

Township of
Langley



Est. 1873

REPORT TO MAYOR AND COUNCIL

PRESENTED:	MARCH 19, 2018 - PUBLIC HEARING	REPORT:	18-32
FROM:	COMMUNITY DEVELOPMENT DIVISION	FILE:	08-23-0123
SUBJECT:	DEVELOPMENT PERMIT APPLICATION NO. 100952 (YORKSON DOWNS WEST DEVELOPMENTS LTD. / 20673 - 78 AVENUE)		

PROPOSAL:

Development Permit application for a six (6) storey apartment building containing a total of 144 units at 20673 – 78 Avenue in the Willoughby Town Centre area of Yorkson.

RECOMMENDATION SUMMARY:

That Council authorize issuance of Development Permit No 100952 subject to six (6) conditions, plus seven (7) conditions to be met prior to issuance of a building permit.

RATIONALE:

Staff are supportive of the development as it meets the intent of the Development Permit Area provisions of the Willoughby Community Plan and complies with the site's Comprehensive Development CD-89(I) zoning.



RECOMMENDATION:

That Council authorize issuance of Development Permit No. 100952 to Yorkson Downs West Developments Ltd. for property located in the 20673 - 78 Avenue subject to the following conditions:

- a. Building and signage plans being in substantial compliance with Schedules “A” through “G”;
- b. Landscape plans being in substantial compliance with Schedules “H” through “J” and in compliance with the Township’s Street Tree and Boulevard Planting Policy and Age Friendly Amenity Area Requirements, to the acceptance of the Township;
- c. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township’s Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection), to the acceptance of the Township;
- d. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments;
- e. Registration of a restrictive covenant requiring a minimum of 15 of units to be provided as adaptable housing and identifying the adaptable units; and,
- f. All refuse areas to be located within buildings and/or in enclosures and screened to the acceptance of the Township.

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

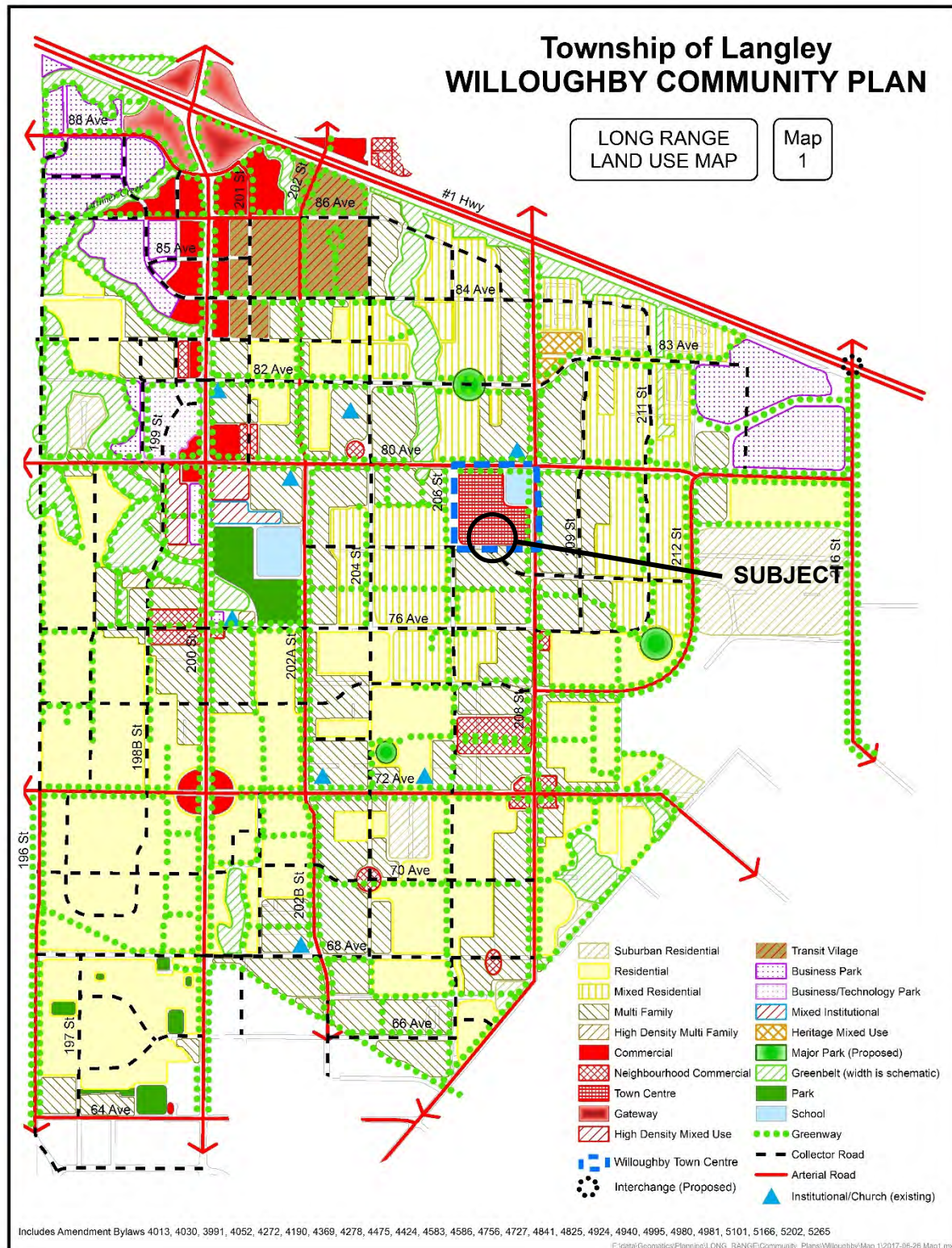
- a. Completion of all items listed in, and discharge of, restrictive covenant BB4047896 to the acceptance of the Township;
- b. Completion of all items listed in, and discharge of, restrictive covenant BB4047897 to the acceptance of the Township;
- c. Completion of all items listed in, and discharge of, restrictive covenant BB1492122 to the acceptance of the Township;
- d. Landscaping and boulevard treatment being secured by letter of credit at the Building Permit stage;
- e. Tree retention, replacement and protection in compliance with the Township’s Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) being secured by letter of credit, including payment of associated administration fees;
- f. Submission of a site specific on-site servicing, including construction of the works within the existing access right of way, and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw; and, an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township; and,
- g. Payment of the 5% Neighbourhood Parkland Fee, applicable Development Cost Charges, supplemental development permit application fees and building permit administration fees.

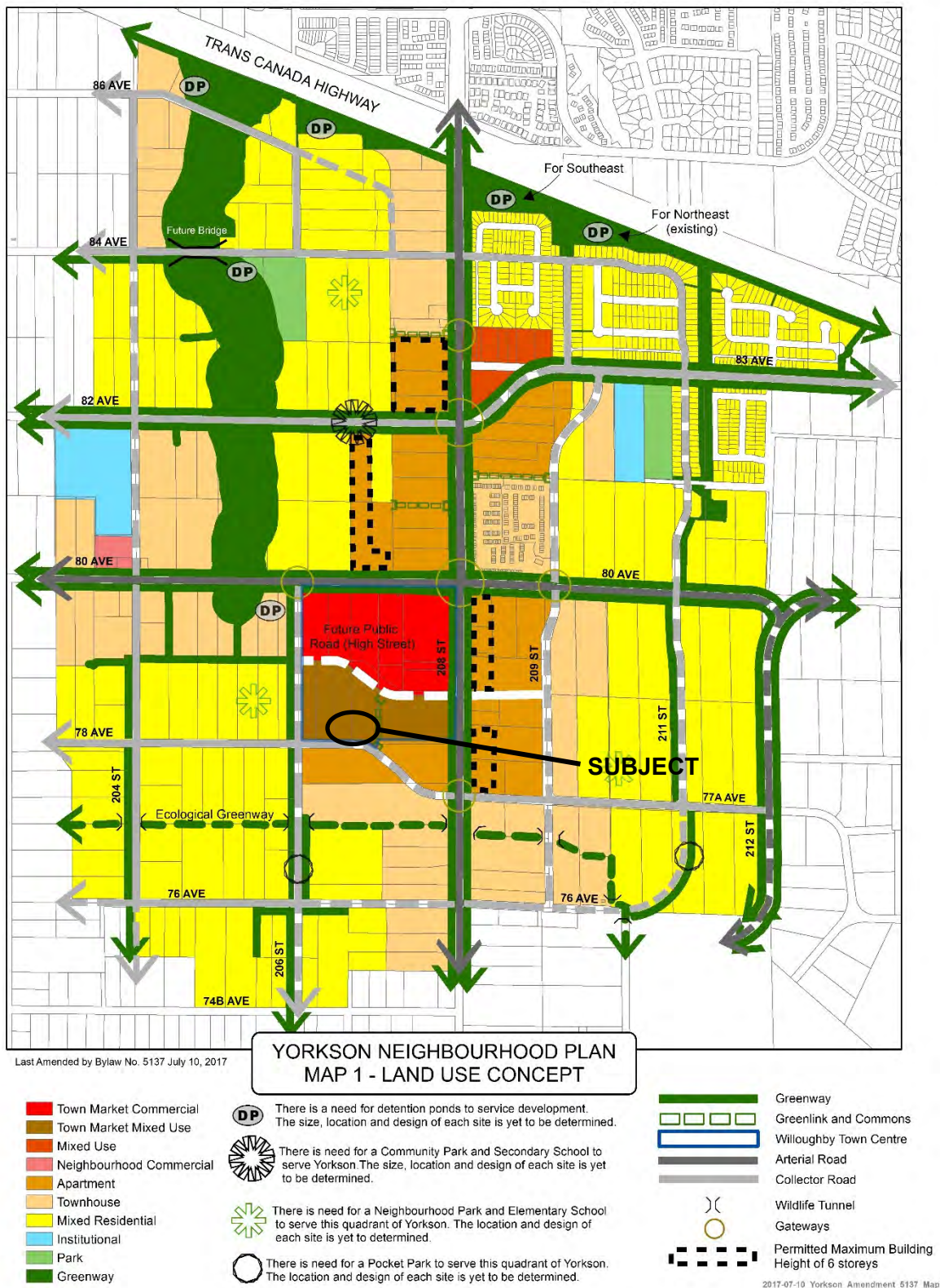
EXECUTIVE SUMMARY:

Yorkson Downs West Developments Ltd. has applied for a development permit for a six (6) storey apartment building containing a total of 144 units. Staff are supportive of the development proposal as it meets the intent of the Development Permit Area provisions of the Willoughby Community Plan and complies with the site’s current Comprehensive Development Zone CD-89(I). Issuance of Development Permit No. 100952 is recommended subject to six (6) conditions, plus seven (7) conditions to be applied at the building permit stage.

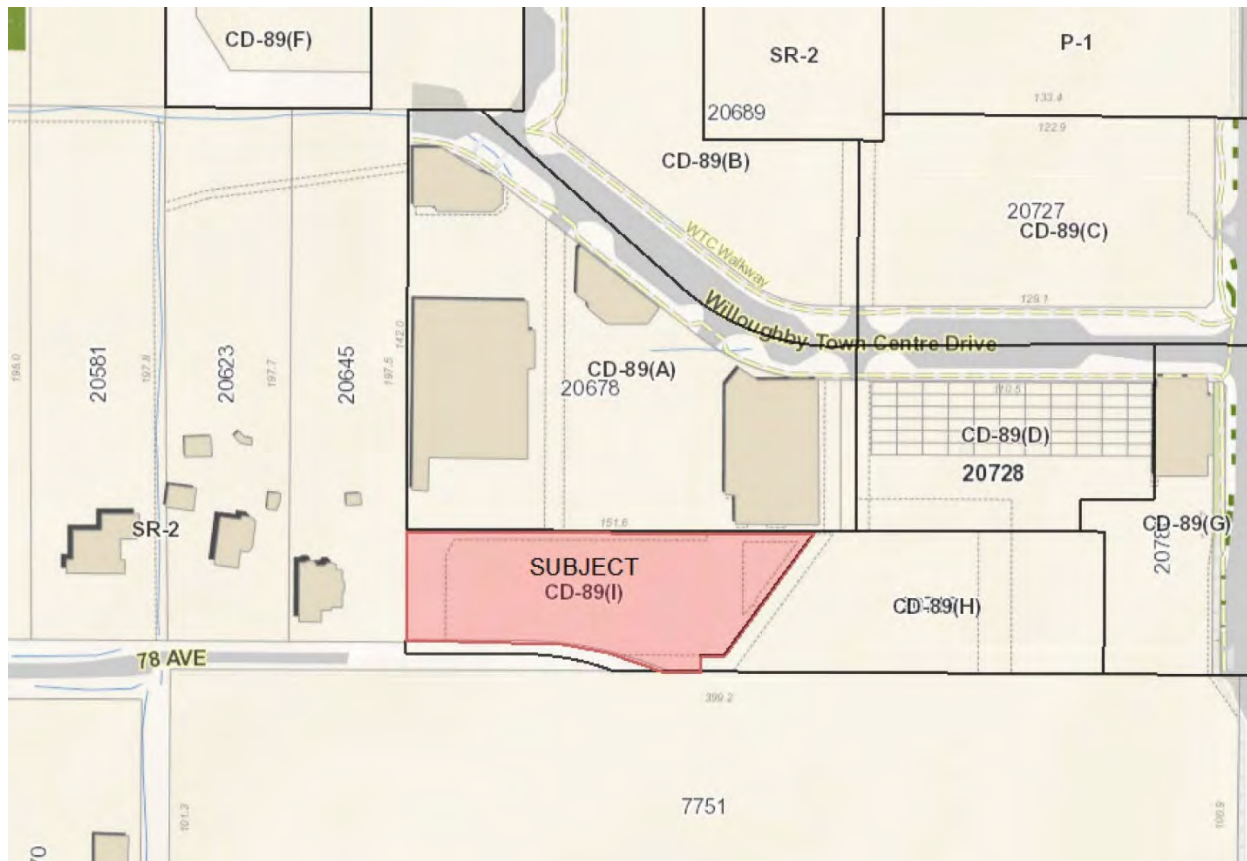
PURPOSE:

The purpose of this report is to provide information and recommendations regarding proposed Development Permit No. 100952 for property located at 20673 – 78 Avenue in the Willoughby Town Centre area of Yorkson.





DEVELOPMENT PERMIT APPLICATION NO. 100952
(YORKSON DOWNS WEST DEVELOPMENTS LTD. / 20673 – 78 AVENUE
Page 5 . . .



ZONING BYLAW NO. 2500



View of the building from the south side of 78 Avenue.



View of the southwest corner of the building from the south side of 78 Avenue.

RENDERINGS – SUBMITTED BY APPLICANT



REFERENCE:

Owner / Applicant:	Yorkson Downs West Developments Ltd. 201 - 3550 Mt. Lehman Road Abbotsford, BC V4X 2M9
Legal Description:	Lot 9 Section 23 Township 8 NWD Plan BCP50948
Location:	20673 - 78 Avenue
Area:	0.586 ha (1.45 ac)
Existing Zoning:	Comprehensive Development Zone CD-89 [Sub-zone CD-89(I)]
Willoughby Community Plan:	Willoughby Town Centre
Yorkson Neighbourhood Plan:	Town Market Mixed Use

BACKGROUND/HISTORY:

The subject site is designated Town Market Mixed Use in the Yorkson Neighbourhood Plan and was rezoned to Comprehensive Development Zone CD-89(I) in 2011 by QC Holdings Ltd. Since 2011, properties to the north and east have developed in keeping with the intent of the Yorkson Neighbourhood Plan.

Conditions of the rezoning application included registration of “scorched earth” restrictive covenants prohibiting issuance of a building permit for a residential building until such time as the neighbourhood park and elementary school site are secured for the catchment, the basic adaptable housing requirements policy is fulfilled, the 5% Neighbourhood Parkland Policy is satisfied and security for construction of the green link and 78 Avenue is provided. The applicant understands that a building permit will not be issued for the proposed development until such time as the remaining outstanding items listed in the restrictive covenants are satisfied. Included as conditions of the building permit are completion of all items listed in the restrictive covenants and discharge of the restrictive covenants.

DISCUSSION/ANALYSIS:

Yorkson Downs West Developments Ltd. has applied for a development permit to facilitate construction of a six (6) storey apartment building containing a total of 144 units on a vacant parcel at 20673 - 78 Avenue in the Willoughby Town Centre.

ADJACENT USES:

- North:** the Willoughby Town Centre commercial development (zoned Comprehensive Development Zone CD-89(A)), beyond which is Willoughby Town Centre Drive with additional commercial development under construction beyond;
- South:** 78 Avenue, beyond which is a 10.8 ha (26.7 ac) land assembly (zoned Suburban Residential Zone SR-2), currently under application (third reading granted February 2014) to rezone and subdivide to allow 303 apartment units, 75 mixed residential units and 239 townhouse units; a Development Permit application is currently being processed for 93 of the townhouse units on the portion of the site directly south of 78 Avenue across from the subject site;

- East:** A greenlink (providing a pedestrian route from 78 Avenue to Willoughby Town Centre Drive), beyond which is a property (zoned Comprehensive Development Zone CD-89(H)) on which two (2) six (6) storey apartment buildings containing a total of 136 apartment units are currently under construction;
- West:** a suburban residential property (zoned Suburban Residential SR-2) designated “Town Market Mixed Use” in the Yorkson Neighbourhood Plan.

DEVELOPMENT PERMIT:

The Yorkson Neighbourhood Plan area is designated a mandatory development permit area in the Willoughby Community Plan. The site is located in Development Permit Area K – Town Market Mixed Use, the guidelines for which are contained in the Willoughby Community Plan (Attachment B). The Development Permit Area K guidelines establish objectives and provide guidelines for the form and character of commercial and residential development. The primary objective of this development permit area is to encourage development in support of a pedestrian oriented Town Market.

At six (6) storeys tall, the proposed apartment buildings are defined as mid-rise buildings (five (5) to twelve (12) storeys in height). As a result, the High Density Development Permit N Guidelines (Attachment C) contained in the Willoughby Community Plan are also applicable. The objective of the High Density Development Permit Guidelines is to ensure that new buildings are compatible with surrounding development. In accordance with Council’s policy, supporting materials have been provided detailing the development’s form, character and siting. Proposed Development Permit No. 100952 is attached to this report (Attachment A).

The project is comprised of a six (6) storey apartment building containing 144 units. The building is proposed on a site fronting 78 Avenue on the southern edge of the Willoughby Town Centre, located south of commercial buildings fronting Willoughby Town Centre Drive. Vehicular access to the site is proposed from 78 Avenue (in the southwest corner of the property). The proposed access will connect to the adjacent commercial development to the north, providing a vehicular connection (via a previously secured access easement) from the commercial development to 78 Avenue. Pedestrian access routes are proposed to the west and north of the building connecting to a “greenlink” along the east edge of the site, providing a route from 78 Avenue through adjacent commercial sites (to the north) to Willoughby Town Centre Drive.

The proposed building consists of two (2) six (6) storey apartments joined at the ground level by the common facilities for the building (lobby and indoor amenity areas for use of all residents). A total of 144 units is proposed ranging in size from 55 to 102 m² (589 to 1,102 ft²) and including 13 one bedroom units, 119 two bedroom units and 12 three bedroom units. Each unit is provided a deck, a storage locker (in the parking level) and an electric car ready plug for the parking stall.

Outdoor amenity areas are proposed on the north and south sides of the building, and on the roof of the lobby. Indoor amenity space is proposed on the ground floor level adjacent to the building lobby. An outdoor amenity area was constructed on the eastern end of the site as part of a previous development permit application. The outdoor amenity area is secured by easement for use by the residents of 20728 Willoughby Town Centre Drive and is also available for use by the future residents of the subject building.

The overall mass and height of the proposed building is reduced by the proposal to provide the building in two compartments connected by the ground floor common spaces. The colour and material distribution and building articulation further moderate the overall mass and height of the building. Ledge stone cladding and a horizontal moulding applied to the first two floors help

define a pedestrian scale base to the development. Each ground floor unit is provided a direct connection to the adjacent pedestrian sidewalks further supporting the pedestrian orientation of the development. The top of the building is defined by a colour and material change from blue horizontal clapboard siding to a light cementitious panel siding. Timber details and decorative trellises at the roof, entrances and base of the decks provide visual interest. The proposed peaked roofs allow all mechanical equipment to be completely screened from view. The open decks incorporate black and glass railings to provide visual interest. Colours and materials were selected by the applicant to coordinate with the existing commercial and mixed-use buildings to the north in the Willoughby Town Centre as well as the recently approved buildings to the east. At grade utilities (i.e. PMT's) and parkade exit stairs are screened by wood slat trellis structures consistent with the detailing provided on the building.

The proposed density (245 uph / 99 upa), height (six storeys), lot coverage (40%), and siting comply with the provisions of the Comprehensive Development CD-89(I) zone. The development, in staff's opinion, is in keeping with the applicable development permit area guidelines (Attachments B and C).

Access and Parking:

Access to the site (and the parkade access ramp on the west edge of the proposed building) is provided by a shared driveway connecting to 78 Avenue in the southwest corner of the site. The driveway also connects to the adjacent commercial development to the north, providing access to 78 Avenue from the commercial development. This driveway was not constructed at time of construction of the adjacent commercial development to the north as 78 Avenue was not built at an urban standard capable of supporting the traffic. Adjacent and nearby development applications will be constructing 78 Avenue between 204 Street and 208 Street to an urban standard. As a result, the restrictive covenant prohibiting access to 78 Avenue from the subject site may be discharged once 78 Avenue is available to use. Discharge of the restrictive covenant is included as a condition of the Building Permit.

Pedestrian access to the adjacent neighbourhood and commercial services will be provided by a sidewalk on 78 Avenue, and pedestrian routes to the west, southeast and north of the building. Pedestrian access is also provided by way of the greenlink connecting 78 Avenue to Willoughby Town Centre Drive along the eastern edge of the site.

The applicant is proposing two (2) levels of underground parking to accommodate 255 parking spaces, 149 storage lockers and the waste management facilities for the development. A summary of the proposed parking is provided below:

	Parking Spaces Required	Parking Spaces Provided
Residential Spaces (144 units) (1.5 spaces per unit)	216 (includes 22 visitor parking spaces) 194 residential spaces	233
Visitor Parking Spaces (10% of total spaces required)	22 (included in total)	22
Total	216	255

A total of 255 parking spaces are proposed on the site consisting of 233 spaces for the units and 22 visitor parking spaces.

Adaptable Housing:

In accordance with Section 4.2.1(9) of the Yorkson Neighbourhood Plan, a minimum of 10% of the units (14 units for this development) in an apartment building shall provide adaptable housing. Council has chosen to implement this provision through the adoption and implementation of Schedule 2 Adaptable Housing Requirements of the Township's Official Community Plan. The applicant proposes to provide 15 adaptable units in compliance with the Policy. A condition of the Development Permit is registration of a restrictive covenant identifying the 15 units proposed and requiring them to be constructed in accordance with the Policy.

Landscaping:

The landscape plans (Attachment A – Schedule H) propose planting of trees, shrubs and groundcovers on the perimeter of the site to soften the edge of the site and to define private patios and ground floor entrances to the individual units in the building. The individual entrances are further developed with trellis and fencing features at the edge of the site. The site grading design considers the anticipated site grading for future development on the adjacent property. Planting beds are stepped to screen the parkade wall and to ensure a transition to the pedestrian realm on adjacent sidewalks.

Age Friendly Amenity Area:

Section 111.5 of the Zoning Bylaw requires provision of Age Friendly Amenity Areas (4 m² per apartment unit) for apartment buildings, resulting in a requirement of 576 m² (6,200 ft²) for this development. In addition to the amenity area already constructed on the eastern end of the site (secured by easement for the use of the residents of 20728 Willoughby Town Centre Drive), the landscape architect has included a total Age Friendly Amenity Area of 581 m² (6,254 ft²). The Age Friendly Amenity Area incorporates two (2) amenity areas to the north and south of the proposed building consisting of natural and structured play equipment and a roof top deck over the lobby. The overall design and inclusion of the amenity area satisfies the Age Friendly Amenity Area requirements of the Zoning Bylaw.

Tree Protection / Replacement:

Tree retention, protection and replacement plans were secured by the Township as part of the original rezoning application for the Willoughby Town Centre. The applicant proposes to plant 59 trees on the site in keeping with the replacement tree requirements. Final tree retention, protection and replacement plans are subject to final acceptance of the Township prior to Building Permit.

School Sites:

School District 35 has provided comments (Attachment D) and anticipates that the proposed development will generate approximately 11 new students for Willoughby Elementary School (located approximately 220 m north of the subject site), 5 students for Yorkson Creek Middle School (located approximately 1.2 km north of the subject site) and 8 students for RE Mountain Secondary School (located approximately 1.9 km west of the subject site).

Parks:

The closest park to the proposed development is Richard Bulpitt Park located approximately 750 m south east of the subject site across 208 Street.

Servicing:

Full municipal services were secured to the site through previous rezoning and subdivision applications. At the building permit stage, the applicant will be required to submit a site specific on-site servicing, including construction of the works within the existing access right of way, and

stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw; and, an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw to the acceptance of the Township.

Environmental Considerations:

The Township's Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township's Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Schedule 3 of the Langley Official Community Plan Streamside Protection and Enhancement, Erosion and Sediment Control Bylaw, and the Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations. The provisions of stormwater management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter. There are no watercourses on the subject site.

Transit:

Transit service (route 595 linking Langley Centre to Carvolth Exchange and Maple Meadows Station) operates on 208 Street with stops east of the subject site on 208 Street and Willoughby Town Centre Drive.

Public Information Meeting:

In keeping with Section 4.1 Meeting Criteria of the Developer Held Public Information Meetings Policy 07-614, a Public Information Meeting is not required for a stand-alone Development Permit, as is proposed in this application. As a result, no Developer Held Public Information Meeting was held.

POLICY CONSIDERATIONS:

The proposed development is located in an area designated as Town Centre in the Willoughby Community Plan and Town Market Mixed use in the Yorkson Neighbourhood Plan. The proposed development complies with the intent of the land use plan and development permit area provisions of these plans, and with the current CD-89(I) zoning. Council consideration of the Development Permit must be based on the form, character and siting of the proposal. Staff recommend that Development Permit No. 100952 be issued as attached, subject to six (6) conditions as outlined in the Development Permit and seven (7) conditions noted at time of building permit. Staff have notified adjacent property owners that this development permit application is being considered at this meeting and that they may attend and speak to the matter should they deem it necessary.

Respectfully submitted,

Teresa Hanson
 SENIOR PLANNER
 for
 COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A	Development Permit No. 100952 and Schedules "A" through "J":
ATTACHMENT B	Excerpt from the Willoughby Community Plan – Development Permit Area K Guidelines
ATTACHMENT C	Excerpt from the Willoughby Community Plan – Development Permit Area N Guidelines
ATTACHMENT D	School District 35 Comments

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 100952

This Permit is issued this _____ day of _____, 2018 to:

1. Name: Yorkson Downs West Developments Ltd.

Address: 201 - 3550 Mt. Lehman Road
Abbotsford, BC V4X 2M9

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Lot 9 Section 23 Township 8 NWD Plan BCP50948

CIVIC ADDRESS: 20673 - 78 Avenue

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:
- a. Building and signage plans being in substantial compliance with Schedules "A" through "G";
 - b. Landscape plans being in substantial compliance with Schedules "H" through "J" and in compliance with the Township's Street Tree and Boulevard Planting Policy and Age Friendly Amenity Area Requirements, to the acceptance of the Township;
 - c. Provision of a final tree management plan incorporating tree retention, replacement and protection details in compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection), to the acceptance of the Township;
 - d. Rooftop mechanical equipment to be located so that it is not visible from adjacent roads or alternatively screened from view by compatible architectural treatments;
 - e. Registration of a restrictive covenant requiring a minimum of 15 of units to be provided as adaptable housing and identifying the adaptable units; and,
 - f. All refuse areas to be located within buildings and/or in enclosures and screened to the acceptance of the Township.

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

- a. Completion of all items listed in, and discharge of, restrictive covenant BB4047896 to the acceptance of the Township;
- b. Completion of all items listed in, and discharge of, restrictive covenant BB4047897 to the acceptance of the Township;
- c. Completion of all items listed in, and discharge of, restrictive covenant BB1492122 to the acceptance of the Township;
- d. Landscaping and boulevard treatment being secured by letter of credit at the Building Permit stage;
- e. Tree retention, replacement and protection in compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) being secured by letter of credit, including payment of associated administration fees;

- f. Submission of a site specific on-site servicing, including construction of the works within the existing access right of way, and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw; and, an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township; and,
 - g. Payment of the 5% Neighbourhood Parkland Fee, applicable Development Cost Charges, supplemental development permit application fees and building permit administration fees.
4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Development Permit shall be substantially commenced within two years after the date the Development Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2018.

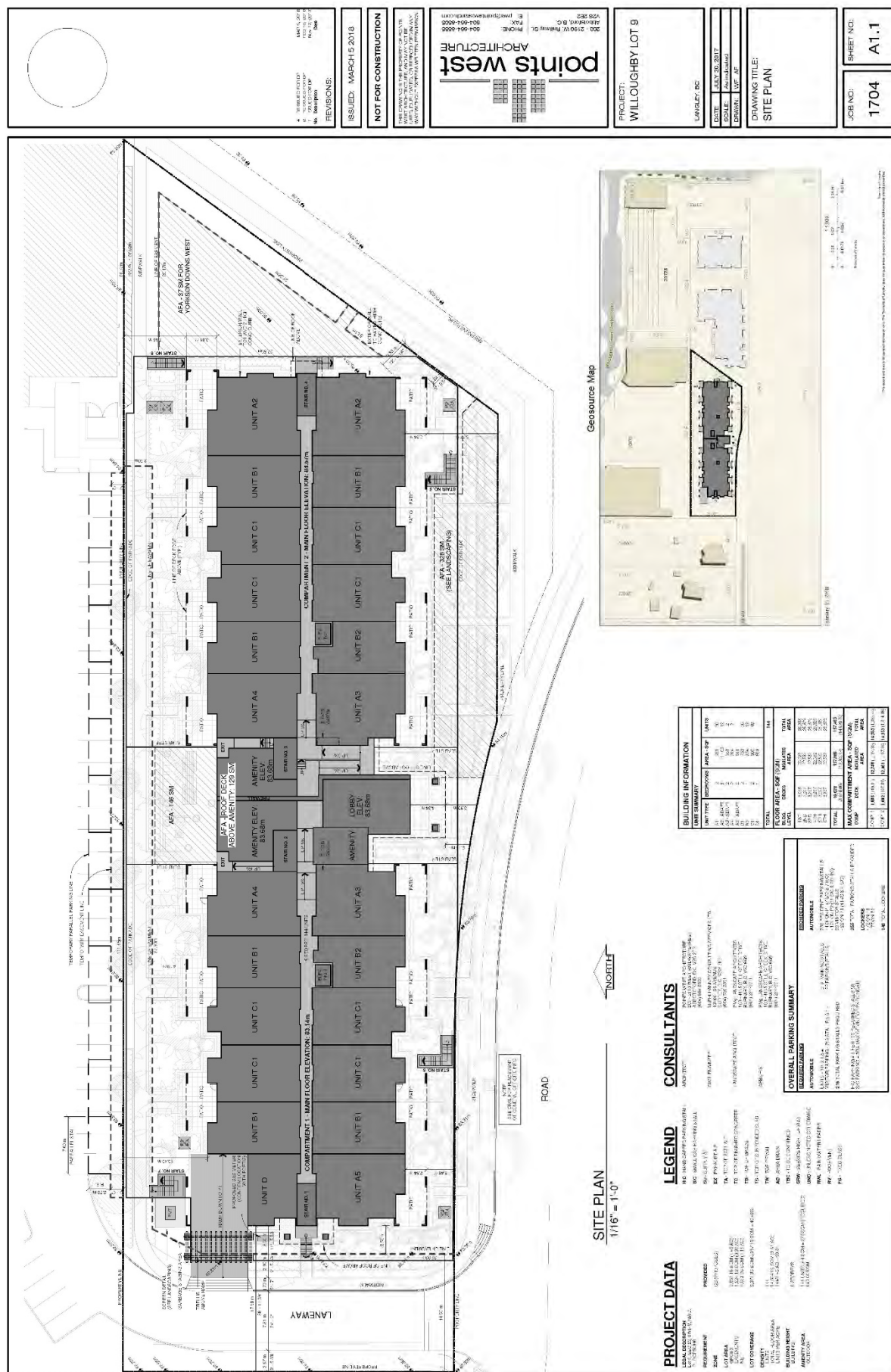
Attachments:

SCHEDULE A	Rendering
SCHEDULE B	Site Plan
SCHEDULE C	North Building Elevations
SCHEDULE D	East and West Building Elevations
SCHEDULE E	South Building Elevations
SCHEDULE F	North and South Lobby Building Elevations
SCHEDULE G	East and West Internal Building Elevations
SCHEDULE H	Landscape Plan
SCHEDULE I	Amenity Area Landscape Plan
SCHEDULE J	Rooftop Amenity Area Landscape Plan



SCHEDULE A RENDERING

SCHEDULE B SITE PLAN





SCHEDULE D EAST AND WEST BUILDING ELEVATIONS



SCHEDULE E SOUTH BUILDING ELEVATIONS





SCHEDULE G EAST AND WEST INTERNAL BUILDING ELEVATIONS



Copyright reserved. This drawing and design is the property of PHG Landscape Architects and may not be reproduced or used for other projects without their consent.

ANGLEY PROJECT #
8-23-0123

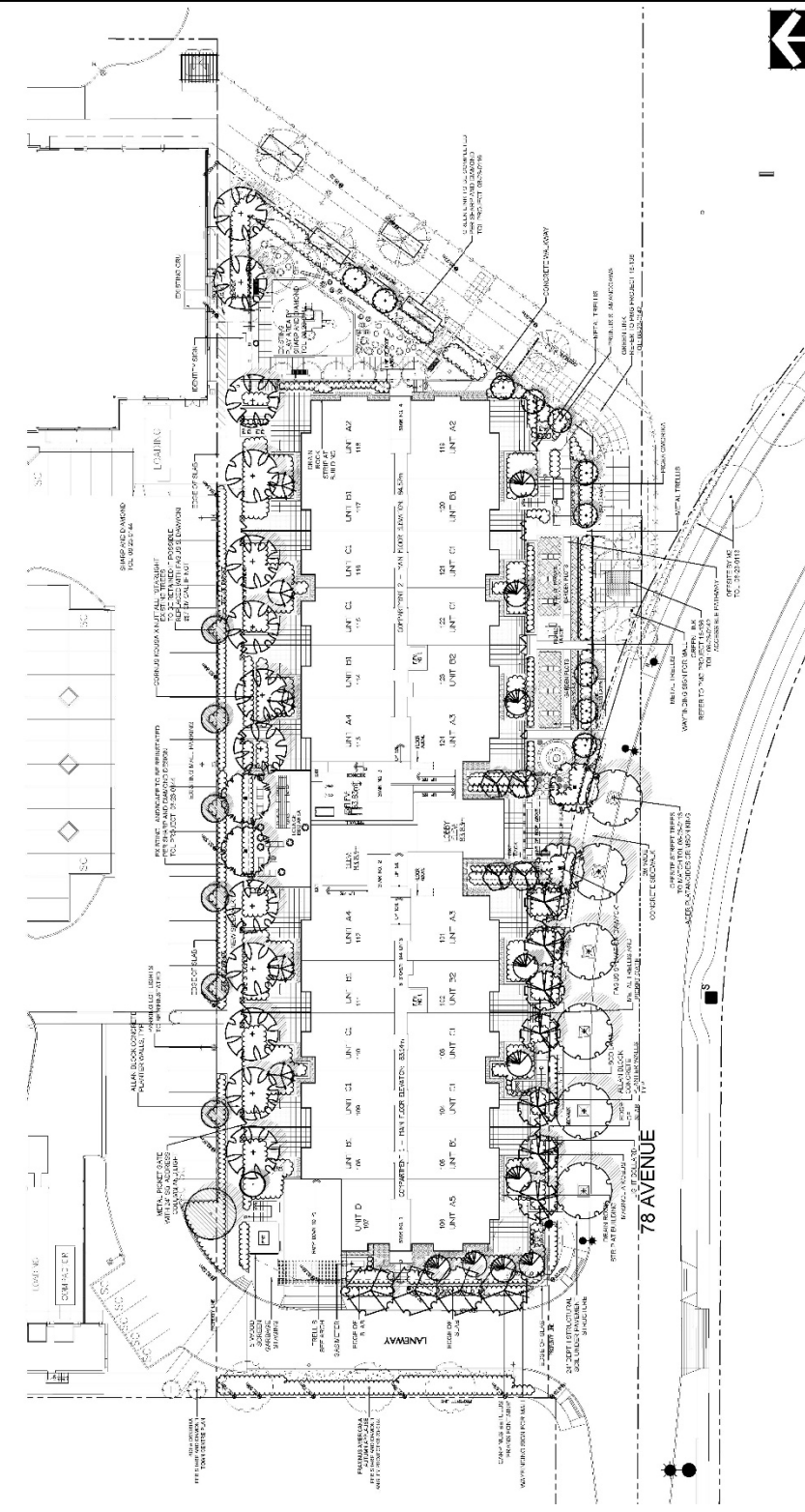
**WILLOUGHBY LOT 9
RESIDENTIAL DEV.
ANGLEY, BC**

RAWING TITLE,
LANDSCAPE
JAN

[illegible]

PLANT SCHEDULE			ON SITE TIMES	PLANTED DATE	PHOTO PROJECT NUMBER: 11-106
KEY	QTY	PLANT NAME			
1	1	ACEF. N. NAT. M.		APRIL 2012	
2	1	ACEF. N. NAT. M.		APRIL 2012	
3	1	ACEF. N. NAT. M.		APRIL 2012	
4	1	ACEF. N. NAT. M.		APRIL 2012	
5	1	ACEF. N. NAT. M.		APRIL 2012	
6	1	ACEF. N. NAT. M.		APRIL 2012	
7	1	ACEF. N. NAT. M.		APRIL 2012	
8	1	ACEF. N. NAT. M.		APRIL 2012	
9	1	ACEF. N. NAT. M.		APRIL 2012	
10	1	ACEF. N. NAT. M.		APRIL 2012	
11	1	ACEF. N. NAT. M.		APRIL 2012	
12	1	ACEF. N. NAT. M.		APRIL 2012	

CITY OF CHICAGO		PLANT SCHEDULE		STREET TREE		COMMON NAME		PLANTED DATE / REMOVED		PRID PROJECT NUMBER / DATE	
1	2	3	4	5	6	7	8	9	10	11	12
											</



© Copyright reserved. This drawing and design is the property of pmg architects and is not to be reproduced or used for other projects without their permission.

pmg
ARCHITECTS
Sara C.100 - 1155 8th Ave
Vancouver, BC V6C 2E6
P: 604.266.1111 F: 604.266.1022

DETAIL



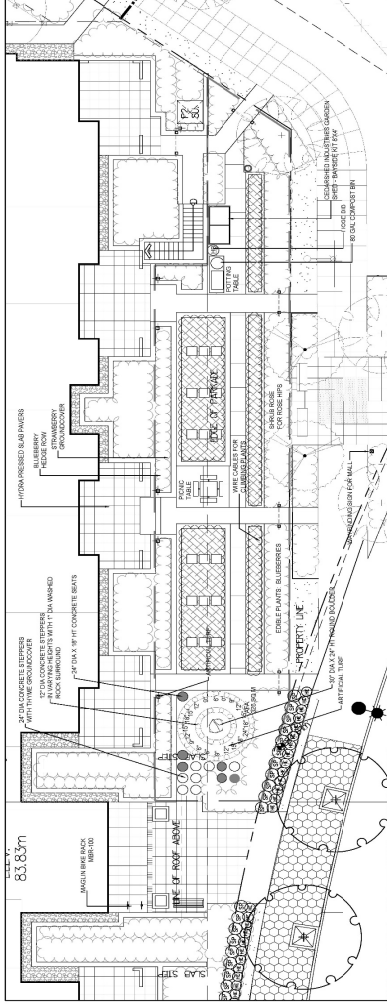
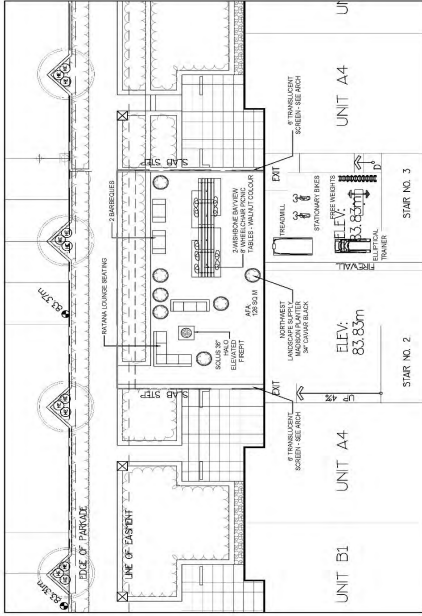
PICNIC TABLE



FIRE PIT



LOUNGE SEATING



CONCRETE STEPPERS



EDIBLE LANDSCAPE



COMMUNITY GARDEN



COMMUNITY GARDEN

PROJECT:
WILLOUGHBY LOT 9
RESIDENTIAL DEV.
LANGLEY BC

DRAWING TITLE:
AGE FRIENDLY
AMENITY AREA

DATE: 12/07/20
SCALE: 1"=10'-0"
DRAWN: DD
DESIGN: DD
CHECK: MKY
PHS PROJECT NUMBER: 17.186



Est. 1873

LANGLEY PROJECT #
08-23-0123

S	IC	DATE	FOR SITE NAME	CO
1	348	11-11-77	BL. PLANTAGINACEAE. FLOWERS YELLOWISH-RED	DAWCV
2	349	11-11-77	NEP. SP. 200' TALL CAN-HERBS	DR.
A.C. DATE=				REVISION COLLECTION
COUNTRY				

2301121

**WILLOUGHBY LOT 9
RESIDENTIAL DEV.
LANGLEY, BC**

SPRING 1997

**ROOF DECK
AMENITY AREA**

DATE: 12/01/26
SCALE: 1"=10'-0"
SHEET: 20
DESIGN: 30
CIRCUIT: VCT
OF 7
PROJECT NUMBER: 17-186
DRAWING NUMBER: L5

4275012

2006-01-01



SCHEDULE J

ROOFTOP AMENITY AREA LANDSCAPE PLAN

- Loading areas shall be provided to the rear or sides of buildings, away from residential areas, and include additional screening architecturally integrated into the development. Loading areas on the sides of buildings will only be considered when additional screening and landscaping is provided (i.e. roofed and gated loading areas etc.).
- Loading areas on the Town Market road shall be provided to the rear of buildings, away from residential areas, and include additional screening architecturally integrated into the development.
- Where access and egress points are permitted on arterial roads they shall be consolidated to minimize the number of access points. In all other cases, consolidated access and egress points are preferred.
- Surface parking shall be provided for in a number of smaller areas rather than one large lot, and shall be located primarily in the interior of the site or otherwise screened from view. Surface parking shall integrate landscaping and other design elements to reduce the massing of parking areas.
- Vehicular entrances shall be landscaped.
- Parking to be in accordance with the street type typology where applicable.

Signage

- All signage should have a pedestrian scale and be architecturally integrated with the building(s) and/or landscaping. Sign design should also be coordinated throughout the development to establish a unified and attractive commercial area. All signage shall comply with the Township's Sign Bylaw, as amended, unless otherwise varied in a Development Permit.
- Projecting signs are encouraged.
- Pedestrian scale monument signs are encouraged only where necessary. Pylon signs are not permitted. Where permitted signs are limited to 3 metres height.
- Fascia signage shall consist of channel lettering (backlit illuminated light boxes and exposed neon signs are not permitted).

Exterior Lighting

- There shall be sufficient on-site illumination for pedestrian/vehicle safety and good exposure for retail uses. Illumination shall consist of full cut-off lighting fixtures and shall not encroach onto adjacent residential properties and must comply with the provisions of the Township's Exterior Lighting Impact Policy.

4.4.2 DEVELOPMENT PERMIT AREA “K” – TOWN MARKET MIXED USE

Lands identified as “Development Permit Area “K”– Mixed Use” on Map 4, Development Permit Areas are hereby designated as development permit areas under Section 488 (1)(f) of the Local Government Act to establish objectives and provide guidelines for the form and character of commercial and residential development.

The objective of this development permit area designation is to encourage development in support of a pedestrian oriented Town Market.

Unless the owner of land first obtains a development permit, land within this development permit area shall not be subdivided, and construction of, addition to or alteration of development must not be started.

Development permit guidelines are as follows:

General

- These guidelines apply to all mixed use designated areas including Town Market designated mixed-use buildings.
- These guidelines are to be implemented supplemental to the guidelines of Development Permit “N”. Where these guidelines conflict the more stringent guideline shall be implemented.

Site Design

- Buildings shall be developed to be pedestrian scale through provision of outdoor amenities, minimizing the visual impact of parking areas, creating landmarks and visual interest along street fronts.
- Ground-oriented design is required at street level facing.
- Spatial separation shall be provided to ensure privacy for all dwelling units on and adjacent to the site.
- When properly proportioned and articulated, mid-rises should introduce the opportunity for giving distinct form and presence to the development, providing the strong visual signal that is necessary to establish a unique identity in the Town Centre.
- Buildings shall be designed to maximize penetration of natural light into all dwelling units' corridors/stairwells.

Building Form

- Podium style mid-rises are encouraged as the predominant mid-rise building form.
- Each building front facing 78A Ave shall be in accordance with the Building Front Typology.
- Each unit of podium style high rises shall include its own separate pedestrian access to the street and a private patio space that shall be connected to the street access and screened and/or gated which is raised and separated vertically from the street by a minimum of 0.6 metres and maximum of 1 metre.
- In the Town Market area each mid-rise shall be a minimum of 5 storeys and maximum of 12 storeys in height. In the mixed use area a maximum height of 12 storeys is permitted.
- Higher buildings shall integrate with adjacent low-rise developments using similar materials, proportions and elements, where applicable and use design elements from the lower façades (ground to third floors) to increase visual interest and help integrate the design.
- Higher buildings shall have a slim elegant form and incorporate a terraced exterior.
- Any building setbacks from the front lot line shall be incorporated into the public sidewalk space. As such, a combination of hard and soft landscaping is encouraged.
- Each podium of a podium style high rise shall be required to have rooftop landscaping and rooftop access for tenants and include no more than 6 contiguous units fronting a given street without incorporating architectural elements to break up the massing of buildings facing the street.
- Design shall incorporate unique architectural elements for all elevations and roof.

Exterior Design and Finish

- Continuous weather protection, such as canopies, structural awnings, or building overhangs (galleries with arcades), is required where at-grade retail uses are included in a development and over common entries to commercial and/or mixed-use developments that front a public sidewalk or open space.

- All exposed base supports for structures that include signage, amenity features, building appurtenances and other site elements shall be architecturally integrated into the overall site design. Unadorned concrete and metal is not permitted.

Landscaping

- Provide primarily urban hard landscaping fronting onto 78A Avenue (see building front typologies). Landscape elements to include streetscape furniture, such as lighting, banners, trees, benches, tree grates, tree guards, bike racks, directions kiosks, umbrellas for outdoor seating, garbage receptacles etc. on private property to create a village atmosphere.
- Development is encouraged to retain existing significant trees within the development in accordance with the Township of Langley's Tree Protection Bylaw, as amended.
- On-site landscaping shall be required to enhance the appearance of the development, screen parking, loading and utility areas, and garbage containers/enclosures from adjacent properties and roadways. All utility boxes and meters shall be shown on the landscape plan.
- A landscape plan shall be prepared by a registered B.C. Landscape Architect.
- Playground facilities shall be provided, in accordance with the Township's Child Friendly Amenity Area requirements, as amended.

Parking Lot Landscaping

- In addition to trees and landscaping around the perimeter of surface parking areas, shade trees and landscaping is required within parking areas at the following frequency:
 - One tree per six parking stalls to be located in a minimum of 10 cubic meters of growing medium (structural soil, deep root soil cells, or planting beds) so that the tree will be sustained into maturity. Two adjoining rows of parking stalls (front to front) will require a minimum of one tree per bank of 12 parking stalls spaced no more than 18 meters between trees. A minimum grid placement of 18 meters on center should be attained for trees placed in parking areas. In addition to the foregoing, the end of each single row of parking stalls will require a tree and 2 metre wide landscaped area between the end parking stall and the adjacent drive aisle.
 - Trees within parking areas should be of a type and height (at least 8 feet) so that the clearance to the underside of the tree extends above the height of standard types of vehicles that do not require clearance lights. Deciduous shade trees should be a minimum of 6cm calliper with a 1.8 meter clear stem at time of planting. Tree stems must be protected on all sides with a minimum of 1 meter of clearance to the front face of an adjacent barrier curb or other protection from vehicle overhangs.
 - Shrubs and groundcovers should be planted around the base of all trees.

Parking and Pedestrian Circulation

- A minimum of 50% of the required parking shall be provided underground or contained within a building with no more than 50% surface parking. Remaining surface parking should be located to the rear or sides of buildings and designed sympathetically to the pedestrian environment.
- All pedestrian links on 78A Avenue shall be red coloured raised patterned concrete, interlocked brick or other similar natural or semi-natural material to differentiate the pedestrian environment.
- Surface parking shall be predominantly to the rear or side of buildings and away from the street.
- Where a building has parking to the front and rear building entrances shall be at or near the front of the building.
- Wheelchair access shall be provided throughout the development.

- Adequate secured, sheltered and screened bicycle parking be provided on-site for short term and long term bicycle parking/storage facilities.
 - Short term bicycle parking should be in well-lit locations and clearly visible from a main building entrance and/or public roads with bicycle racks made of sturdy, theft-resistant material that is securely anchored to the floor or ground.
 - Longer term bicycle storage areas provided (secured in a separate room/enclosed area) as part of a parking structure should be located close to elevators and access points.

Structured Parking

- At grade frontage shall be for commercial uses with only the access and egress points visible from the street.
- Vehicular access and egress points shall be combined with the presence and appearance of garage entrances should be minimized so that they do not dominate the street frontage of a building.
- Horizontal floor designs are preferred to allow for adaptive reuse. Scissored floor designs are not permitted.
- Entrances shall be subordinate the garage entrance to the pedestrian entrance in terms of size, prominence on the streetscape, location and design emphasis. This may be achieved sometimes through:
 - The relative importance of the garage entrance reduced by enhancing the pedestrian entrance.
 - Locating the entry on the side of the facade where it will draw less attention than if it is centered on the facade.
 - Recessing the portion of the facade where the entry is located to help conceal it.
 - Extending portions of the structure over the garage entry to help conceal it.
 - Emphasizing other elements of the facade to reduce the visual prominence of the garage entry.
 - Use of screening and landscaping to soften the appearance of the garage entry from the street.
 - Locating the garage entry where the topography of the site can help conceal it.
- Pedestrian entrances shall be separate from vehicular access points.
- Uses near access and egress points shall include design elements that reduce conflict between uses.
- Ramps to additional levels are to be contained within the structure and screened from view.
- Access and egress points shall have consistent sidewalk texture, colours and material for that portion intersecting with the streetscape.
- Provide separate parking areas for residential and commercial uses.
- The façade shall be architecturally integrated into the building and otherwise screened from view. Green walls and planters may be used in combination with architectural integration for this effect.
- Setbacks from above the second storey shall be incorporated into the design.
- If rooftop parking is provided additional landscaping shall be required consistent with Parking Lot Landscaping. Planters with arbors shall be provided continuously along the parapet.
- Lighting on the exterior (including the roof) shall be consistent with the entire building. Ornamental lighting shall be used on the rooftop parking areas.
- Public and private parking shall be clearly identified through a system of numbering and signage.

Signage

- All signage should have a pedestrian scale and be architecturally integrated with the building(s) and/or landscaping. Sign design should also be coordinated throughout the development to establish a unified and attractive commercial area. All signage shall comply with the Township's Sign Bylaw, as amended, unless otherwise varied in a Development Permit.
- Projecting signs are encouraged.
- Pedestrian scale monument signs are encouraged only where necessary. Pylon signs are not permitted.
- Fascia signage shall consist of channel lettering (backlit illuminated light boxes and exposed neon signs are not permitted).

Exterior Lighting

- There shall be sufficient on-site illumination for pedestrian/vehicle safety and good exposure for retail uses. Illumination shall consist of full cut-off lighting fixtures and shall not encroach onto adjacent residential properties and must comply with the provisions of the Township's Exterior Lighting Impact Policy.
- Decorative street lighting and ornamental poles shall match the development and be designed to the satisfaction of the Township.
- Ornamental poles shall be faced with architectural detailing to match the development theme.
- Street lighting accessories shall include single banner arms equipped with irrigation to allow for hanging baskets.
- Photocells are required for all street lighting to automatically control lights.

4.4.3 DEVELOPMENT PERMIT AREA "L" – YORKSON MIXED USE

Lands identified as "Development Permit Area "L" –Yorkson Mixed Use" on Map 4, Development Permit Areas are hereby designated as development permit areas under Section 488 (1)(f) of the Local Government Act to establish objectives and provide guidelines for the form and character of commercial and residential development.

The objective of this development permit area designation is to encourage development in support of a pedestrian oriented mixed use neighbourhood node designed in a manner compatible with existing heritage buildings.

Unless the owner of land first obtains a development permit, land within this development permit area shall not be subdivided, and construction of, addition to or alteration of development must not be started.

General

Development permit guidelines are as follows:

Site Design

- Building and site design should contribute an orderly and attractive appearance to the streets.
- Conflicts with adjacent residential land uses (where applicable) should be avoided through effective architectural design and landscaping.
- Access for the disabled should be provided for in building and site design.

- Recessing the portion of the facade where the entry is located to help conceal it.
- Extending portions of the structure over the garage entry to help conceal it.
- Emphasizing other elements of the facade to reduce the visual prominence of the garage entry.
- Use of screening and landscaping to soften the appearance of the garage entry from the street.
- Locating the garage entry where the topography of the site can help conceal it.
- Pedestrian entrances shall be separate from vehicular access points.
- Uses near access and egress points shall include design elements that reduce conflict between uses.
- Ramps to additional levels are to be contained within the structure and screened from view.
- Access and egress points shall have consistent sidewalk texture, colours and material for that portion intersecting with the streetscape.
- Provide separate parking areas for residential and commercial uses.
- The façade shall be architecturally integrated into the building and otherwise screened from view. Green walls and planters may be used in combination with architectural integration for this effect.
- Setbacks from above the second storey shall be incorporated into the design.
- If rooftop parking is provided additional landscaping shall be required consistent with Parking Lot Landscaping within Development Permit Area “J”. Planters with arbors shall be provided continuously along the parapet.
- Lighting on the exterior (including the roof) shall be consistent with the entire building. Ornamental lighting shall be used on the rooftop parking areas.
- Public and private parking shall be clearly identified through a system of numbering and signage.

Signage

- New development shall ensure that signage is:
 - An integral part of building and site design and its form, material, and character complements the types of activities being advertised;
 - Wood (painted, stained, sand blasted or carved) metal (cast, painted, embossed, or enameled), fabric, or painted/etched on windows or glazed door panels;
 - Not plastic, internally illuminated, back-lit awnings/canopies, electronic or moving signs or messages, or neon;
 - Primarily oriented to pedestrians on the sidewalk except gateway boulevard signs;
 - Illuminated externally by concealed fixtures with a heritage theme;
- Signs shall complement the architectural design and be approved by the project architect.

Lighting

- Lighting should be safety focused for visibility and the use of non-glare and direct lighting to minimize impacts to adjoining residential properties and in compliance with Township of Langley’s Exterior Lighting Impact Policy.

4.5 DEVELOPMENT PERMIT AREA “N” – HIGH DENSITY

High density development, consisting of mid – rise and high – rise buildings, contributes to a greater range and choice of housing opportunities and provides a unique housing form that in combination with other uses creates a well-designed compact neighbourhood.

Lands identified as “Development Permit Area “N” – High Density Development on Map 4, Development Permit Areas are hereby designated as development permit areas under Section 488 (1) (f) of the Local Government Act for the establishment of objectives for the form and character of commercial, industrial or multi-family residential development.

These development permit provisions will apply where the following developments are proposed:

- Mid - rise residential or mixed use developments between five and eleven storeys in height with a net density of up to 80 residential units per acre, and
- High - rise residential or mixed use developments over twelve storeys in height with a net density greater than 80 residential units per acre.

The objectives of this development permit designation are to:

- encourage development of attractive high density development;
- reduce conflict with adjacent land uses; and
- promote an appropriate interface with adjacent land uses.

Unless the owner of land first obtains a development permit, land within this development permit area shall not be subdivided, and construction of, addition to or alteration of a building or structure must not be started.

Development permit guidelines for high density development, to be applied in addition to those for the underlying development permit area as appropriate, are as follows:

- High density buildings shall be designed to be compatible with surrounding development.
 - High-rise buildings, where located directly adjacent to public streets, public open spaces and/or low rise development, should be designed in a “tower and podium” configuration.
 - Tower and podium configurations typically involve the combination of a two to four storey podium building with a tower above an active ground floor (commercial uses may be allowed along main streets where appropriate in accordance with Neighbourhood Plan provisions) and directly fronting a street, square or park.
 - Above the podium, towers should be set back a minimum of 2.5 metres (8.2 feet.) from the building edge to provide pedestrian scale and minimize shadowing and wind tunneling effects at street level.
 - Where a tower and podium configuration is adjacent to low-rise development, the podium height should reflect the height of adjacent buildings to create a coherent streetwall.
 - Podiums can be composed of townhouse, apartment units, commercial space and/or common amenity spaces. Apartment and townhouse units on the ground floor shall be ground-oriented and designed to provide a pedestrian scale. Commercial space shall be arranged so that it does not compromise the privacy, security and quiet enjoyment of adjacent residential uses. Where commercial uses are proposed within a mixed use development, they must be located on the lower floors including the ground floor.
 - Mid-rise buildings should be designed in a manner similar to high-rise, with a street fronting base and massing that steps back from the street above the height of adjacent buildings.
 - Mid-rise and high-rise towers located away from public street frontages can be developed without a podium component. The buildings can also be located behind other low-rise, street-fronting buildings.

- Where facing a street the enclosed space of any residential accommodation within a high density development shall be set back a minimum of 3.0 metres (9.8 feet) from adjacent property lines with the exception that along greenway frontages this setback may be reduced to 1.5 metres (5.0 feet).
 - An open spacing of tall buildings (over 6 storeys) shall be maintained to ensure adequate light, air, access and views for residents. The minimum facing distance between tall buildings shall be 40 metres (131 feet).
 - The placement of tall buildings (over 6 storeys) should achieve a diagonal spacing to avoid tall buildings looking directly into each other.
- The bulk of mid-rise and high-rise buildings shall be minimized via facade articulation, terracing, modulation of floor plans and facades, and shadowing.
 - High-rise buildings in particular shall be designed as slim, elegant point towers, to minimize view blockage and shadowing effects at street level. Maximum floor plates of 625 metres ² (6727 feet²) above the twelfth floor are strongly encouraged. Bulky, slab-like building designs are strongly discouraged.
- Mid-rise and/or high-rise buildings shall be spaced apart to maintain privacy and views for residents, while minimizing shadowing effects and the blockage of significant views at street level. Buildings and open space should be designed to provide exposure to direct sunlight throughout the year.
- The design of mid-rise and high-rise buildings, including building tops, roofs and podium buildings, should be architecturally distinct, enhance the skyline and provide a landmark quality to residential areas.
 - Mid-rise and high-rise buildings shall be designed to minimize visual impact on surrounding residential development, through the use of varying heights, staggered buildings facades, roof lines and compatible building finishes.
 - Multiple mid-rise and high-rise buildings located on the same development site shall be designed so that each building exhibits a compatible yet unique character.
 - Mid-rise and high-rise buildings should be architecturally integrated into podium buildings to ensure a consistent streetwall/façade treatment at the street level.
 - Mid-rise and high-rise buildings, particularly on podium buildings, shall provide an active roof that is landscaped and made accessible to tenants/residents as usable common/private outdoor space. “Green roof” designs are also strongly encouraged.
 - Mechanical equipment and appurtenances on mid-rise and high-rise roof tops should be completely screened and enclosed, preferably by integrated and innovative rooftop design.
- Mid-rise and high-rise building entrances shall be clearly visible and accessible from public streets and/or squares.
 - Resident and visitor drop off areas should be directly integrated into building entrance areas.
 - Building entrances shall be designed to provide adequate weather protection by incorporating awnings, canopies, porte-cocheres or other architectural elements.
 - Internal sidewalks connecting building entrances to the public sidewalk system shall be provided to allow for easy pedestrian circulation.
- Parking should be located within buildings or in underground parkades. Surface parking may be provided for visitors only, and should be in public view and easily accessible near the main building entrance. All parking spaces allocated for persons with disabilities should be located as close as possible to building entrances. Underground parking facility access should be, wherever possible, located to the rear or side of buildings and visually de-emphasized. Parking should be integrated into the overall development architecturally and in consideration of pedestrian movement.

- Garbage and recycling areas should be conveniently located for resident use and located ideally within the building or parkade, but not within any building setback areas.
- Public and private amenity spaces and facilities should be provided to enhance livability in and around mid-rise and high-rise developments. Indoor amenity space is encouraged and shall include a multi-purpose facility designed to accommodate a variety of activities. The amenity space should be linked directly to outdoor amenities and public walkways as well as integrated with the active rooftop requirement. Building height and massing shall be in proportion to adjacent open space.
- Crime Prevention through Environmental Design (CPTED), Child Friendly principles, and public art should be incorporated into the design of all buildings, parking areas and site development plans.
- To reduce the overall environmental impact and urban heat island effect of high density developments, emerging sustainable technologies like geothermal heating, water recycling and/or green roofs, and environmental construction certifications like 'LEED' or 'Built Green' must be pursued.
- The use of significant landscaping including green walls and roofs is encouraged to lessen the visual impact of high density developments.
- Storage and change facilities should be provided within buildings where appropriate to accommodate clothing and equipment such as bikes and scooters to promote accessible commuting and recreational opportunities.
- To facilitate transit, all high-rise development should be concentrated around (within 250 metres (820 feet) of) key arterial intersection nodes and within 400 metres (1312 feet) (walking distance) of transit routes.

5101
28/09/15

4.6 DEVELOPMENT PERMIT AREA “O” - ENERGY CONSERVATION AND GHG EMISSION REDUCTION

Lands identified as “Development Permit Area “O” – on Map 4A, Energy Conservation and GHG Emission Reduction Development Permit Area are hereby designated as development permit areas under Sections 488 (1) (h) and (j) of the Local Government Act to establish objectives to promote energy conservation and the reduction of greenhouse gas emissions.

The objectives of this development permit area are to:

- promote the conservation and efficient use of energy in buildings.
- reduce building generated greenhouse gas emissions (GHGs) and lead to the development of an energy efficient and sustainable community.
- optimize building energy performance.
- create a positive impact on the natural environment; locally in the protection of air quality and globally in the mitigation of rising atmospheric carbon dioxide levels.
- reduce the costs associated with the ongoing operation of buildings.
- encourage building occupant comfort and health.
- support innovation in building design including the use of passive and local renewable energy.

The Township of Langley is committed to fostering the development of complete, compact, energy efficient communities that are sustainable and resilient. The Sustainability Charter (2008) outlines several related objectives including promoting energy efficiency in new and retrofit buildings and promoting the use of local renewable energy.



7 March, 2018

Teresa Hanson
Senior Development Planner
Township of Langley
20338 65 Avenue
Langley, BC V2Y 3J1

RE: Project: 08-23-0123 / QUADRA HOMES/QC HOLDINGS LTD

CIVIC: 20600 Block of 78 Avenue

LEGAL: Lot 9 Section 23 Township 8 NWD Plan BCP50948

We have reviewed the above proposal. We calculate the approximate number of students generated by this proposal will be as follows:

Type of Housing	Number of Units	Elementary K-5	Middle 6-8	Secondary 9-12
Condos	144	11	5	8

Given the current school catchments this development would impact Willoughby Elementary School, Yorkson Creek Middle School and R.E. Mountain Secondary School.

There is currently sufficient capacity within the School District to enroll the students as noted above if the projected numbers were actually seeking admission to schools at the present time. While the School District is committed to making every effort to enroll students at their catchment schools, such may not be possible in all cases.

Please advise if you need any other information.

Yours sincerely,

Brian Iseli CPA, CMA
Secretary Treasurer