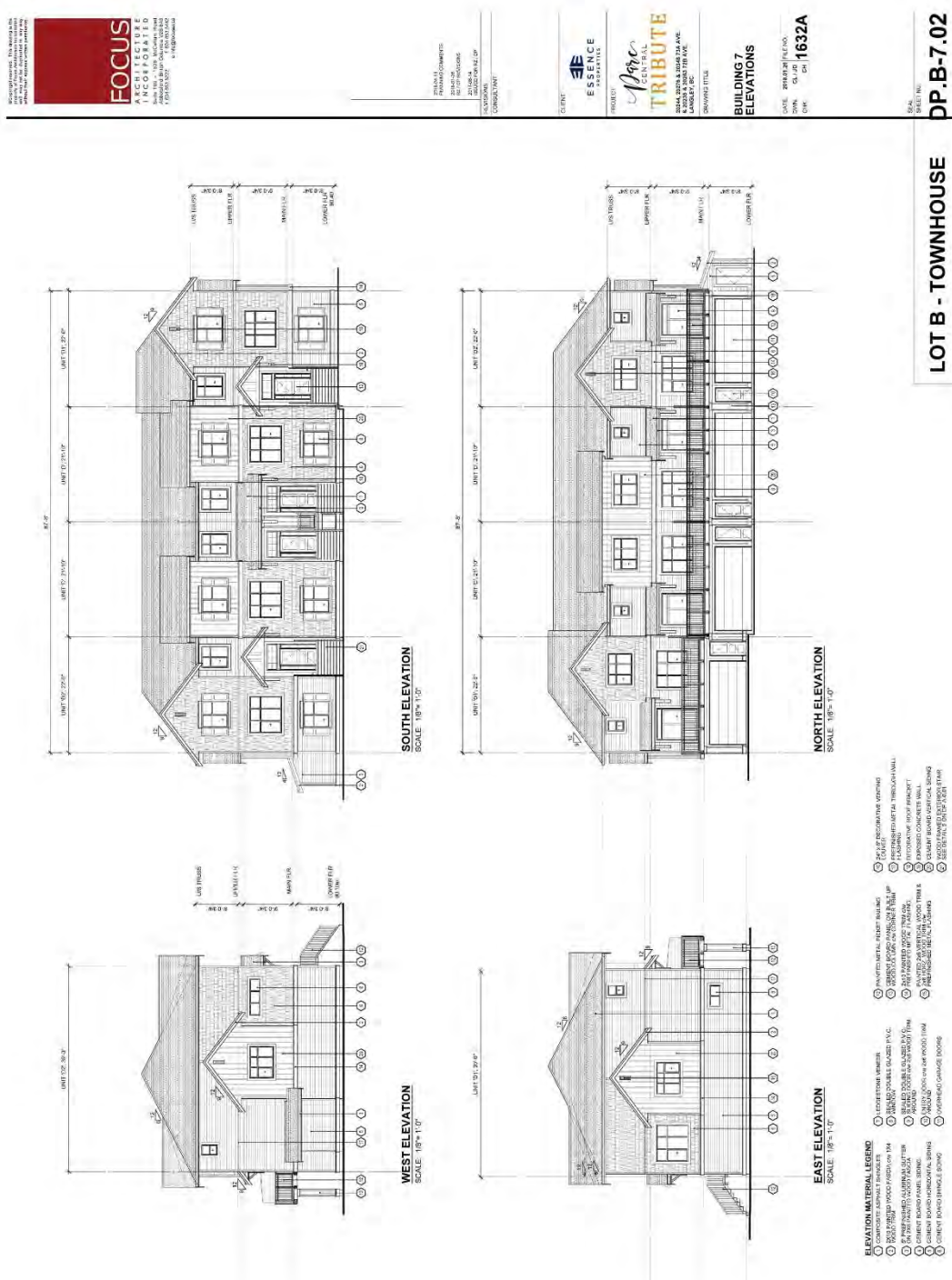


**WEST ELEVATION**  
SCALE: 1/8" = 1'-0"

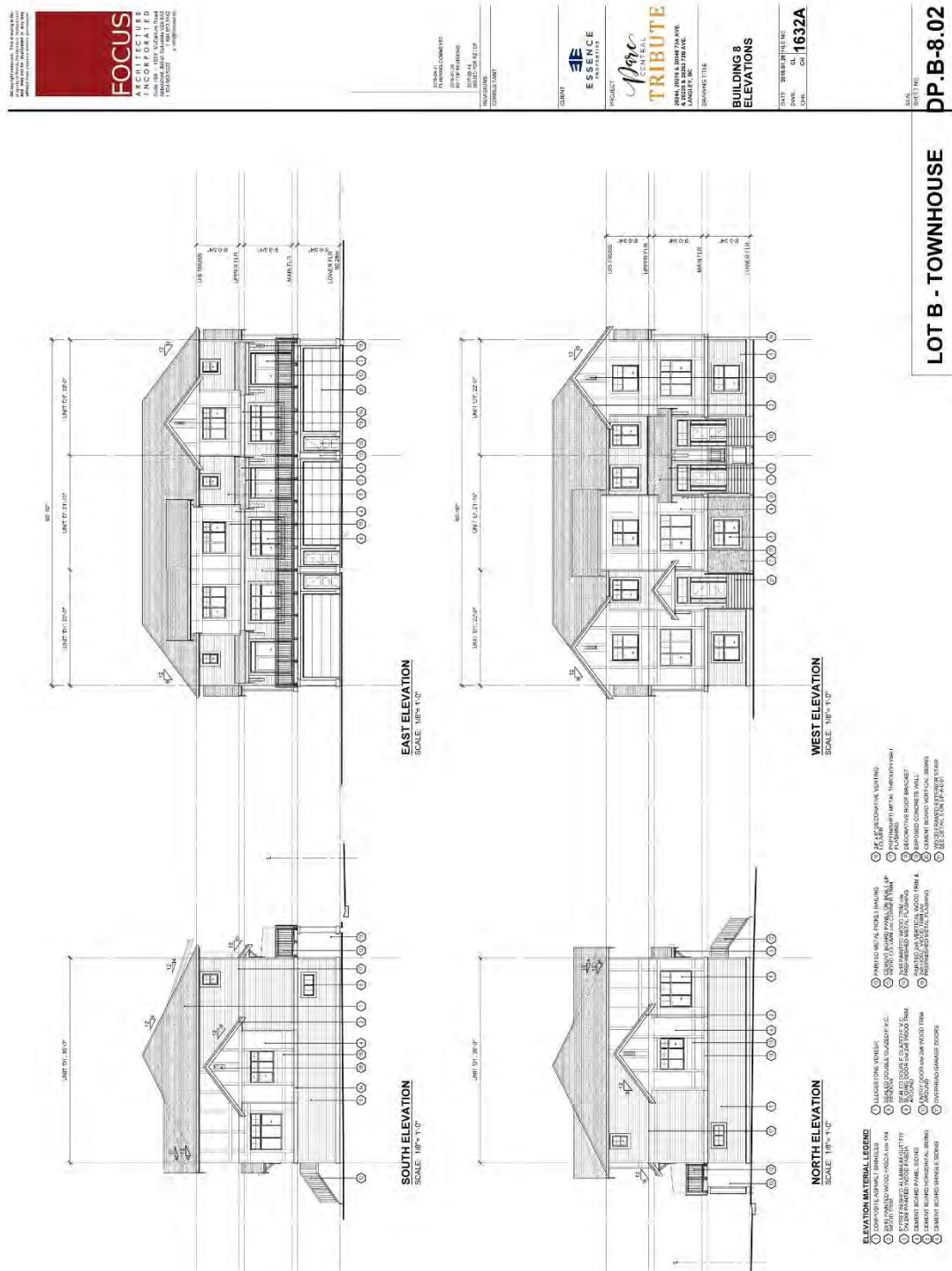
- ELEVATION MATERIAL LEGEND**
- 1. EXTERIOR WALLS: [REDACTED]
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  - 97. EXTERIOR WALLS: [REDACTED]
  - 98. EXTERIOR WALLS: [REDACTED]
  - 99. EXTERIOR WALLS: [REDACTED]
  - 100. EXTERIOR WALLS: [REDACTED]

# SCHEDULE Z BUILDING ELEVATIONS (BUILDING 6)

## F.1 - Page 46



## F.1 - Page 47







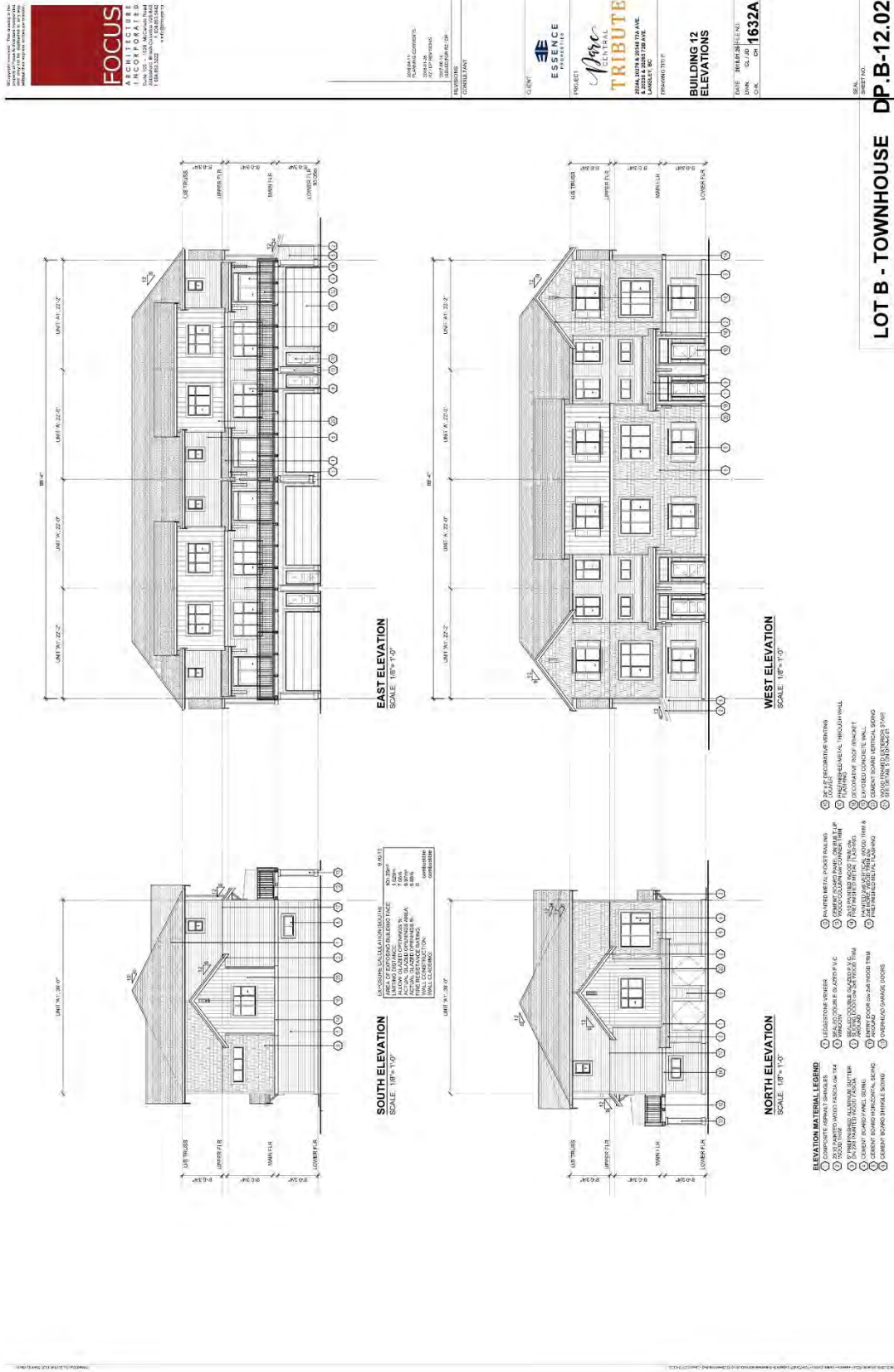
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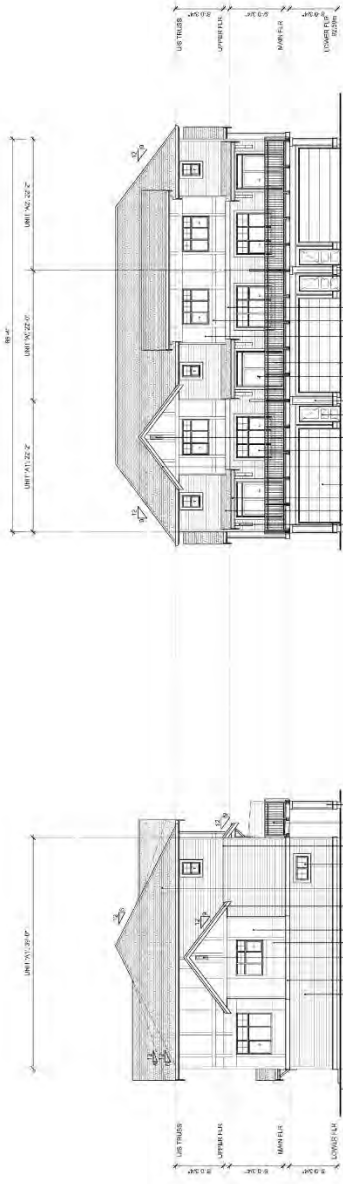






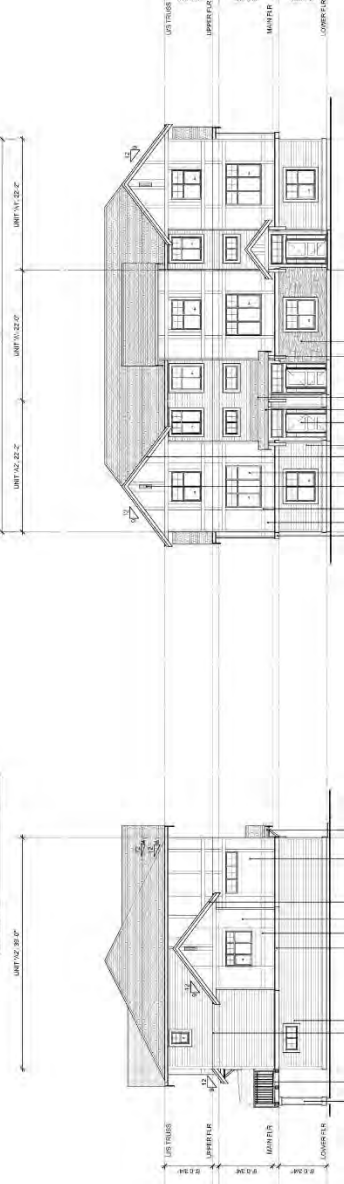
# SCHEDULE FF BUILDING ELEVATIONS (BUILDING 12)





**NORTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**EAST ELEVATION**  
 SCALE: 1/8" = 1'-0"



**SOUTH ELEVATION**  
 SCALE: 1/8" = 1'-0"

**WEST ELEVATION**  
 SCALE: 1/8" = 1'-0"

- ELEVATION MATERIAL LEGEND**
- ① CONCRETE BLOCK
  - ② BRICK
  - ③ STUCCO
  - ④ SHINGLES
  - ⑤ METAL ROOFING
  - ⑥ VINYL SIDING
  - ⑦ CEMENT BRICK
  - ⑧ CLAY BRICK
  - ⑨ METAL ROOFING
  - ⑩ VINYL SIDING
  - ⑪ CEMENT BRICK
  - ⑫ CLAY BRICK
  - ⑬ METAL ROOFING
  - ⑭ VINYL SIDING
  - ⑮ CEMENT BRICK
  - ⑯ CLAY BRICK
  - ⑰ METAL ROOFING
  - ⑱ VINYL SIDING
  - ⑲ CEMENT BRICK
  - ⑳ CLAY BRICK

- ① METAL ROOFING
- ② VINYL SIDING
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- ④ CLAY BRICK
- ⑤ METAL ROOFING
- ⑥ VINYL SIDING
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- ⑧ CLAY BRICK
- ⑨ METAL ROOFING
- ⑩ VINYL SIDING
- ⑪ CEMENT BRICK
- ⑫ CLAY BRICK
- ⑬ METAL ROOFING
- ⑭ VINYL SIDING
- ⑮ CEMENT BRICK
- ⑯ CLAY BRICK
- ⑰ METAL ROOFING
- ⑱ VINYL SIDING
- ⑲ CEMENT BRICK
- ⑳ CLAY BRICK

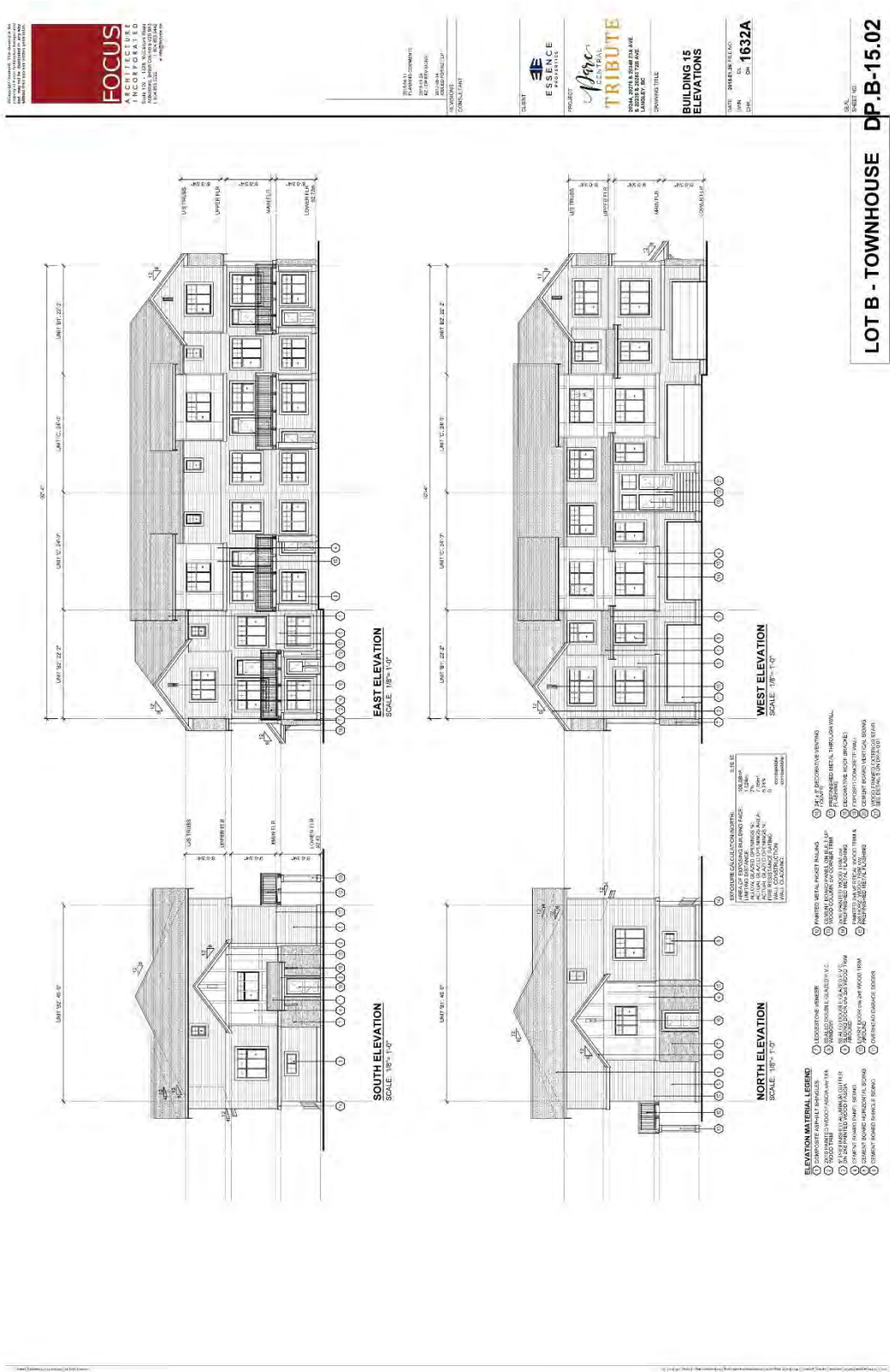
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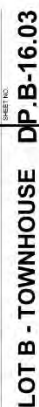
LOT B - TOWNHOUSE





# SCHEDULE II BUILDING ELEVATIONS (BUILDING 15)





- [illegible]



WEST ELEVATION  
SCALE: 1/8" = 1'-0"

SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



EAST ELEVATION  
SCALE: 1/8" = 1'-0"

NORTH ELEVATION  
SCALE: 1/8" = 1'-0"

- ELEVATION MATERIAL LEGEND**
- 1. COMPOSITE BRICK (SPRINKLER)
  - 2. CLAY TILE
  - 3. CLAY TILE
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  - 5. CLAY TILE
  - 6. CLAY TILE
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  - 100. CLAY TILE

LOT B - TOWNHOUSE DP.B-17.02

# SCHEDULE KK BUILDING ELEVATIONS (BUILDING 17)





CLIENT  
PLANNING COMMISSION  
PROJECT  
TOWN OF LANGLEY  
12000 104th Ave. S.E.  
Langley, BC V3A 1Y1  
DATE  
2018.04.18  
DRAWN BY  
J.L.B.  
CHECKED BY  
J.L.B.

CLIENT  
ESSENCE PARTNERS  
PROJECT  
TRIBUTE CENTRAL  
12000 104th Ave. S.E.  
Langley, BC V3A 1Y1  
DATE  
2018.04.18  
DRAWN BY  
J.L.B.  
CHECKED BY  
J.L.B.

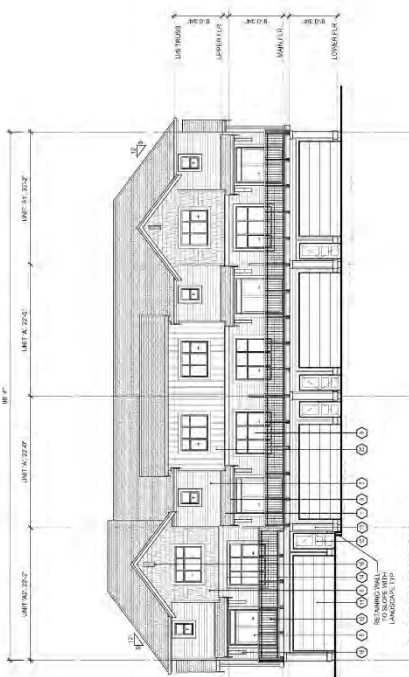
BUILDING 18  
ELEVATIONS

DATE  
2018.04.18  
DRAWN BY  
J.L.B.  
CHECKED BY  
J.L.B.

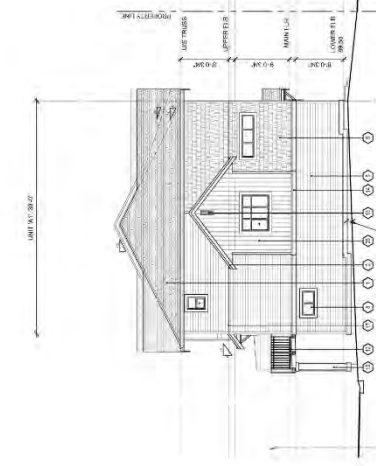
LOT B - TOWNHOUSE DP.B-18.02



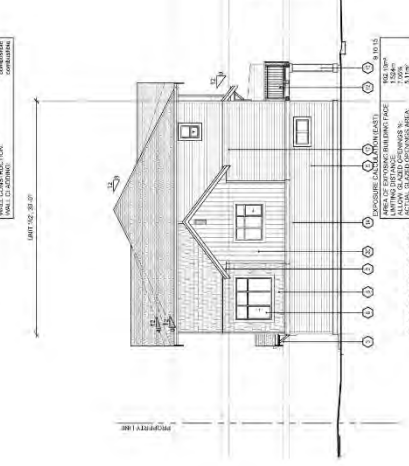
SOUTH ELEVATION  
SCALE: 1/8" = 1'-0"



NORTH ELEVATION  
SCALE: 1/8" = 1'-0"



WEST ELEVATION  
SCALE: 1/8" = 1'-0"



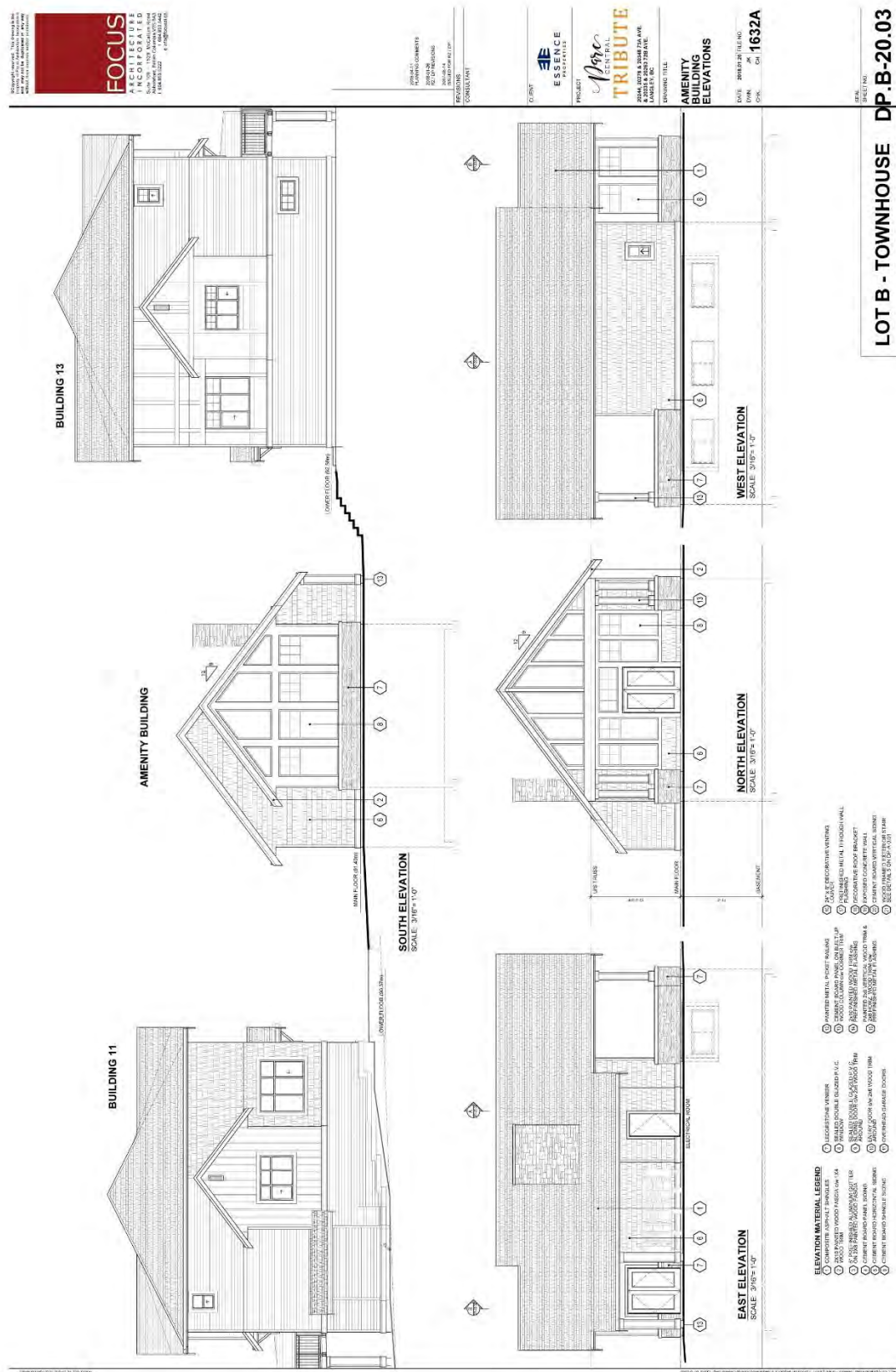
EAST ELEVATION  
SCALE: 1/8" = 1'-0"

- ELEVATION MATERIAL LEGEND
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  - 100. COMPOSITE SHINGLES

# SCHEDULE LL BUILDING ELEVATIONS (BUILDING 18)



## F.1 - Page 59





LOT B - COLOUR SCHEME 1



- |          |   |
|----------|---|
| <b>A</b> | <b>Ribo Shingles:</b><br>Pacbo Premier Laminated Shingle<br>"Pewter Gray"         |
| <b>B</b> | <b>Hardie Panel:</b><br>James Hardie - "Pearl Gray"                               |
| <b>C</b> | <b>Hardie Plank Siding:</b><br>James Hardie - "Rich Espresso"                     |
| <b>D</b> | <b>Stone Veneer:</b><br>Cultural Stone - "LedgeStone"<br>Burnt Orange Del Mare    |
| <b>E</b> | <b>Fascia, Wood Trim &amp; Bracket:</b><br>Benjamin Moore<br>"OC-17 - White Dove" |
| <b>F</b> | <b>Garage Doors:</b><br>Benjamin Moore<br>"OC-17 - White Dove"                    |
| <b>G</b> | <b>Doors:</b><br>Stained - "Walnut"   |
| <b>H</b> | <b>Window/Siding Door Frames:</b><br>Vinyl - "Black"                              |
| <b>I</b> | <b>Railings:</b><br>Aluminum - "Black"  |
| <b>J</b> | <b>Gutters:</b><br>Makin Metals<br>"Cambridge White"                              |
| <b>K</b> | <b>Soffit:</b><br>Royal Building Products<br>Vinyl - "Linen"                      |



LOT B - TOWNHOUSE DP.B-0.02a

# SCHEDULE PP COLOUR SCHEME 2

F.1



# LOT B - COLOUR SCHEME 3

- A** **Roof Shingles:**  
Pabco Premier Laminated Shingle  
"Pewter Gray"
- B** **Hardie Shingle:**  
James Hardie - "Traditional Red"
- C** **Stone Veneer:**  
Cultured Stone - LedgeStone  
"Burnt Ochre Del Mare"
- D** **Fascia, Wood Trim & Bracket:**  
Benjamin Moore  
"HC-166 - Kendall Charcoal"
- E** **Doors:**  
Stained - "Walnut"
- F** **Window/Sliding Door Frames:**  
Vinyl - "Black"
- G** **Gutters:**  
Makin Metals  
"Charcoal Grey"
- H** **Soffit:**  
Royal Building Products  
Vinyl - "Linen"



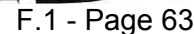
LOT B - TOWNHOUSE DP-B-0.02c

## SCHEDULE QQ COLOUR SCHEME 3

F.1



## F.1 - Page 63



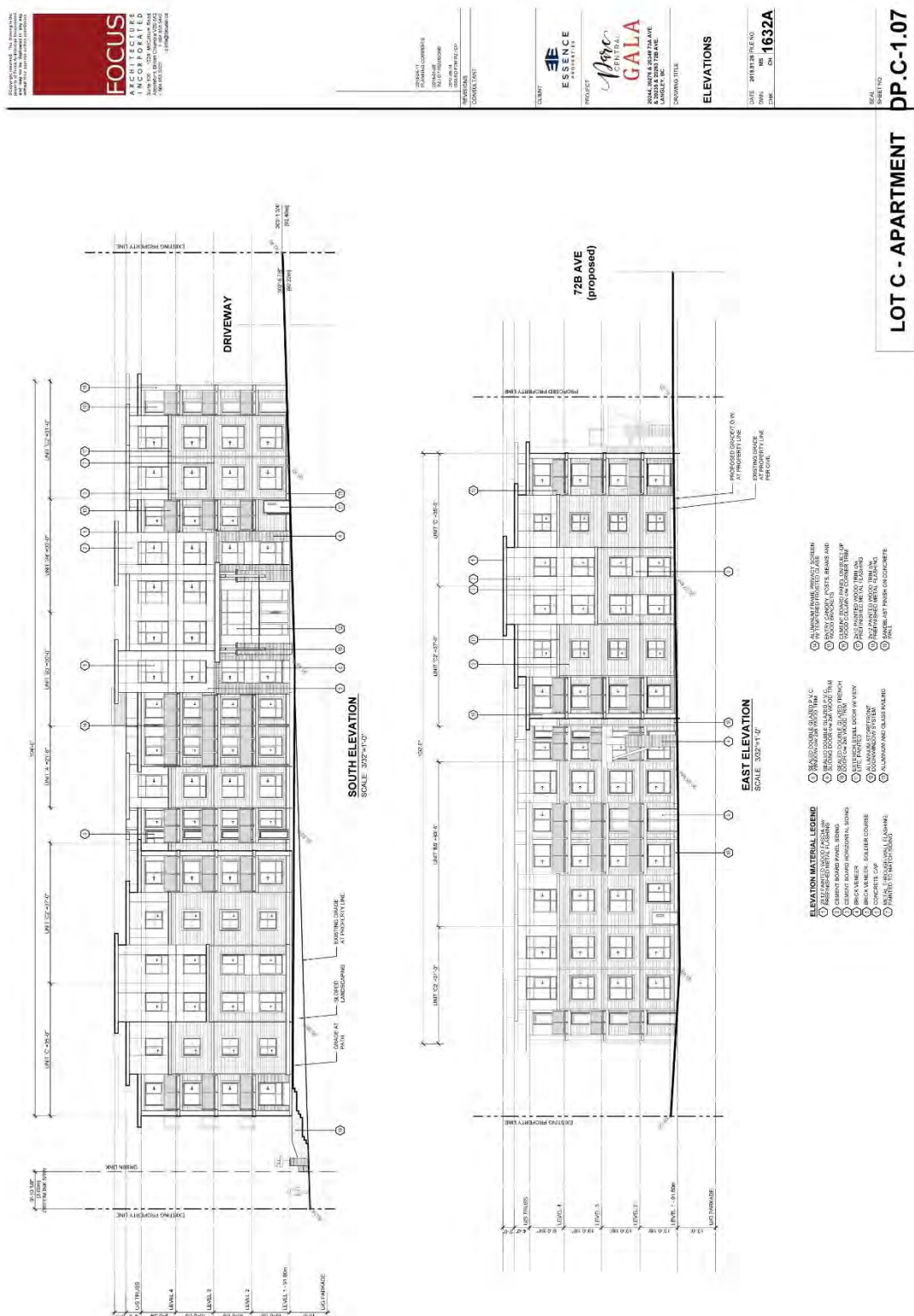


CLIENT: ESSENCE PROPERTIES  
PROJECT: Uptown Central GALLA  
1000 W. 10th St. Suite 204 Ave.  
Wichita, KS 67202-1218  
DATE: 08/20/2018  
DRAWN: J. J. JONES  
SCALE: 1/8" = 1'-0"

LOT C - APARTMENT DP.C-1.06



## F.1 - Page 65





# SCHEDULE UU BUILDING ELEVATIONS (COLOURED)

F.1



**SOUTH ELEVATION**  
 SCALE 3/32"=1'-0"



**EAST ELEVATION**  
 SCALE 3/32"=1'-0"

FOCUS  
 ARCHITECTURE  
 10000 150th Avenue, Suite 100  
 Richmond, BC V6V 1E6  
 Tel: 604.273.1111  
 Fax: 604.273.1112  
 www.focusarch.com

PROJECT  
 10000 150th Avenue, Suite 100  
 Richmond, BC V6V 1E6  
 Tel: 604.273.1111  
 Fax: 604.273.1112  
 www.focusarch.com

CLIENT  
 ESSENCE  
 10000 150th Avenue, Suite 100  
 Richmond, BC V6V 1E6  
 Tel: 604.273.1111  
 Fax: 604.273.1112  
 www.focusarch.com

COLOURED  
 ELEVATIONS

DATE 2016.02.28 FILE NO.  
 DRAWN BY AL 1632A  
 CHECKED BY CH

LOT C - APARTMENT DP.C-0.02b



LOT C - COLOUR SCHEME

A1

Hardie Panel:  
James Hardie - "Cobblestone"

A2

Hardie Panel:  
James Hardie - "Night Gray"

B

Hardie Plank Siding:  
James Hardie - "Night Gray"

C1

Brick:  
Mutual Materials - "Imperial Gray"

C2

Brick Accent:  
Mutual Materials - "Limestone"

D1

Fascia / Balcony / Wood Trim:  
Benjamin Moore  
"HC-166 - Kendall Charcoal"

D2

Window / Wood Trim:  
Benjamin Moore  
"OC-28 - Collingwood"

E

Windows/ Patio & Sliding Doors:  
Vinyl - "Black"

F

Railings:  
Aluminum - "Black"

G

Stained Wood Bracket:  
Stain to match: Benjamin Moore  
"HC-75 - Maryville Brown"

H

Soffit:  
Royal Building Products  
Vinyl - "Driftwood"

FOCUS ARCHITECTURE INCORPORATED

10000 100th Ave. S.E. Unit 100  
Langley, BC V3A 2K4  
Tel: 604.881.1111  
www.focusarchitect.com

PLANNING COMMENTS:

100% OF THE BUILDING IS TO BE COMPLETED BY 2024.

100% OF THE BUILDING IS TO BE COMPLETED BY 2024.

100% OF THE BUILDING IS TO BE COMPLETED BY 2024.

CLIENT:

E S S KENCE

PROJECT:

100% OF THE BUILDING IS TO BE COMPLETED BY 2024.

COLOUR SCHEME 1

DATE: 2024.04.15

BY: J. S. S.


1632A

LOT C - APARTMENT

DP.C-0.02

SCHEDULE WW  
COLOUR SCHEME

Township of  
Langley



Est. 1873

F.1 - Page 68

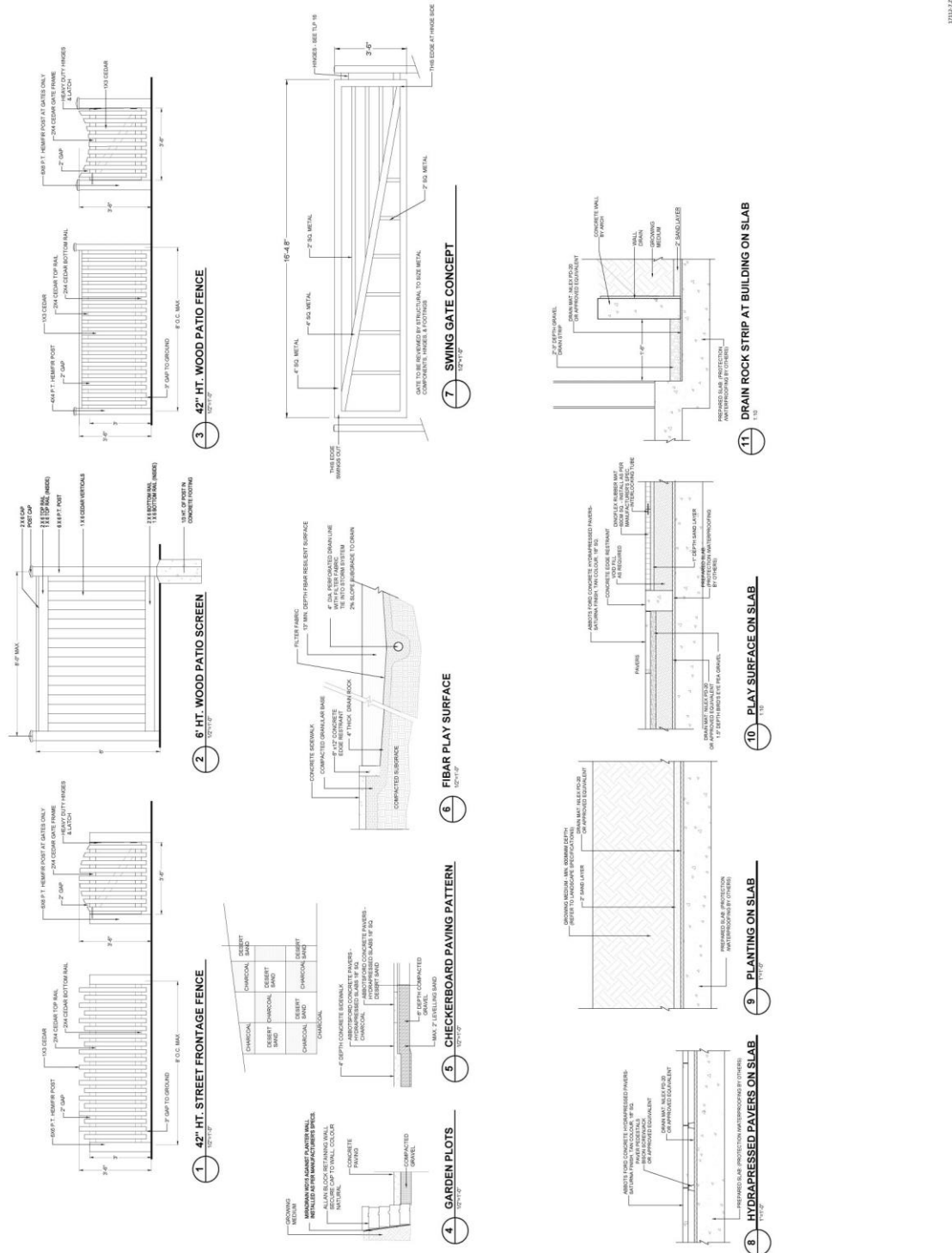




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**pml**  
LANDSCAPE  
ARCHITECTURE  
PML LANDSCAPE ARCHITECTURE  
Suite C100 - 4180 208 Street, Coquitlam, BC V3R 2M9  
P: 604.681.8881 F: 604.681.8882

SCALE:



# SCHEDULE YY LANDSCAPE DETAILS

F.1

SCHEDULE ZZ  
LANDSCAPE DETAILS

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PML LANDSCAPE ARCHITECTURE  
3010 152ND STREET, SUITE 100  
BURNABY, BC V5C 2G7  
TEL: 604-291-1111 FAX: 604-291-1112

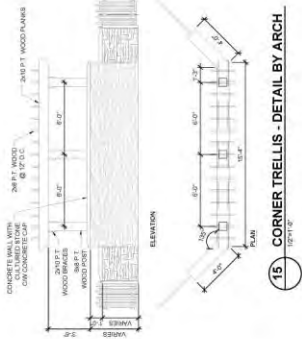
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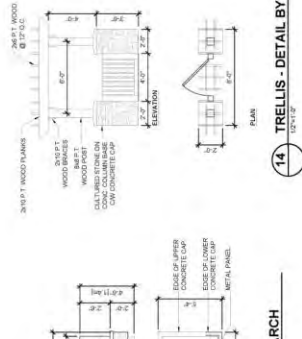
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CENTRAL

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LOT B 20267 728 AVE.  
LOT C 20256 728 AVE.  
LANGLEY, BC  
DRAWING TITLE:  
LANDSCAPE  
DETAILS

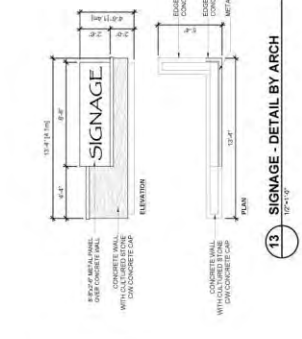
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PERSON: NMT  
CHECK: NMT  
PROJECT NUMBER: 17-112  
OF 18  
17-112



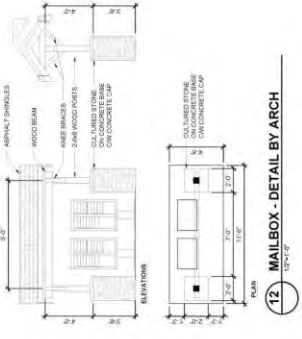
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1/8"=1'-0"



14 TRELLIS - DETAIL BY ARCH  
1/8"=1'-0"



13 MAILBOX - DETAIL BY ARCH  
1/8"=1'-0"



12 MAILBOX - DETAIL BY ARCH  
1/8"=1'-0"



WISHBONE INDUSTRIES:  
NEW YORK CHAIR - CN IN RED



WISHBONE INDUSTRIES:  
SURE BIKE RACK, SFBGRP-5  
METALLIC SILVER



WISHBONE INDUSTRIES:  
PARKER BENCH PKB-6  
CARDINAL TEXTURED GREY  
WITH SAND SLATS, SURFACE  
MOUNTED



WISHBONE INDUSTRIES:  
PARKER PICNIC TABLE PKPT-6  
CARDINAL TEXTURED GREY  
WITH SAND SLATS, SURFACE  
MOUNTED



LANDSCAPE STRUCTURES  
OODLE SWING HDG. 228069



PLAYWORLD UNITY SLIDE CLIMBER  
ZZXX0346



KOMPAN PLAY PANEL



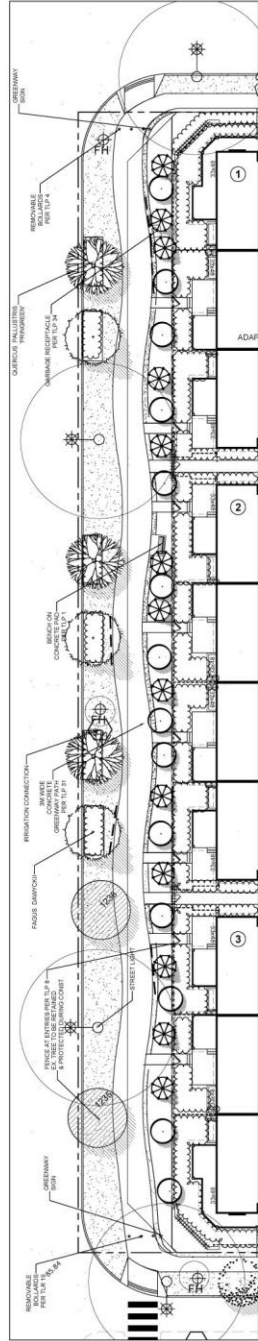
MAGLIN - TABLE FRT1700-RD-SM36 C/W FRC1700-MSF  
CHAIRS (4 PER TABLE), COLOUR ORANGE



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**pmg**  
LANDSCAPE  
ARCHITECTS  
100-1000  
Suite C100 - 4180 26th Street, Delta  
BC V9C 5R6  
Tel: 604-261-1111 Fax: 604-261-1112  
www.pmg.ca

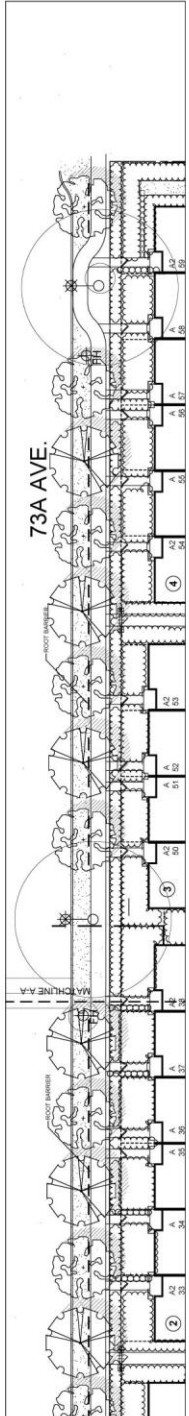
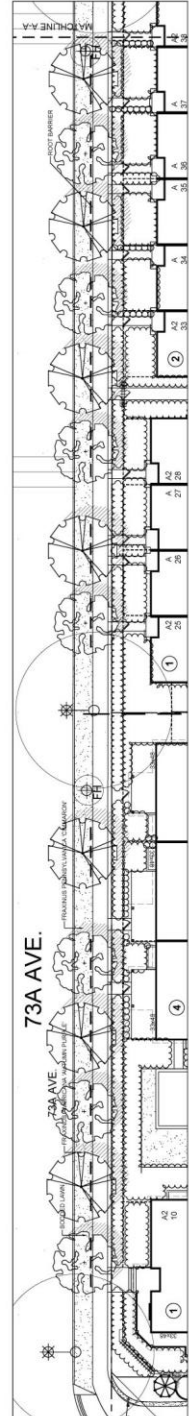
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**PLANT SCHEDULE**

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AND ALL TREE IDENTIFICATION TAGS SHALL BE PLACED IN THE FINAL IDENTITY SIGN ART FILE.  
THE LOCATION OF OFF SITE SIGNAGE SHALL BE DETERMINED BY THE TOWNSHIP OF LANGLEY AND THE FIRE DEPARTMENT.  
OFF SITE SIGNAGE SHALL BE PLACED IN THE FINAL IDENTITY SIGN ART FILE.  
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OFF SITE SIGNAGE SHALL BE PLACED IN THE FINAL IDENTITY SIGN ART FILE.  
THE LOCATION OF OFF SITE SIGNAGE SHALL BE DETERMINED BY THE TOWNSHIP OF LANGLEY AND THE FIRE DEPARTMENT.



**PLANT SCHEDULE**

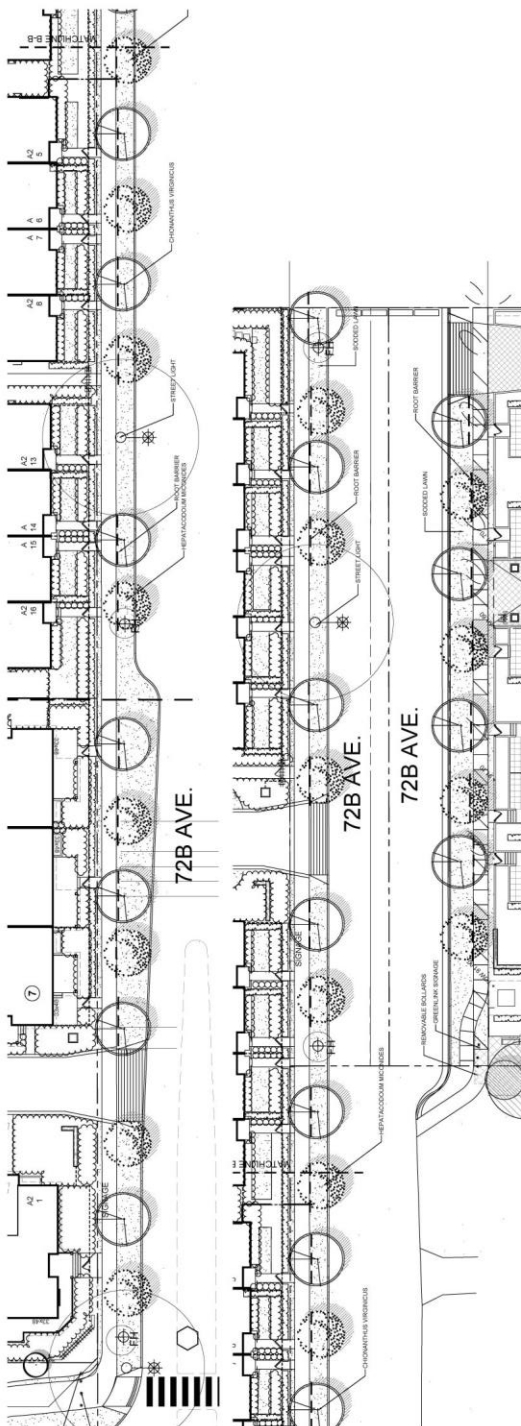
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68	[Symbol]	FRAXILIS	1	EA
69	[Symbol]	FRAXILIS	1	EA
70	[Symbol]	FRAXILIS	1	EA
71	[Symbol]	FRAXILIS	1	EA
72	[Symbol]	FRAXILIS	1	EA
73	[Symbol]	FRAXILIS	1	EA
74	[Symbol]	FRAXILIS	1	EA
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76	[Symbol]	FRAXILIS	1	EA
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79	[Symbol]	FRAXILIS	1	EA
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**PLANT SCHEDULE**  
THESE PLANTS ARE TO BE PROVIDED BY THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR THE SELECTION OF THE PLANTS AND THE PLANT MATERIAL. THE PLANT MATERIAL SHALL BE PROVIDED FROM A CERTIFIED DISEASE FREE NURSERY.  
THESE PLANTS ARE TO BE PROVIDED BY THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR THE SELECTION OF THE PLANTS AND THE PLANT MATERIAL. THE PLANT MATERIAL SHALL BE PROVIDED FROM A CERTIFIED DISEASE FREE NURSERY.  
THESE PLANTS ARE TO BE PROVIDED BY THE CLIENT. THE CLIENT SHALL BE RESPONSIBLE FOR THE SELECTION OF THE PLANTS AND THE PLANT MATERIAL. THE PLANT MATERIAL SHALL BE PROVIDED FROM A CERTIFIED DISEASE FREE NURSERY.

1713/23P  
17-112

# SCHEDULE AAA OFFSITE LANDSCAPE PLAN

# SCHEDULE BBB OFFSITE LANDSCAPE PLAN



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**pmg**  
LANDSCAPE  
ARCHITECTS

Suite C100 - 4185 508 Creek Drive  
Burnaby, British Columbia, V5C 6G9  
604 294-0111 F. 604 294-0022

SEAL:

NO.	DATE	REVISION DESCRIPTION	DR
5	15 MAY 04	DP ISSUE	MM
5	15 APR 04	EX. THREE CITY CHANGED	MM
4	15 MAR 02	NEW SITE PLAN	MM
3	15 FEB 05	CLIENT COMMENTS	MM
2	15 FEB 00	NEW SITE PLAN	MM
1	15 JAN 02	NEW SITE PLAN	MM

UNITO



PROJECT:  
RESIDENTIAL DEV.  
LOT A 20261 72B AVE.  
LOT B 20327 72B AVE.  
LOT C 20356 72B AVE.

LANGLEY, BC  
LANGLEY # 08-23-0164

DRAWING TITLE:  
**OFF SITE LANDSCAPE  
PLAN**

DATE: 27 JUL 83  
 SCALE: 2 1/2" = 1'-0"  
 DRAWN: PK  
 DESIGN: PK  
 CHECKED: MCKY  
 OF 19  
 DRAWING NUMBER: 17-112

7112-7 ZIP	PMO PROJECT NUMBER	17-112
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4586  
04/02/08

#### **4.1.2 DEVELOPMENT PERMIT AREA “B” – RESIDENTIAL**

Lands identified as “Residential” on Map 4, Development Permit Areas are hereby designated as development permit areas under Section 488(1)(e) and (f) of the Local Government Act to establish objectives and provide guidelines for the form and character of intensive and multi family residential development.

The objective of this development permit area designation is to encourage development of attractive and safe multi family areas.

Unless the owner first obtains a development permit, land within this development permit area shall not be subdivided, and construction of, addition to or alteration of a multi family dwelling (including a townhouse, rowhouse, apartment, duplex, triplex or fourplex) must not be started.

Development permit guidelines are as follows:

##### **4.1.2.1 GENERAL**

The following general guidelines apply to all development within Development Permit Area “B.”

##### **4.1.2.2 SINGLE FAMILY DEVELOPMENT**

###### *General*

- Single family developments shall enter into an Exterior Design Control Agreement (to be registered on title as a restrictive covenant) prior to final subdivision approval and to the acceptance of the Township. The agreement shall incorporate the following single family development permit guidelines.

###### *Architectural Details*

- No residential units shall back onto a public road or street greenway other than 212 Street between 76 and 80 Avenues.
- All building elevations visible from public land (i.e. parks, roads, greenways and detention pond sites) shall provide architectural detailing to be consistent with the front of the building.

###### *Parking and Traffic/Pedestrian Circulation*

- Where single-family lots abut an arterial road or a street greenway vehicular access and parking shall be provided via a rear lane or any other vehicular access from the rear of the property while retaining the front pedestrian access of the building facing the street.

###### *Landscaping*

- Fences adjacent to a street greenway shall not exceed 122 cm (48 inches) in height. These fences shall be designed to complement the building and be an open picket fence design. Fences must permit observation of the public realm and incorporate landscaping to soften their appearance from the road.

###### *Building Form*

- Pitched roofs are required. Pitched roofs shall have architectural grade roof material, including ridge caps and shadow lines.

##### **4.1.2.3 MULTIPLE UNIT DEVELOPMENT**

###### *General*

The following guidelines apply to all multiple-unit development including but not limited to apartment, townhouse, rowhouse, duplex, triplex and fourplex buildings.

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### *Site Design*

- While providing individual design character, buildings shall be designed to integrate and complement adjacent developments with respect to siting, setbacks, design, exterior finish, landscaping and parking areas. Facade and roofline articulation with porches and other projecting elements is required. Blank or undifferentiated facades shall be avoided.
- Buildings shall be sited and designed to maximize sun penetration to adjacent roads, sidewalks and properties.
- Buildings sited on corners shall address both street edges, shall express a visually stimulating 'landmark' architecture, and be massed to define the intersection.
- On sloping sites, buildings should be massed to create a terraced form of development and provide view opportunities for a majority of housing units.
- Site planning and landscaping for residential development should take into account established principles of Crime Prevention Through Environmental Design (CPTED) – including opportunities for neighbourhood surveillance of pathways, landscaped areas and roadways and provision of defensible space that is clearly separated by fences, landscaping or paving, readily visible by residents and adequately lit.
- In order to allow for stormwater infiltration to maintain flow in watercourses, development is encouraged to maintain low surface imperviousness through compact building form and site layout, consideration shall be given to alternative stormwater and road standards, use of pervious surface materials where feasible and preservation of existing vegetation.
- Multi family buildings shall be designed to maximize avoidance of leaky condominium syndrome by using industry best building practices.
- Mail box kiosks located within a stratified development shall be protected from the weather, be architecturally integrated into the development and be located adjacent to a visitor parking stall with pull-out.
- Presenting garages to public roads is discouraged. Offsetting garages behind the front face of the building is encouraged. Carports are not permitted. Developments shall register a restrictive covenant on title preventing conversion of the garage to any other use that prohibits vehicle storage.
- Development of street facing buildings (i.e. the front door is facing towards the municipal roadway) is required abutting a street or street greenway, other than 200 and 212 (between 76 and 80 Avenues) Streets.
- A pedestrian connection shall be provided from each development site to adjacent streets, street greenways, or public spaces. Public, semi-public and private space shall be clearly delineated.
- A strong street presence is required through inclusion of elements such as extended porches and patios, recessed entries, ground oriented units with direct pedestrian street access, and other similar arrangements. Where individual street access to residential units is not practical, building design should foster a relationship with the adjacent street and pedestrians using the street.
- Buildings should be oriented to streets, greenways, or other public spaces, neither gated nor turning away from the public realm, to provide overview for safety and encourage resident involvement with the activities of the neighbourhood.
- Pedestrian street access to individual residential units is strongly encouraged in order to reinforce pedestrian activity and street life.
- Private outdoor spaces of residential buildings fronting public streets shall provide a sense of separation while still contributing to the streetscape. Semi-private outdoor spaces adjacent to the public realm shall be similarly arranged.

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28/09/15

- Private driveway access over greenways should be consolidated and minimized to ensure maximum safety of the users of the greenway. Private driveways may be restricted to laneway access only.

### *Building Form*

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- Roofscape is an important element of building design. Green roofs and green walls are encouraged in compliance with the BC Building Code. Roofs may also be developed to provide resident amenity. Open areas of flat roofs shall be finished with pavers or other coloured materials to enhance the view from above. Pitched roofs are required unless a green roof or amenity space incorporating landscaping is provided. Flat roofs shall be designed to enhance the view from adjacent buildings with patterned, textured and/or coloured materials and also include activity areas and or green roofs. Low albedo (light coloured) roofing should be used to the greatest possible extent consistent with appearance from above and avoidance of glare from light reflection for the visual comfort of occupants.
- Ground level and roof areas created by setbacks shall be used as active outdoor space wherever possible, arranged to create 'eyes on the street', and appropriately landscaped.
- Building entrances should be clearly identified by the architecture of the building and include articulation or added elements to provide weather protection.

### *Exterior Design and Finish*

- The main entrance of the building should be clearly identified by the architecture of the building and include such elements as pedestrian awnings, canopies, and building overhangs to provide protection from the weather.
- Exterior finish of buildings shall be high quality to ensure integrity of the building envelope design, and to present an attractive appearance.
- Exterior materials, colours and textures shall be selected and applied in the context of newer residential and mixed use developments as well as overall community character.
- Acceptable wall cladding materials include natural and manufactured stone, brick masonry, wood, fiber cement composite siding and panels, metal, and glass. Vinyl as a secondary material is permitted, however, a variety of cladding orientation, material, design and/or colour shall be used. Stucco cladding materials may also be used, however are discouraged, and may not fill more than 25% of any wall surface.
- Glass elements incorporated into weather protection shall be frosted, or provided with other translucent finish, to maintain acceptable appearance between maintenance cycles.
- Mechanical equipment shall be screened or integrated with the roof form, as viewed from the street or higher buildings, in a manner consistent with the overall architecture of the building.
- To provide visual interest elevations of buildings facing a street shall have architectural details such as roofline height, varied colour treatments, windows, articulation in the building envelope, etc.
- Building elevations that are visible from adjacent roads, municipal greenway or other public spaces shall be designed with the same level of care and attention in terms of character, articulation, fenestration, architectural detail, and material quality.
- All exposed base supports for structures that include signage, amenity features, building appurtenances and other site elements shall be architecturally integrated into the overall site design. Unadorned concrete and metal is not permitted.

### *Landscaping*

- Significant tree stands and tree corridors shall be incorporated into the development. A Tree Management Plan shall be prepared and submitted in compliance with the Subdivision and Development Servicing Bylaw 2011 No. 4861 (Schedule I – Tree Protection), as amended from time to time.
- Roof top patios shall be landscaped with water and electrical outlets.
- On-site landscaping shall be required to enhance the appearance of the development, screen parking, loading and utility areas, and garbage containers/enclosures from adjacent properties and roadways. Best efforts should be made to appropriately screen all utility boxes and meters.
- A landscape plan shall be prepared by a registered B.C. Landscape Architect.
- Playground facilities shall be provided, in accordance with the Township's Child Friendly Amenity Area requirements, as amended.
- Entrances shall be articulated with appropriate low fencing and high quality features to provide distinction between public and private space.
- Where lots abut municipal property (i.e. environmental area or a park) a black coated chain link fence shall be constructed to municipal standard. If an adequately landscaped buffer (native plant species are encouraged) of at least 2 metres in width is provided on the greenway side of the fence to the acceptance of the Township, other fence types may be used provided they are visually permeable above 122 cm (48 inches) and do not exceed 180cm (6 feet) in total height.
- If security fencing is required for storage areas, black coated chain link fencing screened with hedging material may be used.



- A 5 metre wide landscaping area and a fence shall be provided on multi family properties along abutting lots designated for non residential development (other than municipal greenspace). Fences should be aesthetically designed and reflect adjacent residential building character where applicable.
- The use of perimeter berms (in most circumstances), high fences and security gates is not permitted to provide surveillance and a more pedestrian-friendly street system. Fences adjacent to a public road allowance or a street greenway shall not exceed 122 cm (48 inches) in height. These fences shall complement the building in terms of design character, materials, and colour. Fences must permit observation of the public realm and incorporate landscaping to soften their appearance from the road.
- Landscape materials and design, on development sites and within road right-of-ways and other public spaces, shall be selected in the context of adjacent developments as well as overall community character, all in consultation with the Township.
- Landscape site planning and design shall incorporate both hard and soft materials in support of the principles of CPTED.
- Where fencing or guards are used for life safety purposes or public/private space definition within the landscape, such enclosures shall be as transparent as possible in support of CPTED objectives.
- All retaining walls shall be composed of split face concrete block, natural stone, or patterned cast-in-place concrete. Material selection shall be in the context of, and integrate with similar installations on adjacent properties.
- The public realm shall incorporate street furniture and amenities, heritage artifacts, and public art pieces, to enhance the pedestrian experience and contribute to the character, unity and identity of the neighbourhood.
- The design, materials and finishes of site furniture and pedestrian walkways shall be selected and should be generally consistent throughout the neighbourhood.
- Street and site furniture shall be durable and have a low life-cycle cost; be selected to discourage vandalism and use for skateboard activity; and be designed to meet the needs of a wide range of users including children, seniors, and those with disability.
- On-site utilities shall be architecturally integrated into the development or screened from view through a combination of hard and/or soft landscaping.
- Landscape planting within residential and commercial areas shall use minimum 50% native plantings with appropriate character, and mixed with other non-invasive plants.
- Use of materials such as permeable paving to maximize surface permeability to the greatest extent possible and practical is encouraged.
- The following surface treatments shall be incorporated into on-site hard surfaces and/or walkway design as a substitute for conventional pavement in low traffic areas.
- Porous pavement in areas with low-risk of ground water contamination. Porous pavements may be applied to lanes/access roads, driveways, and low-traffic parking areas.



- Concrete grid / modular pavers in low-traffic areas and may be applied to lanes/access roads, driveways, and low-traffic parking areas, footpaths and bike paths.



- Grass Pave/Grasscrete/Golpha plastic reinforcement products used in conjunction with gravel or grass surfaces.



- Curb cuts may be used to divert runoff from road surfaces into swales or rainwater gardens which contribute to evapotranspiration.



- Multi-use trails shall be incorporated into the development to promote pedestrian and cyclist activity and link to the surrounding trail network.

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### *Parking Lot Landscaping*

- Screen at-grade and structured parking or service areas located within a residential building from the public street through such treatments as soft and hard landscaping elements. Where possible, parking should be integrated into the building structure or provided below grade.
- If surface parking areas are required in multi-unit residential buildings, place them away from public view and not between the public street and the building. Design landscape parking areas so they do not detract from any rear yard amenity space.
- Provide a landscape buffer along the edges of multi-unit residential parking areas, in situations where they are along a public street. Provide breaks in the buffers to connect the sidewalk to walkways on the site. Buffers may include low shrubs, trees, and decorative fences.

- In addition to trees and landscaping around the perimeter of surface parking areas, shade trees and landscaping are required within parking lots as per Section 111 of Zoning Bylaw 1987 No. 2500 Landscape Requirements, as amended from time to time.
- Pedestrian connections should be facilitated throughout the development, including through parking lots, and to adjoining land uses.

#### *Parking and Traffic/Pedestrian Circulation*

- Pedestrian connections shall be provided throughout the development, including through parking lots, and to adjoining land uses. Ornamental paving materials (stamped and coloured concrete or better) are required for all pedestrian connections.
- Provision of underground parking is encouraged and shall be designed with CPTED principles. Access to either underground or structured parking should be from a lane if possible.
- Parking shall be provided in enclosed and secured garages attached to individual units or in a secure underground parkade.
- Tandem parking on all end units is not permitted.
- Surface parking should be provided for in a number of smaller areas rather than one large lot, and shall be located primarily in the interior of the site or otherwise screened from view. Surface parking shall integrate landscaping and other design elements to reduce the massing of parking areas. Vehicular entrances to surface parking areas shall be landscaped, not gated, to create a subtle boundary between the semi-private and public areas.
- Private driveway access over greenways should be consolidated and minimized to ensure maximum safety of the users of the greenway. Private driveways accessing arterial roads may be restricted.
- Wheelchair access shall be provided throughout the development.
- Pedestrian connections shall be clearly visible, landscaped, and provided with hard surfaces suitable for older people and wheelchairs.
- Highly detailed paving materials are required along the High Street to indicate such things as storefronts, thru traffic, seating areas, and aesthetic relief areas.



- Without compromising the safety of users, all surface parking shall be visually screened from sub-neighbourhood streets through a combination of building arrangement and landscaping.
- At grade frontage shall be for commercial uses with only the access and egress points visible from the street.
- Vehicular access and egress points shall be combined and the presence and appearance of garage entrances should be designed so that they do not dominate the street frontage of a building.
- Horizontal floor designs are preferred to allow for adaptive reuse. Scissored floor designs are discouraged.
- Garage entrances shall have less prominence than the pedestrian entrances. A separate pedestrian entrance to the garage shall be provided. . This may be achieved through:



- The relative importance of the garage entrance reduced by enhancing the pedestrian entrance.
- Locating the entry on the side of the facade where it will draw less attention than if it is centered on the facade.
- Recessing the portion of the facade where the entry is located to help conceal it.
- Extending portions of the structure over the garage entry to help conceal it.
- Emphasizing other elements of the facade to reduce the visual prominence of the garage entry.
- Use of screening and landscaping to soften the appearance of the garage entry from the street.
- Locating the garage entry where the topography of the site can help conceal it.
- Pedestrian entrances shall be separate from vehicular access points.
- Uses near access and egress points shall include design elements that reduce conflict between uses.
- Ramps to additional levels are to be contained within the structure and screened from view.
- Access and egress points shall have consistent sidewalk texture, colours and material for that portion intersecting with the streetscape.
- Provide separate parking areas for residential and commercial uses.
- The façade shall be architecturally integrated into the building and otherwise screened from view. Green walls and planters may be used in combination with architectural integration for this effect.
- Setbacks from above the second storey shall be incorporated into the design.
- If rooftop parking is provided additional landscaping shall be required consistent with Parking Lot Landscaping. Planters with arbors shall be provided continuously along the parapet.
- Lighting on the exterior (including the roof) shall be consistent with the entire building. Ornamental lighting shall be used on the rooftop parking areas.
- Public and private parking shall be clearly identified through a system of numbering and signage.
- Underground parking structures shall be planned for the convenience and safety of users; shall have walls and ceilings finished in a light coloured paint for reflectivity; and shall incorporate motion-activated lighting to the greatest extent permitted.
- Adequate secured, sheltered and screened bicycle parking be provided on-site for short term and long term bicycle parking/storage facilities.
  - Short term bicycle parking should be in well-lit locations and clearly visible from a main building entrance and/or public roads with bicycle racks made of sturdy, theft-resistant material that is securely anchored to the floor or ground.
  - Longer term bicycle storage areas provided (secured in a separate room/enclosed area) as part of a parking structure should be located close to elevators and access points.

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#### 4.1.2.4 TOWNHOUSES/ROWHOUSE

These guidelines are in addition to section 4.1.2.3 and apply to all townhouse and rowhouse developments.

##### *Site Design*

- Ground-oriented developments shall be designed with continuity in the design with respect to the exterior finishing materials and architectural detailing. Individual or paired

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units shall be significantly visually differentiated from other adjoining units (i.e. staggering in plan or elevation, varying rooflines, variation in exterior materials, variation in colour treatments, and architectural detailing).

- Developments which include multiple buildings on the same site shall include significant variation in the exterior design, façade, roofline articulation, material and colour of buildings.
- Units shall be oriented towards public roads, street greenways, natural areas, and greenlinks/commons where applicable.
- Scale building height and massing in proportion to open spaces.
- A pedestrian connection shall be provided from each development site to adjacent streets, street greenways, or public spaces. Public, semi-public and private space shall be clearly delineated.
- Tandem parking on end units is not permitted.

#### *Landscaping*

- Where there are multiple buildings on a site, buildings should be located to enclose courtyards and other landscaped spaces.

### **4.1.2.5 APARTMENTS**

These guidelines are in addition to section 4.1.2.3 and apply to all apartment developments.

#### *Architectural Details*

- Street facing facades of free-standing apartment buildings shall be designed for a pedestrian scale with the first storey architecturally differentiated from upper floors.
- The apparent mass of a building shall be reduced through roof design, facade articulation and shadowing.
- Incorporate a 'good neighbour' policy by ensuring building heights being stepped or terraced to relate to adjacent buildings.
- Building height and massing shall be in proportion to adjacent open space.
- The main entrance of each apartment building should include an awning, canopy, porte-cochere or other architectural element to provide protection from the weather.
- Orient the main building entrance to the street and provide a secondary building entrance and pedestrian link to adjacent municipal greenspace where applicable.
- Avoid blank or undifferentiated facades.
- Provide weather protection from parking area to front entrance where appropriate.

#### *Landscaping*

- Where there are multiple buildings on a site, buildings should be located to provide common space such as courtyards.

#### *Parking and Traffic/Pedestrian Circulation*

- Minimize above grade projection of parking structures.
- Provide drop-off areas at grade level near the main building entrance where possible.
- Provide resident parking underground or within the building.



11 May 2018

Ruby Sandher  
Development Planner  
Township of Langley  
20338 65 Avenue  
Langley, BC V2Y 3J1

RE: Project: 08-23-0164 1 ESSENCE PROPERTIES INC.

CIVIC: 20235 and 20263 72B Avenue; 20244, 20276 and 20348 73A Avenue

LEGAL: Lot 80 Plan 47681; Lots 73, 74, 75, 76, Plan 41978; all of Section 23 Township 8 NWD

We have reviewed the above proposal. We calculate the approximate number of students generated by this proposal will be as follows:

Type of Housing	Number of Units	Elementary K-5	Middle 6-8	Secondary 9-12
Townhouses	102	33	15	13
Condos	75	6	3	4

Given the current school catchments this development would impact Willoughby Elementary School, Yorkson Creek Middle School and R.E. Mountain Secondary School.

There is currently sufficient capacity within the School District to enroll the students as noted above if the projected numbers were actually seeking admission to schools at the present time. While the School District is committed to making every effort to enroll students at their catchment schools, such may not be possible in all cases.

Please advise if you need any other information.

Yours sincerely,

Brian Iseli CPA, CMA  
Secretary Treasurer





February 19, 2018

Our File: 17-075

Township of Langley Project: 08-23-0164

Community Planning Division  
Township of Langley  
20338 65<sup>th</sup> Avenue  
Langley, BC, V2Y 3J1

**Attention:** Ruby Sandher

Dear Madam,

**Re:** Summary of Public Information Meeting

---

A Public Information Meeting (PIM) was held in regards to the development application 08-23-0164 for the properties located at 20244, 20276, 20348 73A Avenue and 20235, 20263 72B Avenue, Langley, BC.

The following is a summary of the conversations and comments received at the event, and afterward up to the date of this letter.

**Date:** Thursday, February 8, 2018  
**Time:** 5:00pm – 7:00pm  
**Location:** Shepherd of the Valley Church, Main Hall  
20097 72<sup>nd</sup> Avenue  
Langley, BC, V2Y 1S7

**Developer Representatives:**

Brodie Barber, Essence Properties  
Kevin Dhaliwal, Essence Properties  
Shawn Booth, Essence Properties

**Consultants: Planners**

Mike Fujii, Aplin Martin

**Engineers**

Donato Bevacqua, Aplin Martin

**Township Staff:** **Planner**  
Ruby Sandher

**Attendees:** 15 individuals signed-in  
20 individuals observed

**NOTIFICATION**

The public was notified of the PIM in advance, as per the Township's requirements. Copies of the notification materials were submitted to the Township for approval prior to distribution.

**PIM NOTIFICATION LETTER**

The Township of Langley provided a list of 105 mailing labels for all property owners and residents within 100 meters of the development site. We mailed all 105 notification letters on January 26, 2018.

As of February 19, 2018, one (1) of the letters has been returned to Aplin Martin as "moved or unknown". *A copy of the returned envelope is attached.*

**NEWSPAPER POSTING**

Advertisements for the PIM were published in the Langley Advance on February 1, 2018, and in The Langley Times on February 2, 2018. *Copies of the PIM advertisement as published in the newspapers are attached.*

**PIM RESULTS & ANALYSIS**

One (1) comment sheet has been received as of February 19, 2018.

*Copies of the sign-in sheet and comment sheet are attached.*

**EXECUTIVE SUMMARY OF FINDINGS & PROPOSED REVISIONS TO APPLICATION IN RESPONSE TO RESIDENTS INPUT AT THE PUBLIC INFORMATION MEETING**

We received feedback from one individual commending the economic benefit of the development and how it provides families with affordable housing opportunities.

We believe the minimal community opposition towards that project demonstrates that the project is acceptable to the community at large.

Should you have any further questions, please contact the undersigned at 604-639-3456.

Yours truly,

**APLIN MARTIN**



Anya Paskovic, MCIP, RPP  
Planner

NM:CL:CC  
Enclosures  
17-075 - Open House Summary

# DEVELOPER HELD PUBLIC INFORMATION MEETING

Proposed Residential Development at  
20244, 20276 & 20348 73A Ave, 20235 & 20263 72B Ave in Langley, BC



Development Site

**Date:** Thursday, Feb 8, 2018

**Time:** 5:00 pm – 7:00 pm

**Place:** Shepherd of the Valley Church

**Address:** 20097 72 Avenue  
Langley, BC, V2Y 1S7

You are invited to attend a Public Information Meeting for a proposed development (**Township of Langley Project No. 08-23-0164**) for properties at 20244, 20276 and 20348 73A Avenue & 20235 and 20263 72B Avenue, Langley, BC.

Essence Properties has applied to the Township of Langley to rezone the above-mentioned properties to a Comprehensive Development zone for the development of **22 master-on-main townhouse units, 80 3-storey townhouse units** and a **4-storey, 75-unit apartment building**.

The intention of this meeting is to seek input from area residents on the proposed development and address any questions you may have.

## FOR MORE INFORMATION

If you are unable to attend and are interested in learning more about this development proposal, please contact:

Brodie Barber, Development Coordinator  
Essence Properties  
brodie@essenceliving.com  
778-574-0777

Development Project No. 08-23-0164

**ESSENCE**  
PROPERTIES





APLIN & MARTIN CONSULTANTS LTD SURREY RECEIVED			
FEB 01 2018			
FILE NO.			

s.22(1)



MOVED / UNKNOWN // DEMENAGE OU INCONNU  
 RETURN TO SENDER  
 RENVOI A L'EXPEDITEUR  
 V3W 3E9





# your say

## Interchange helps other areas, too

Dear Editor,

In response to Ms. Nash's letter [We must put knowledge about health into action, Jan. 5, *Langley Advance*] that suggests the 200th Street intersection is a problem for trucks, and yet they use it with frequency.

Yes, they endorse a plan for another route. 192nd Street has been considered but doesn't meet the criteria for a major interchange. It has been looked at and denied.

Ms. Nash's mission as a "health advocate" is great, but she considers existing schools that are right beside major routes of transportation, like Willoughby Elementary school on 208th Street, not to be an issue or concern.

Nicomck Elementary school

on 200th Street is another consideration.

All children and all schools on major routes deserve to have lighter traffic beside them. Hence the value of a new route into Walnut Grove via 216th Street interchange and a new option for Highway 1 [Trans-Canada Highway] traffic to get on and off the freeway. This may balance out some of the existing heavy traffic on 208th and 200th Streets.

As far as "truck route" designation, any trucks can take any route that is closest to their destination, whether designated or not.

They are not ticketed for using an alternate route.

A designated "truck route"

in the TOL [Township of Langley] gets additional funding from the province for safety features and maintenance.

Walnut Grove and the 216th Street interchange area north of the freeway is the only spot in the TOL that has received additional funding from the TOL (our tax dollars) for expansion of the scope of work to include improved walkways, pedestrian and crossing facilities, and a noise attenuation wall for traffic mitigation from the interchange—millions of dollars, in fact.

I think Ms. Nash could consider the deferential treatment her and her neighbours in Walnut Grove are receiving from us, the taxpayers

J. Jansen, via email

## Facebook Feedback

**f** Marijuana dispensaries established in Langley Township have been fined heavily. Readers weigh in:

**Brooke Pinheiro:** Well, it's not legal yet. It's not a difficult concept. Don't open a business for something which contradicts laws and/or bylaws of the place you want to operate in. It's their own fault and their stupid business decisions shouldn't be blamed on the Township or City.

**Sean Paul:** The laws and bylaws have made it legal for a home grow op to be right next to my house. For years my family has had to deal with the noise and the smell of a home based grow op. I've had to explain to my children and other family members what the smell is...

**Matt Krieger:** Thanks for helping support the local street dealers! Much better prices outside of school grounds anyways, plus they sell more than just weed. These horrible dispensaries keep forcing people to provide ID, be of age, not be contaminated with other drugs. How dare they!

**Rhonda Mazzoni:** People need to be educated on the medicinal use of marijuana. These stores have educated people running them. Changed my view when I spoke with them.

**Derek Jay:** What about all the greenhouses bought up by cannabis start ups? They should be used to grow food, not cannabis.

**John Roberts:** Should take the money and spend it on a "potheads are idiots" campaign.

**Nehal Saleh:** Sure but you would have to run a similar "alcoholics are idiots" campaign, too.

**John Roberts:** Sounds good to me!

Share your views. Like us on Facebook at:  
[www.facebook.com/LangleyAdvance](http://www.facebook.com/LangleyAdvance)

## Lobsters, all species can suffer pain

Dear Editor,

The answer to Chef Dez's question "Where do we draw the line?" is: "At the beginning of the human feeding process, by leaving animals off our plates." [Cooking in Langley: Chef ponders ethics of boiling lobsters, Jan. 22, *L.A. Online*]

Apparently, crustaceans have been around for 360 million years.

All animal species can suffer

pain and distress. Richard D. Ryder, who coined the term "specicism," wrote, "Animals scream and writhe like us; their nervous systems are similar and contain the same biochemicals that we know are associated with the experience of pain in ourselves."

Humans need to recognize that we only entered Earth roughly 300,000 years ago, whereas life on Earth has ex-

isted for over 3.5 billion years.

As relative newcomers to this planet, our invasion has subjugated many animal species for our desires.

With sheer arrogance and abusive power over non-human animal species, we are destroying the planet for everyone, including future generations of humans

Dr. Patricia Tallman,  
Willoughby

Letters on this page may have been edited for space. For longer versions or more letters to the editor visit...  
[LangleyAdvance.com](http://LangleyAdvance.com) - Click on Opinion or search the writers' names.

### LETTERS TO THE EDITOR

may be edited for clarity, length, or legal reasons. Anonymous letters will not be considered for publication, however names may be withheld from print upon request. Letters may be published on the Internet, in print, or both. Publications of letters by the *Langley Advance* should not be construed as an endorsement or agreement with the views expressed. Copyright in letters and other materials submitted voluntarily to the Publisher and accepted for publication remains with the author, but the Publisher and its licensors may freely reproduce them in print, electronic, or other forms.

### DEVELOPER HELD PUBLIC INFORMATION MEETING

You are invited to attend a public information meeting to discuss the proposed development application (Township of Langley Project No. 08-25-0164) for the development of 22 master-on-main townhouse units, 80 3-storey townhouse units and a 4-storey, 75-unit apartment building.

Date: Thursday, February 8, 2018  
Time: 5:00 pm - 7:00 pm  
Place: Shepherd of the Valley Church  
Address: 20097 72 Avenue, Langley, BC, V2Y 1S7

Shepherd of the Valley Church is the Township of Langley's representative for the development application. The development application is for the development of 22 master-on-main townhouse units, 80 3-storey townhouse units and a 4-storey, 75-unit apartment building.



The development is located on the east side of the Township of Langley, near the intersection of 72 Avenue and 200th Street.

For a presentation of the development application, please contact the Township of Langley at 604-861-1111.

Brodie Barber, Development Coordinator  
Essence Properties  
[brodie@essenceproperty.com](http://brodie@essenceproperty.com)  
778-574-0777



# SEE AND BE SCENE

LIFF Langley

LANGLEY INTERNATIONAL FILM FESTIVAL  
FEBRUARY 16-17-18  
Chief Sages Theatre  
[www.langleyinternationalfilmfestival.com](http://www.langleyinternationalfilmfestival.com)

Proceeds to support film programs in Langley schools  
Six screenings and opening night after-party  
Directors, producers and actors in attendance



# COMMENTS

Township of Langley Project No. 08-23-164

Proposed Residential Development at 20244, 20276, and 20348 73A Avenue &  
20235 and 20263 72B Avenue in Langley, BC

I believe this a great development proposal.  
Brings more economic benefit to the city and the  
growing area. More jobs and we have the  
infrastructure built to accommodate it.

Viewing the Essence Properties website it shows  
that the Property Development Company has created  
great community structures that co inside with  
the environment and surrounding areas.  
Quality built Townhomes with minimal  
impacts to the community.

This proposal will make the area look more  
complete and will provide families with  
affordable living.

Please drop off your comment sheet in the comments box or:

- Email to Aplin Martin: [openhouse@aplinmartin.com](mailto:openhouse@aplinmartin.com)
- Fax to Aplin Martin : 604-597-9061

Thank you for your input. Your opinions are important to us and will guide us in our  
decision making as we progress through the design process of this project.

## Contact info:

Name s.22(1) \_\_\_\_\_

Phone s.22(1) \_\_\_\_\_

Address s.22(1) \_\_\_\_\_

Email Address s.22(1) \_\_\_\_\_

Public Information Meeting

Thursday, February 8, 2018

Proposed Residential Development at 20244, 20276, and 20348 73A Avenue & 20235 and 20263 72B Avenue in Langley, BC

	Name:	Address:	Phone or Email
	s.22(1)	s.22(1)	
1			
2			s.22(1)
3			s.22(1)
4			
5			
6		s.22(1)	s.22(1)
7			s.22(1)
8		s.22(1)	s.22(1)
9		Langley - Langley	
10	s.22(1)	s.22(1)	s.22(1)
11	+ Kim Richter	Langley, BC.	
12		s.22(1)	s.22(1)
13			
14			
15			F.1
16			



APLIN & MARTIN CONSULTANTS LTD.

1680 – 13450 102<sup>ND</sup> AVENUE, SURREY, BC V3T 5X3 | [WWW.APLINMARTIN.COM](http://WWW.APLINMARTIN.COM) | (604) 639-3456



August 17, 2017

Township of Langley  
Planning and Development Department  
20338 – 65 Ave  
Langley, BC, V2Y-3J1

Attention: Ruby Sandher  
Planner

Dear Ruby:

**RE: 20244, 20276 & 20348 73A Ave. & 20235 & 20263 72B Ave. - Townhouse  
Development Rezoning/Development Permit Application**

Attached please find drawings and documentation in support of our application for a Rezoning and Development Permit to allow for the development of a multi-family project comprised of 22 master on main units, 80 townhouse units, and 75 condo units. The site falls within the Central Gordon neighbourhood in the Willoughby Community Plan and is in an area designated as both “Townhouse B” and “Apartment” on the Central Gordon Land Use Map. The “Townhouse B” designation permits a density of 12 – 40 upa (based on gross site area), and the “Apartment” designation permits a density of 40 – 60 upa (based on gross site area). The total subject site is 8.09 gross acres, with the master on main and townhouse site comprising of 6.801 acres, and the condo site comprising of 1.290 acres. This translates to a permissible density of 22 units for the master on main site, 80 units for the townhouse site, and 75 units for the condo site.

The site plan includes a pedestrian greenway path along the western edge, fronting 202A Street, as well as pedestrian pathways throughout the townhouse site to allow access to the fronting sidewalks and the various amenity spaces. All fronting units within the master on main and townhouse site will offer entrances facing the pedestrian sidewalks to take advantage of access to the public walkways. Interior units are situated with most front entrances facing the amenity and public spaces to take advantage of the open space these areas provide. A central active amenity space features a large indoor clubhouse, an outdoor patio/BBQ area, a play area, a putting green, and seating. The condo site will also include an active amenity space that features a BBQ area, a

fire pit, a play area, and lounge seating. A passive amenity space will also be offered within the master on main site, and will include a BBQ area, garden plots, arbors, and additional seating

Both the master on main and the townhouse site plan include large side-by-side units, with the condo site plan including one level of underground parking. The condo site will include 75 units within 4 storeys and will contain a mixture of 1 – bedroom units (30%) and 2 – bedroom units (70%). The buildings exteriors are designed with today's modern families in mind and include cement board siding and shingles, board and batten siding, stone accents on the master on main and townhouse units, and brick accents on condo units. No vinyl siding will be used on the exterior. Three complimentary colour schemes have been proposed to introduce variety to the site.

Overall, we have designed a plan for this site to suit the needs of a wide variety of homeowners. The master on main units provide a space for empty nesters and families alike that are looking for a larger space without the price of a single family home. The townhouse units allow young families a place to grow without having to purchase a larger townhome or a single family home. Finally, the condo units provide a space for both first time homebuyers and people looking to downsize.

We plan on starting construction on the site immediately following final approval and do not have any plans on selling the property once the rezoning is complete. We would prefer to apply for building permits once the plans are deemed to be acceptable.

We look forward to working with the Township on this project. Should you have any questions or require any additional information please do not hesitate to contact the undersigned.

Yours Truly,

*Brodie Barber*

Brodie Barber  
**Development Coordinator**  
 MB. 604.360.7271  
 Email. [brodie@essenceliving.com](mailto:brodie@essenceliving.com)  
[www.essenceliving.com](http://www.essenceliving.com)

**THE CORPORATION OF THE TOWNSHIP OF LANGLEY****TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500  
AMENDMENT (ESSENCE PROPERTIES INC.) BYLAW 2018 NO. 5381****EXPLANATORY NOTE**

Bylaw 2018 No. 5381 rezones property located at 20235 and 20263 -72B Avenue, 20244, 20276, and 20348 – 73A Avenue from Suburban Residential SR-2 to Comprehensive Development Zone CD-124 to permit a comprehensive residential development consisting of 22 two (2) storey townhouses, 80 three (3) storey townhouses, and a 75 unit four (4) storey apartment building.



## THE CORPORATION OF THE TOWNSHIP OF LANGLEY

### TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500 AMENDMENT (ESSENCE PROPERTIES INC) BYLAW 2018 NO. 5381

A Bylaw to amend Township of Langley Zoning Bylaw 1987 No. 2500

WHEREAS it is deemed necessary and desirable to amend “Township of Langley Zoning Bylaw 1987 No. 2500” as amended;

NOW THEREFORE, the Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as “Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Essence Properties Inc.) 2018 Bylaw No. 5381”.
2. The “Township of Langley Zoning Bylaw 1987 No. 2500” as amended is further amended by:
  - a. Adding to the Table of Contents and to Section 104.1 – Zones the words “Comprehensive Development Zone CD- 124” after the words “Comprehensive Development Zone CD-123”
  - b. Adding to Section 110.1 after the words “CD-123” the words “CD-124 – In accordance with Section 1024.8”
  - c. By adding after Section 1023 “Comprehensive Zone CD-123” the following as Section 1024 “Comprehensive Development Zone CD-124”

#### 1024 **COMPREHENSIVE DEVELOPMENT ZONE CD-124**

##### **Uses Permitted**

- 1024.1 In the CD-124 Zone only the following *uses* are permitted and all other *uses* are prohibited:
- 1) *accessory buildings and uses*
  - 2) *accessory home occupations* subject to Section 104.3
  - 3) *residential uses* subject to Section 1024.2

##### **Residential Uses**

- 1024.2 Residential uses shall consist of 102 townhouses and 75 apartments on lands rezoned by Bylaw No. 5381

##### **Location of Residential Uses**

- 1024.3 The location of each *residential use* shall be in accordance with Section 1024.12.

##### **Lot Coverage**

- 1024.4 The maximum permitted *lot coverage of buildings and structures* shall be in accordance with the following:

Lot <sup>(1)</sup>	Maximum permitted <i>lot coverage</i> of <i>buildings</i> and <i>structures</i>
Lot 'A'	44%
Lot 'B'	43%
Lot 'C'	42%

<sup>(1)</sup> As indicated in Section 1024.12

### **Siting of Buildings and Structures**

- 1024.5 *Buildings* and *structures* shall be sited in accordance with the provisions of a Development Permit.

### **Height of Buildings and Structures**

- 1024.6 Except as provided for in Section 104.5 the *height* of principal *buildings* and *structures* shall be in accordance with and not exceed Section 1024.12 and a Development Permit. The *height* of *accessory buildings* and *structures* shall not exceed 6 metres or one *storey*, whichever is lesser.

### **Parking and Loading**

- 1024.7 Parking and loading shall be provided in accordance with Section 107.

### **Subdivision Requirements**

- 1024.8 All *lots* created by *subdivision* shall comply with Section 110 of this Bylaw, the Township of Langley Subdivision and Development Servicing Bylaw 2011 No. 4861 as amended and as follows:

Lot <sup>(1)</sup>	Minimum <i>Lot Area</i>
Lot 'A'	6,000 m <sup>2</sup>
Lot 'B'	14,000 m <sup>2</sup>
Lot 'C'	3,000 m <sup>2</sup>

<sup>(1)</sup> As generally indicated in Section 1024.12

### **Landscaping, Screening and Fencing**

- 1024.9 Landscaping areas, landscaping screens and fencing shall be provided in accordance with the Development Permit.

### **Age Friendly Amenity**

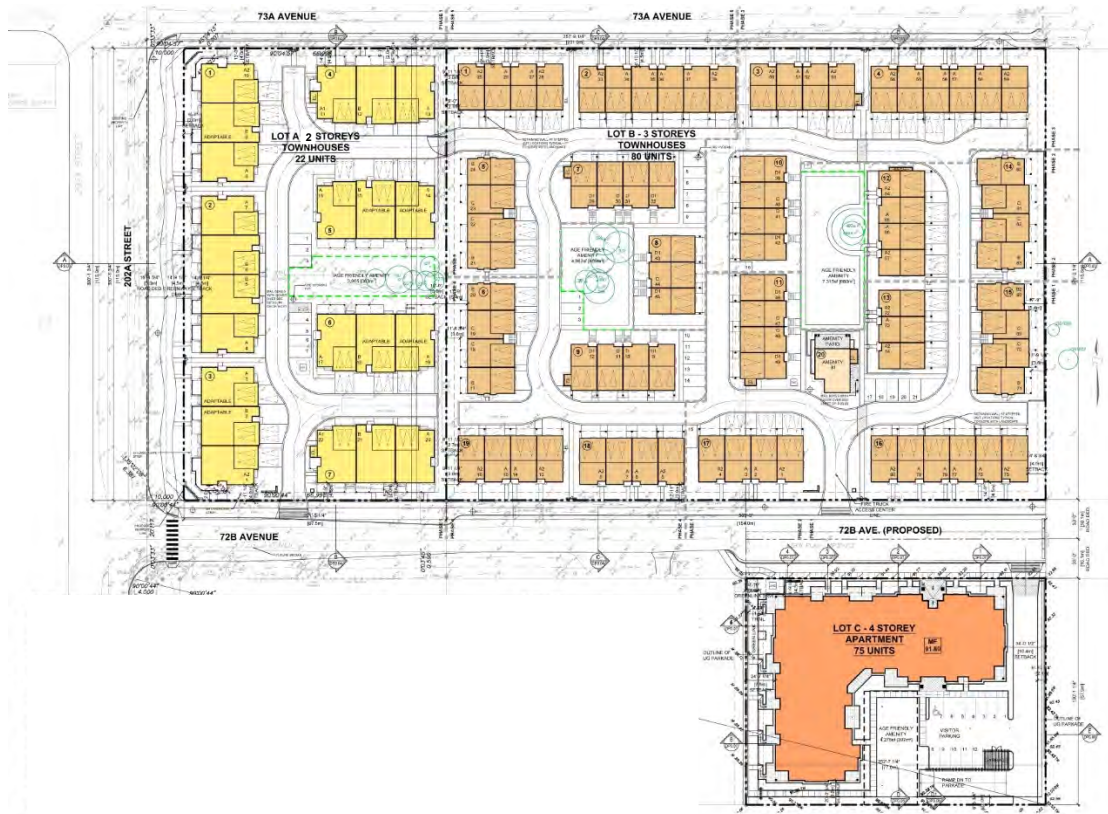
- 1024.10 Age Friendly Amenity areas shall be provided in accordance with Section 111.5 and in accordance with a Development Permit.

### **Development Permit Requirements**

- 1024.11 A Development Permit shall be issued by Council prior to issuance of a Building Permit.

**Overall Development Plan**

- 1024.12 Development in this zone shall conform substantially with Drawing DP-0.01 prepared by Focus Architecture Incorporated dated January 26, 2018 as shown below:



3. The "Township of Langley Zoning Bylaw 1987 No. 2500" as amended is further amended by rezoning the lands described as:

Lot 73,74,75,76 Plan 41978 & Lot 80 Plan 47681 All of Section 23, Township 8, NWD

as shown delineated on Schedule "A" attached to and forming part of this Bylaw to Comprehensive Development Zone CD-124.

READ A FIRST TIME the	day of	, 2018.
READ A SECOND TIME the	day of	, 2018.
PUBLIC HEARING HELD the	day of	, 2018.
READ A THIRD TIME the	day of	, 2018.
RECONSIDERED AND ADOPTED	day of	, 2018.
the		

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
Township Clerk



# SCHEDULE 'A' BYLAW NO. 5381

