THE CORPORATION OF THE TOWNSHIP OF LANGLEY

TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500 AMENDMENT (ARCHWOOD DEVELOPMENTS LTD.) BYLAW 2018 NO. 5408

EXPLANATORY NOTE

Bylaw 2018 No. 5408 rezones property located at 8485 - 204 Street, 20291, 20323, 20341 and 20365 - 84 Avenue from Suburban Residential Zone SR-2 to Comprehensive Development Zone CD-128 to permit a comprehensive development consisting of 183 townhouse units.

A definition of floor space ratio is included in this bylaw to allow for consistent interpretation.

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500 AMENDMENT (ARCHWOOD DEVELOPMENTS LTD.) BYLAW 2018 NO. 5408

A Bylaw to amend Township of Langley Zoning Bylaw 1987 No. 2500

WHEREAS it is deemed necessary and desirable to amend "Township of Langley Zoning Bylaw 1987 No. 2500" as amended;

NOW THEREFORE, the Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

- This Bylaw may be cited for all purposes as "Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Archwood Developments Ltd.) Bylaw 2018 No. 5408".
- 2. The "Township of Langley Zoning Bylaw 1987 No. 2500" as amended is further amended by:
 - a. Adding to the Table of Contents and Section 104.1 Zones the words "Comprehensive Development Zone CD-128" after the words "Comprehensive Development Zone CD-127"
 - b. Adding to Section 102 Definitions after the definition of "Float Home" the following:

"FLOOR SPACE RATIO" – means the figure obtained when the area of all the floors of the buildings constructed or proposed to be constructed on a lot is divided by the area of the lot, subject to the following:

- a) when calculating the floor space ratio, undevelopable areas (as defined in Community Plans or Neighbourhood Plans) are excluded from the lot area in all zones.
- b) those areas used as an accessory use for parking within the building envelope or underground parking are excluded; and
- c) where parking is a principal use of the lot, those areas which are used for parking within the outermost walls of a building or underground shall be counted in the calculation.
- c. Adding to Section 110.1 after the words "CD-127" the words "CD-128 6,800 m²"
- d. Adding after Section 1027 "Comprehensive Development Zone CD-127" the following as Section 1028 "Comprehensive Development Zone CD-128"

1028 COMPREHENSIVE DEVELOPMENT ZONE CD-128

Uses Permitted

- In the CD-128 Zone, only the following *uses* are permitted and all other *uses* are prohibited:
 - 1) accessory buildings and uses
 - 2) accessory home occupations subject to Section 104.3
 - 3) townhouses subject to Section 1028.2

Density

The density permitted shall be no less than 0.9 *floor space ratio* and no greater than 1.2 *floor space ratio* as outlined in the Carvolth Neighbourhood Plan.

Residential Uses

No more than 183 townhouse units are permitted on lands rezoned by Bylaw No. 5408.

Lot Coverage

1028.4 Buildings and structures shall not cover more than 48% of the lot area.

Siting of Buildings and Structures

1028.5 *Buildings* and *structures* shall be sited in accordance with the provisions of a Development Permit

Height of Buildings and Structure

1028.6 Except as provided for in Section 104.5, the *height* of principal *buildings* and *structures* shall not exceed three storeys and will be in accordance with a Development Permit. The *height* of *accessory buildings* and *structures* shall not exceed 3.75 metres or one *storey*, whichever is lesser.

Parking and Loading

1028.8 Parking and loading shall be provided in accordance with Section 107.

Subdivision Requirements

All *lots* created by subdivision shall comply with Section 110 of this Bylaw and the Township of Langley Subdivision and Development Servicing Bylaw 2011 No. 4861 as amended.

Landscaping, Screening and Fencing

1028.10 Landscaping areas, landscaping screens and fencing shall be provided in accordance with Section 111 and in accordance with the Development Permit.

Age Friendly Amenity

1028.11 Age Friendly Amenity areas shall be provided in accordance with Section 111.5 and in accordance with the Development Permit.

Development Permit Requirements

1028.12 A Development Permit shall be issued by Council prior to issuance of a Building Permit.

Bylaw No. 5408 Page 3

3. The "Township of Langley Zoning Bylaw 1987 No. 2500" as amended is further amended by rezoning the lands described as:

Lot 65 Section 26 Township 8 New Westminster District Plan 66764

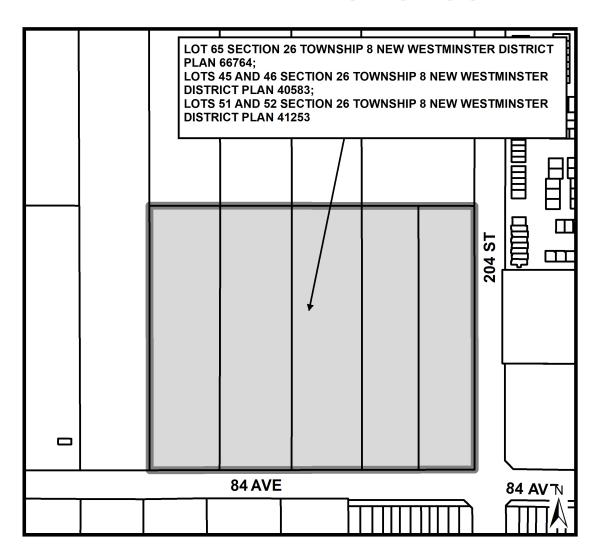
Lots 45 and 46 Section 26 Township 8 New Westminster District Plan 40583

Lots 51 and 52 Section 26 Township 8 New Westminster District Plan 41253

As shown delineated on Schedule "A" attached to and forming part of this Bylaw to Comprehensive Development Zone CD-128.

Mayor				Township Clerk
ADOPTED the		day of		, 2019.
RECEIVED THE APPROVAL OF THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE the		day of	October	, 2018.
READ A THIRD TIME the	01	day of	October	, 2018.
PUBLIC HEARING HELD the	17	day of	September	, 2018.
READ A SECOND TIME the	23	day of	July	, 2018.
READ A FIRST TIME the	23	day of	July	, 2018.

SCHEDULE 'A' BYLAW NO. 5408



THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Per	mit No. 100895		
This Permit is issu	ued this	_day of	_, 2018 to:
1. Name:	Archwood Developments Ltd.		

Address: 18883 – 55 Avenue Surrey, BC V3S 6S4

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Lot 65 Section 26 Township 8 New Westminster District

Plan 66764

Lots 45 and 46 Section 26 Township 8 New Westminster

District Plan 40583

Lots 51 and 52 Section 26 Township 8 New Westminster

District Plan 41253

CIVIC ADDRESS: 20291, 20323, 20341 and 20365 - 84 Avenue and

8485 - 204 Street

- 3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:
 - a. Building plans being in compliance with Schedules "A" through "BB" subject to integration and Township acceptance of lot grading;
 - Landscape plans being in substantial compliance with Schedules "BC" through "BG" and in compliance (subject to Township acceptance of lot grading) with the Township's Street Tree and Boulevard Planting Policy and Age Friendly Amenity Area requirements, to the acceptance of the Township;
 - c. All signage being in substantial compliance with Schedules "X", "AL" and "BB", and the Township's Sign Bylaw;
 - d. Mechanical equipment and ground level service equipment to be screened from view by compatible architectural and landscape treatments to the acceptance of the Township;
 - e. All refuse areas to be located within the buildings to the acceptance of the Township;
 - f. Registration of restrictive covenants to the acceptance of the Township:
 - prohibiting the townhouse unit garages from being developed for purposes other than parking of vehicles and prohibiting the development of secondary suites within individual townhouse units;
 - ii. prohibiting reliance on street parking; and,
 - iii. prohibiting access to 204 Street for the townhouse units.

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

a. Issuance of Energy Conservation and Greenhouse Gas Reduction DP101011;

DEVELOPMENT PERMIT NO. 100895 (ARCHWOOD DEVELOPMENTS LTD) Page 2 . . .

- b. Payment of supplemental Development Permit application fees, applicable Development Cost Charges, and Building Permit administration fees;
- c. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township's Exterior Lighting Impact Policy;
- d. Provision of a landscape lighting plan in compliance with the requirements of the Carvolth Neighborhood Plan to the acceptance of the Township;
- e. Landscaping and boulevard treatment being secured by letter of credit at the Building Permit stage;
- f. Written confirmation from owner and landscape architect or arborist that the tree protection fencing identified in the tree management plan is in place; and
- g. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw, and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, both with accompanying legal documents as required to the acceptance of the Township.
- 4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Development Permit shall be substantially commenced within two years after the date the Development Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2018.

Dandaringa

Attachments:

CCHEDITE 4

SCHEDULE A	Renderings
SCHEDULE B	Site Plan
SCHEDULE C	Lot A – Site Plan
SCHEDULE D-U	Lot A –Building 1 Elevations – Building 18 Elevations
SCHEDULE V-W	Lot A – Colour and Materials
SCHEDULE X	Lot A – Entry Sign
SCHEDULE Y	Lot B – Site Plan
SCHEDULE Z-AI	Lot B – Building 1 Elevations – Building 10 Elevations
SCHEDULE AJ-AK	Lot B – Colour and Materials
SCHEDULE AL	Lot B – Entry Sign
SCHEDULE AM	Lot C – Site Plan
SCHEDULE AN-AY	Lot C – Building 1 Elevations – Building 12 Elevations
SCHEDULE AZ-BA	Lot C – Colour and Materials
SCHEDULE BB	Lot C – Entry Sign

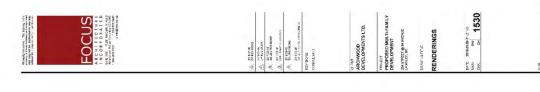
DEVELOPMENT PERMIT NO. 100895 (ARCHWOOD DEVELOPMENTS LTD) Page 3 . . .

> Typical Driveway Grade Transition Details Overall Landscape Plan Amenity Area Landscape Plan SCHEDULE BC

SCHEDULE BD

SCHEDULE BE – BG

DP-0.00b



SCHEDULE A RENDERINGS



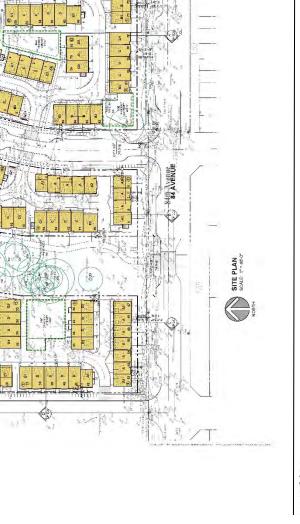




DP-0.01

D E

SCHEDULE B SITE PLAN



SITE RECONCILIATION

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SCHEDULE C LOT A – SITE PLAN



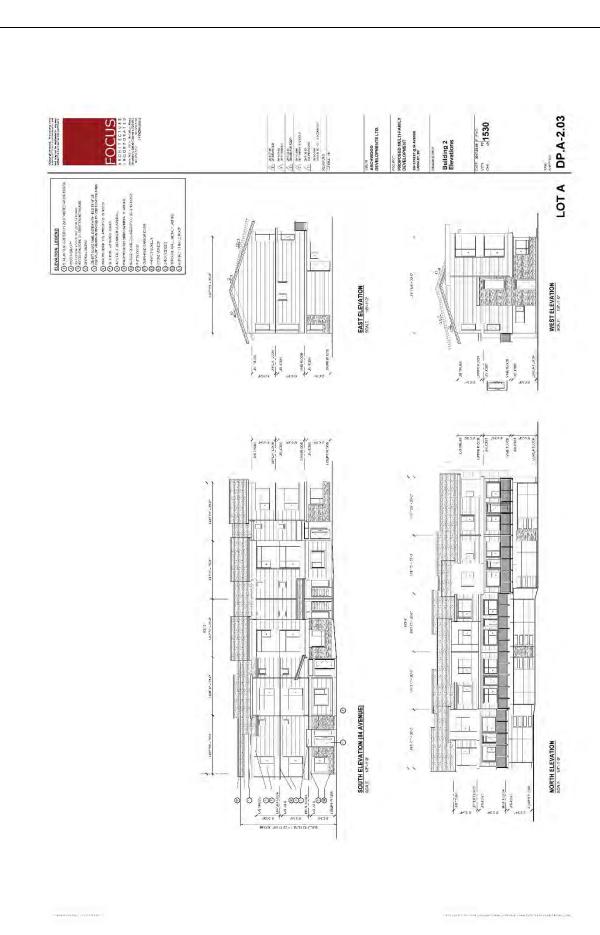


SCHEDULE D LOT A – BUILDING 1 ELEVATIONS



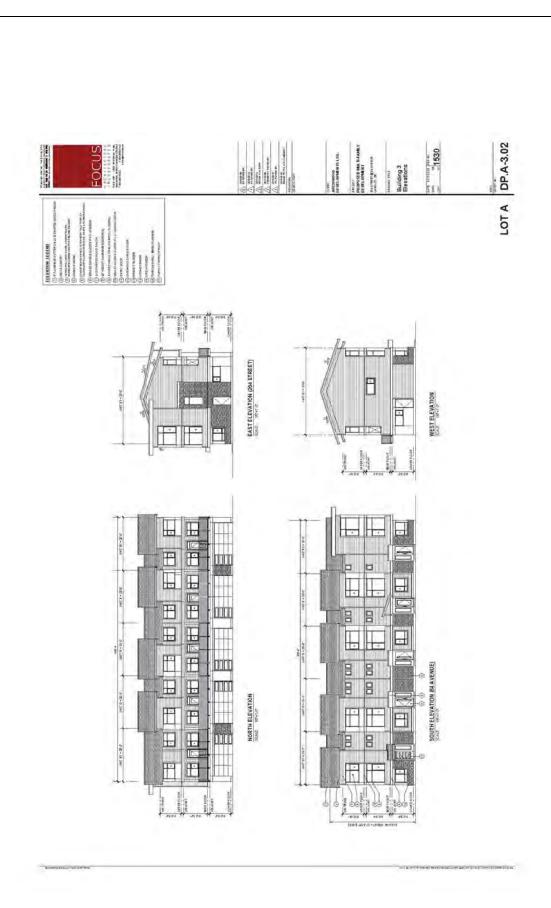


SCHEDULE E LOT A – BUILDING 2 ELEVATIONS



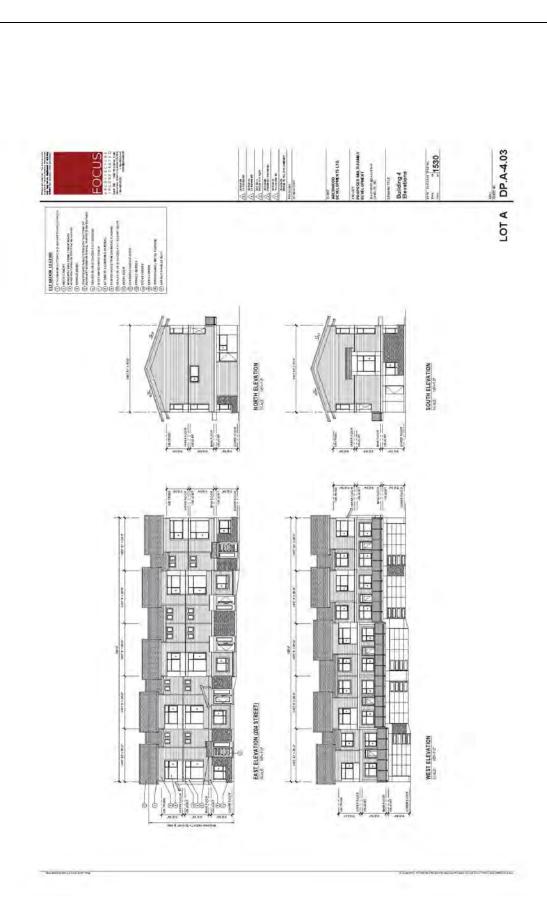


SCHEDULE F LOT A – BUILDING 3 ELEVATIONS

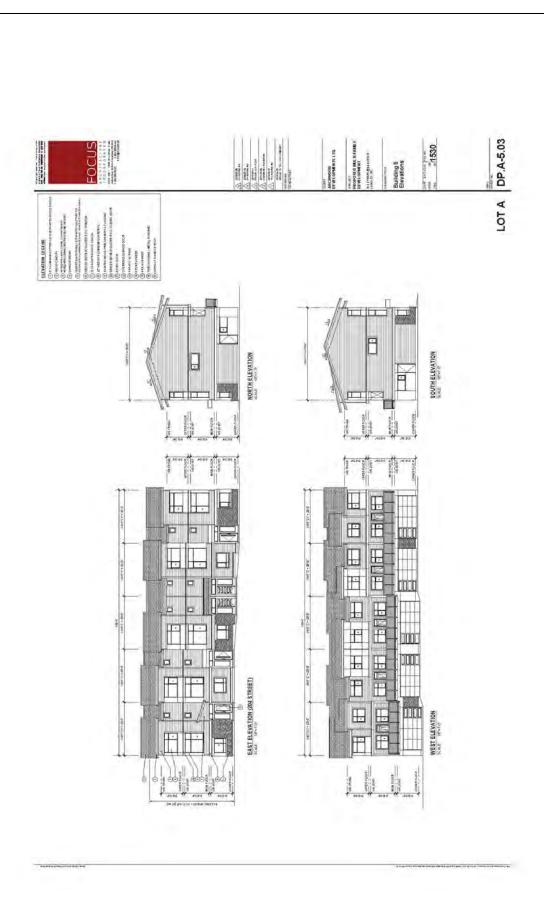




SCHEDULE G LOT A – BUILDING 4 ELEVATIONS

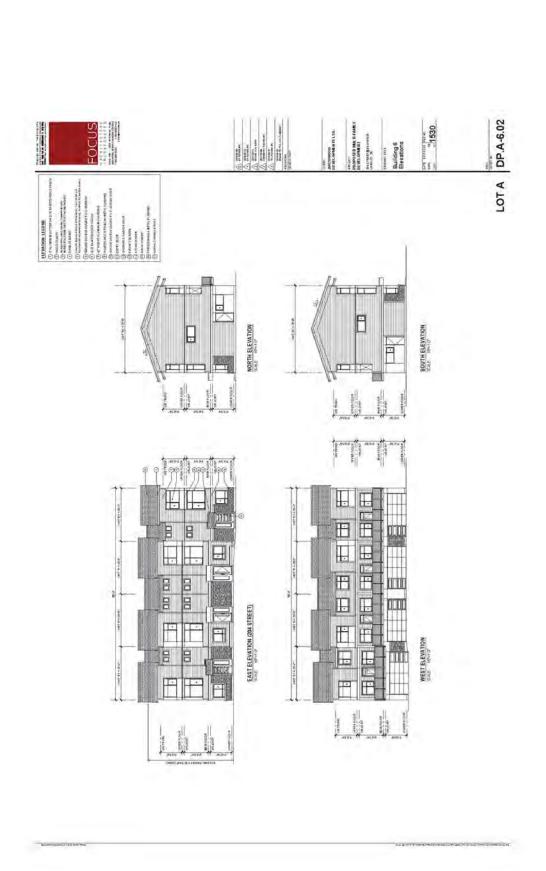


SCHEDULE H LOT A – BUILDING 5 ELEVATIONS



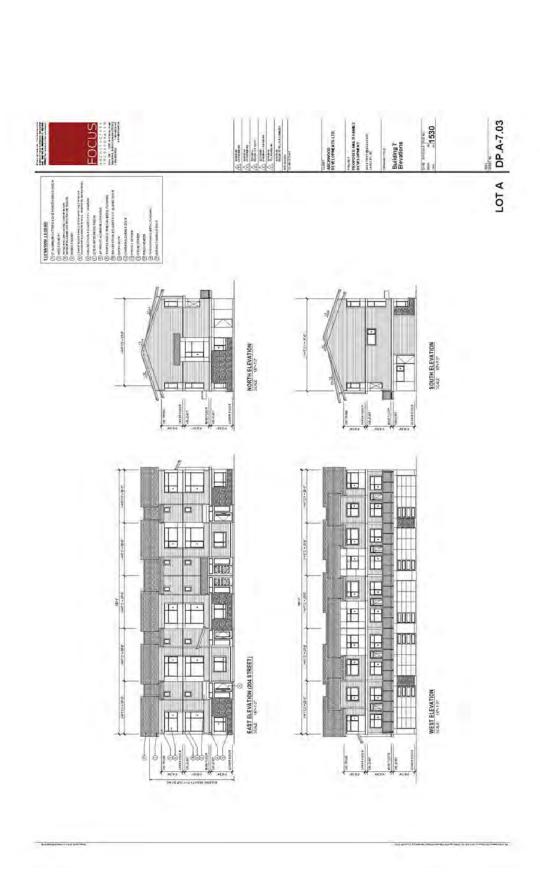


SCHEDULE I LOT A – BUILDING 6 ELEVATIONS

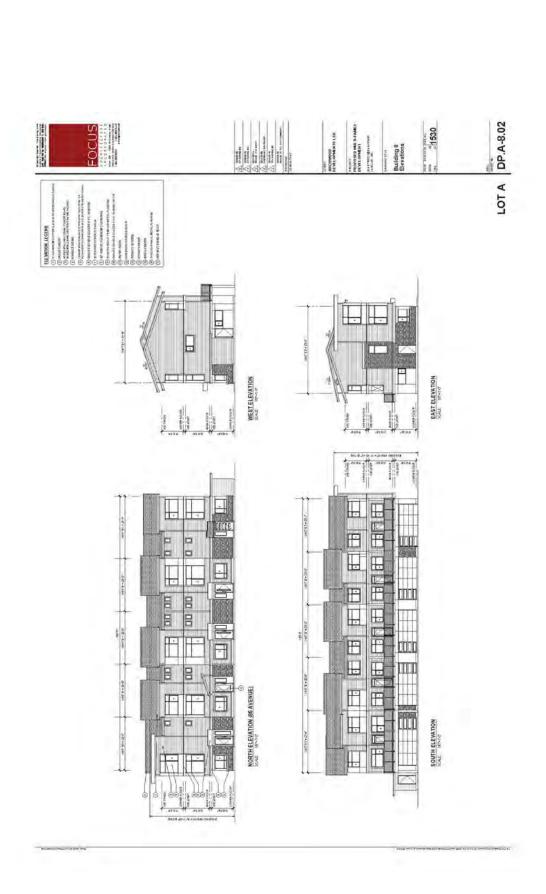




SCHEDULE J LOT A – BUILDING 7 ELEVATIONS

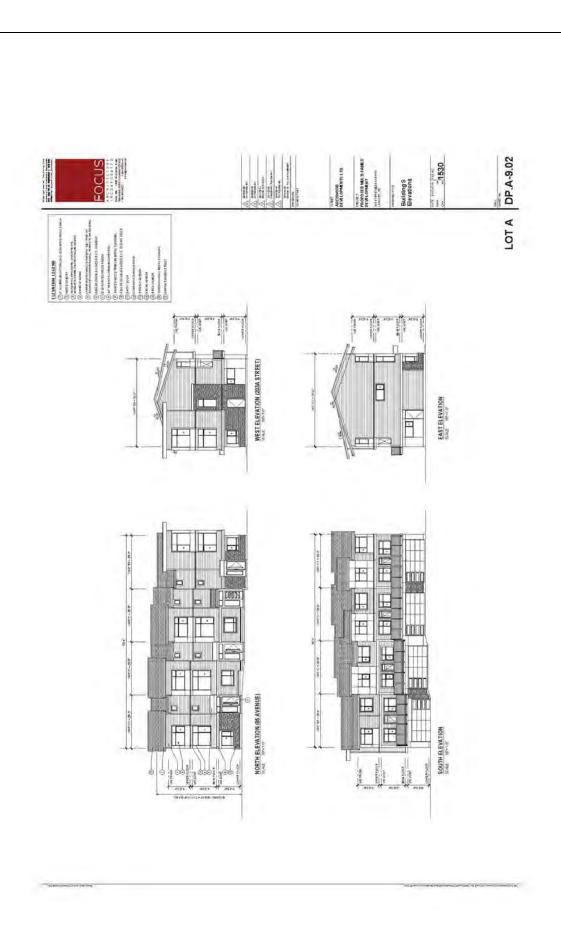


SCHEDULE K LOT A – BUILDING 8 ELEVATIONS



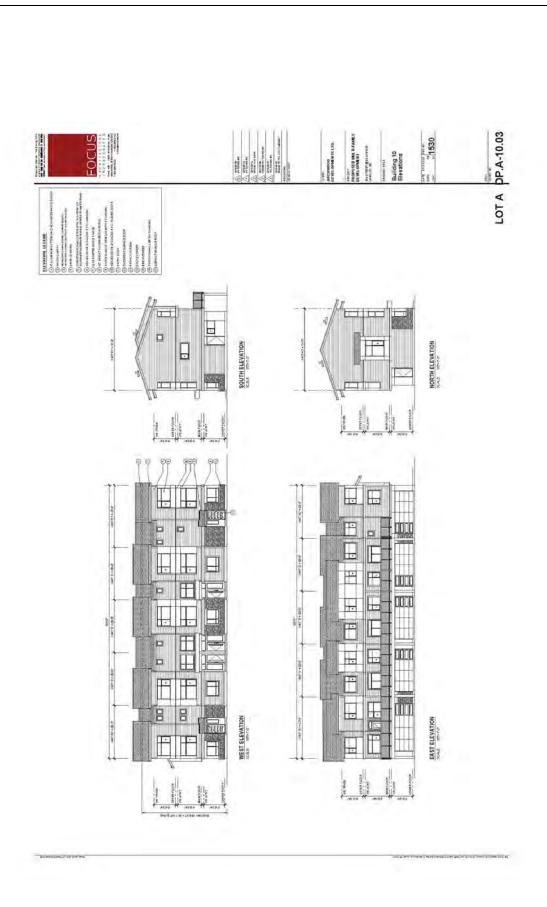


SCHEDULE L LOT A – BUILDING 9 ELEVATIONS



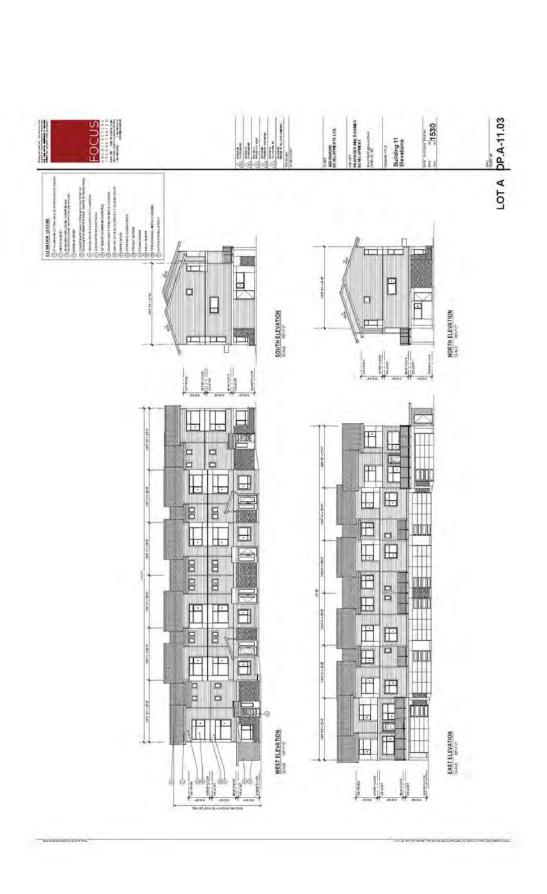


SCHEDULE M LOT A – BUILDING 10 ELEVATIONS



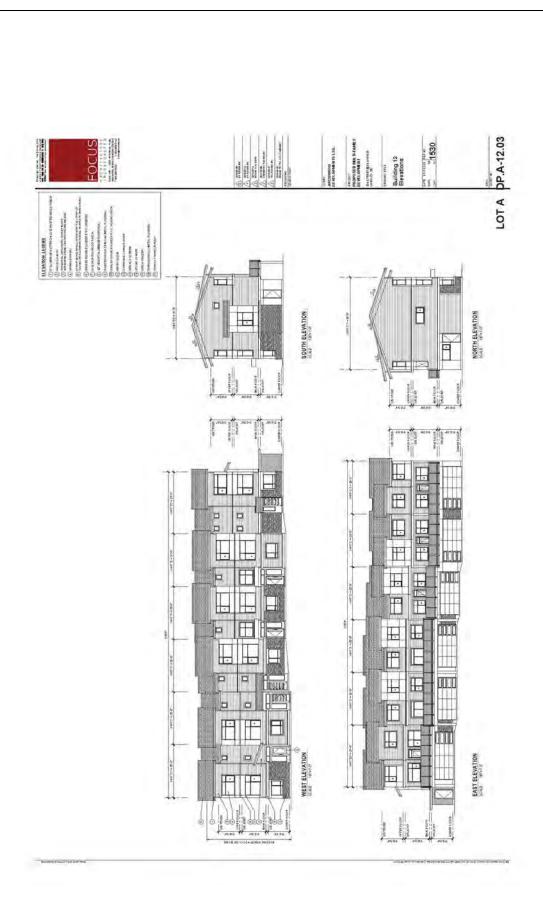


SCHEDULE N LOT A – BUILDING 11 ELEVATIONS



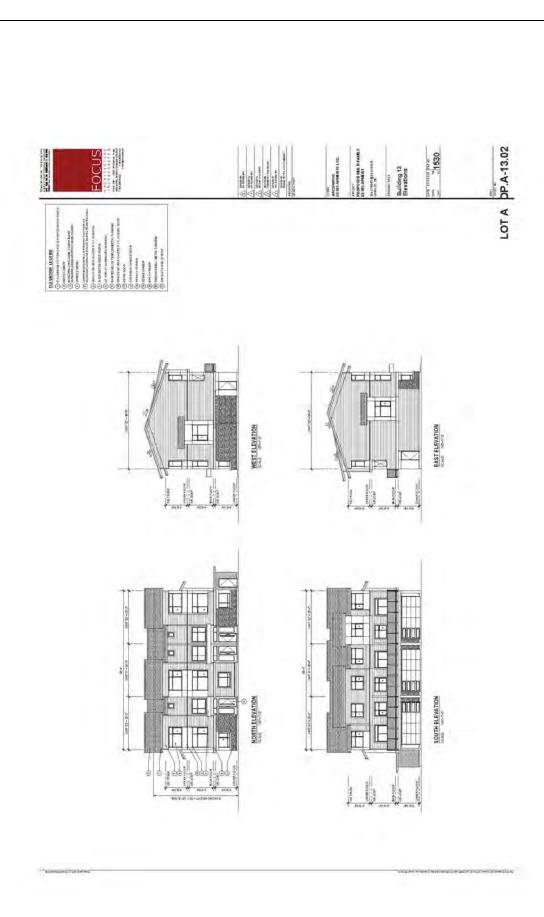


SCHEDULE O LOT A – BUILDING 12 ELEVATIONS



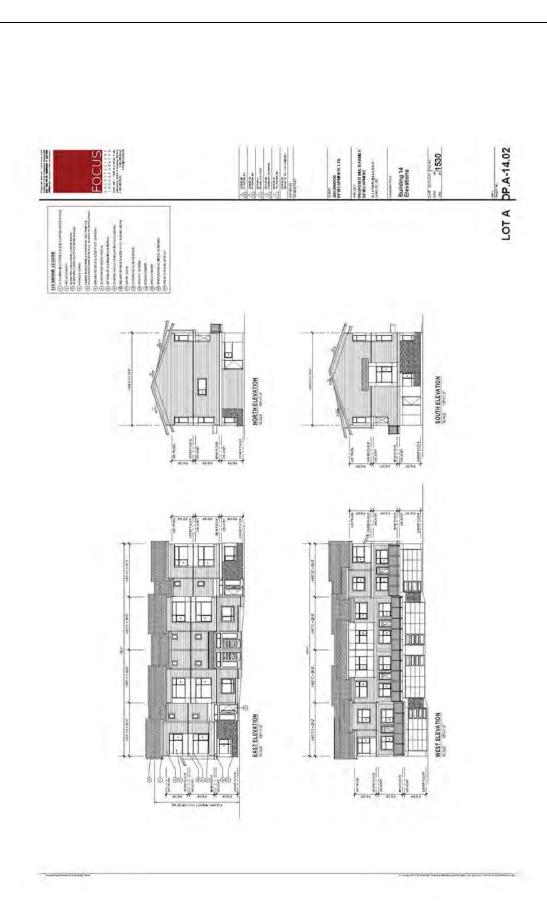


SCHEDULE P LOT A – BUILDING 13 ELEVATIONS

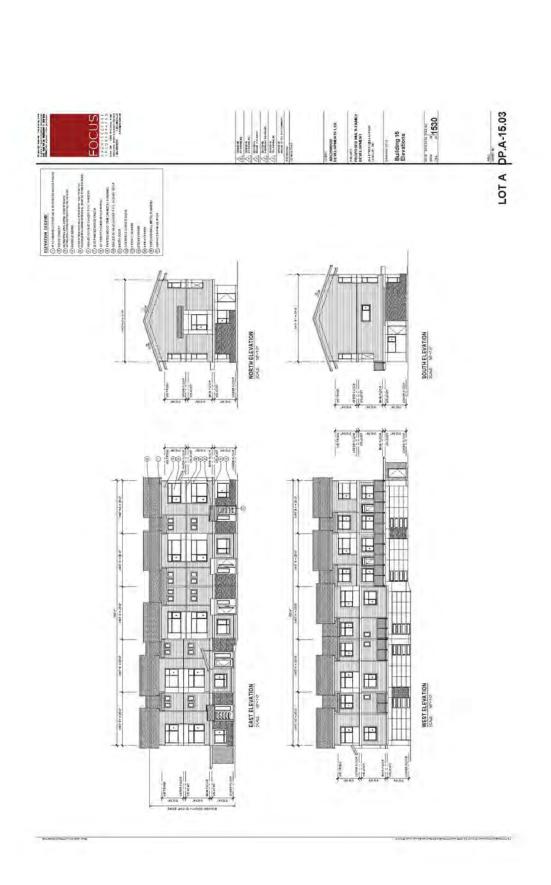




SCHEDULE Q LOT A – BUILDING 14 ELEVATIONS

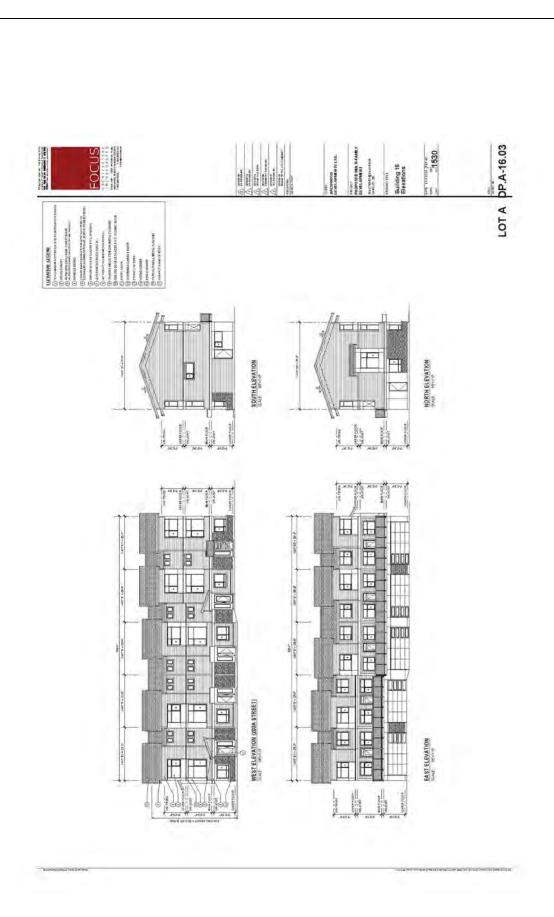


SCHEDULE R LOT A – BUILDING 15 ELEVATIONS



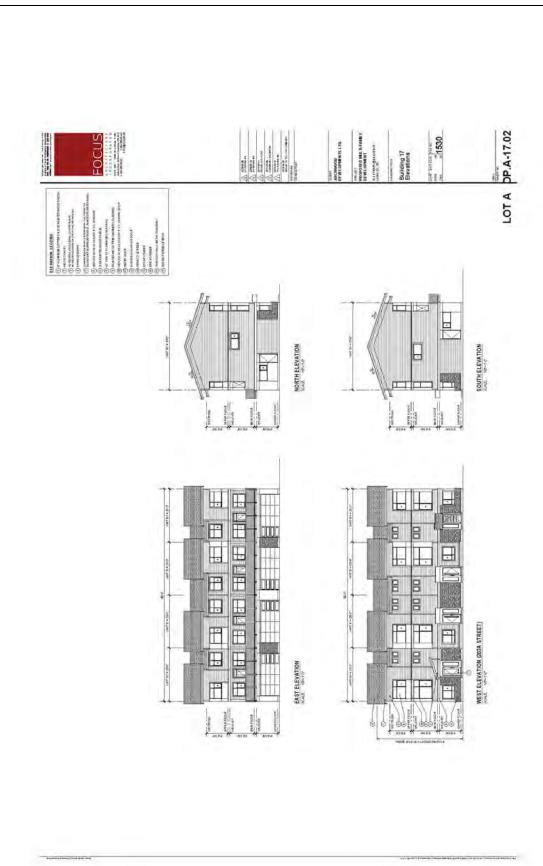


SCHEDULE S LOT A – BUILDING 16 ELEVATIONS



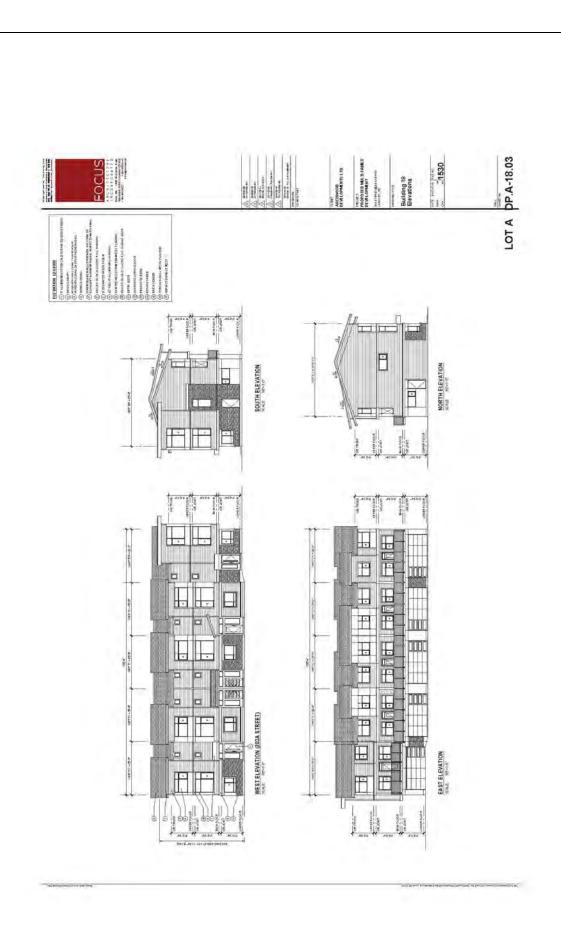


SCHEDULE T LOT A – BUILDING 17 ELEVATIONS





SCHEDULE U LOT A – BUILDING 18 ELEVATIONS





SCHEDULE V LOT A – COLOUR AND MATERIALS





SCHEDULE W LOT A – COLOUR AND MATERIALS

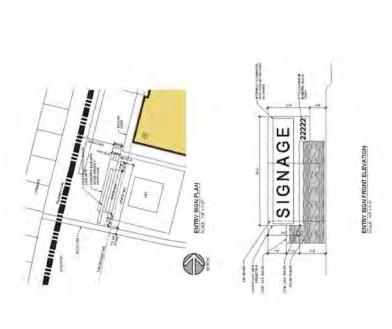






LOT A DP.A-0.01a

SCHEDULE X LOT A – ENTRY SIGN



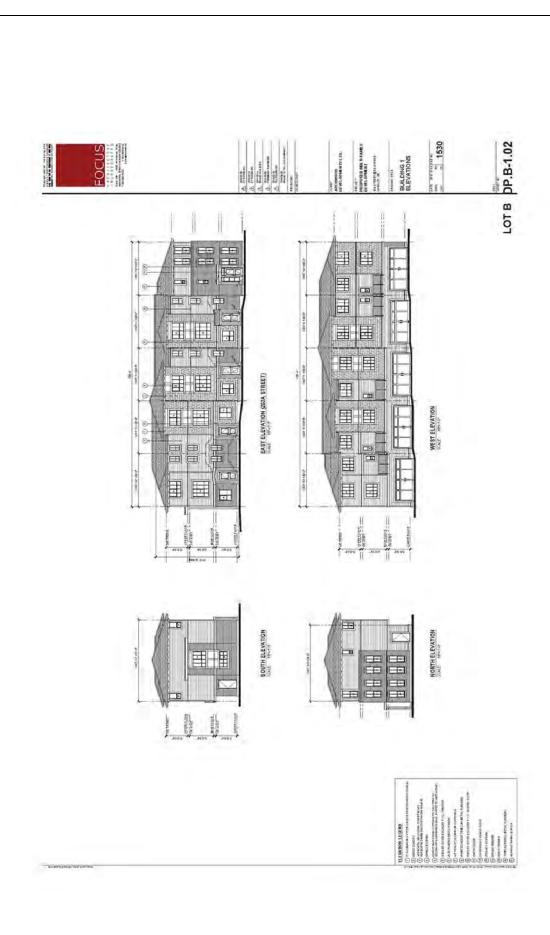


SCHEDULE Y LOT B – SITE PLAN



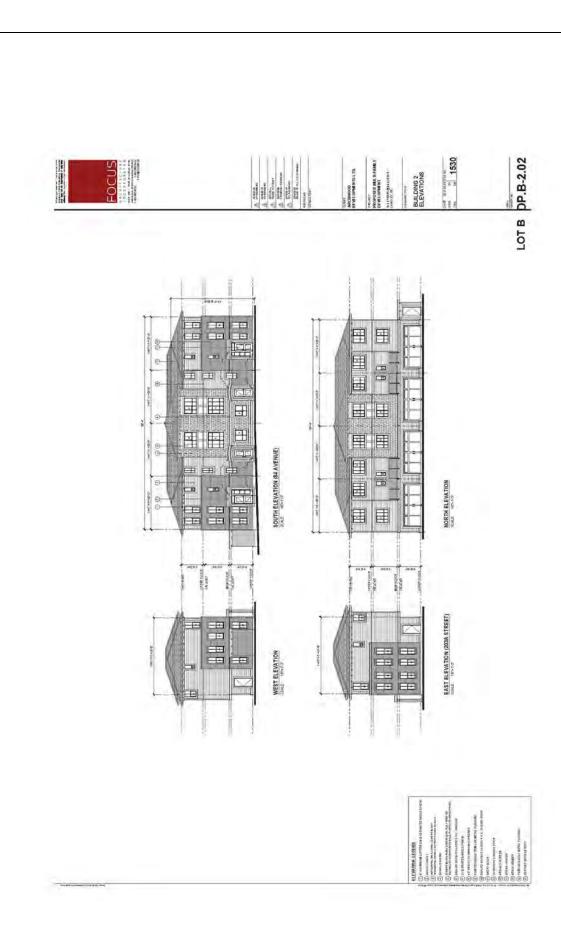


SCHEDULE Z LOT B – BUILDING 1 ELEVATIONS



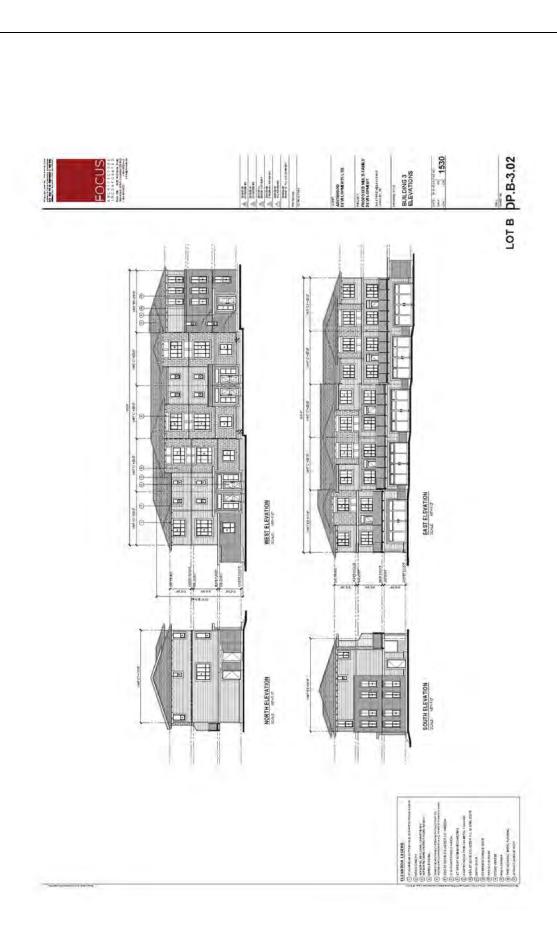


SCHEDULE AA LOT B – BUILDING 2 ELEVATIONS



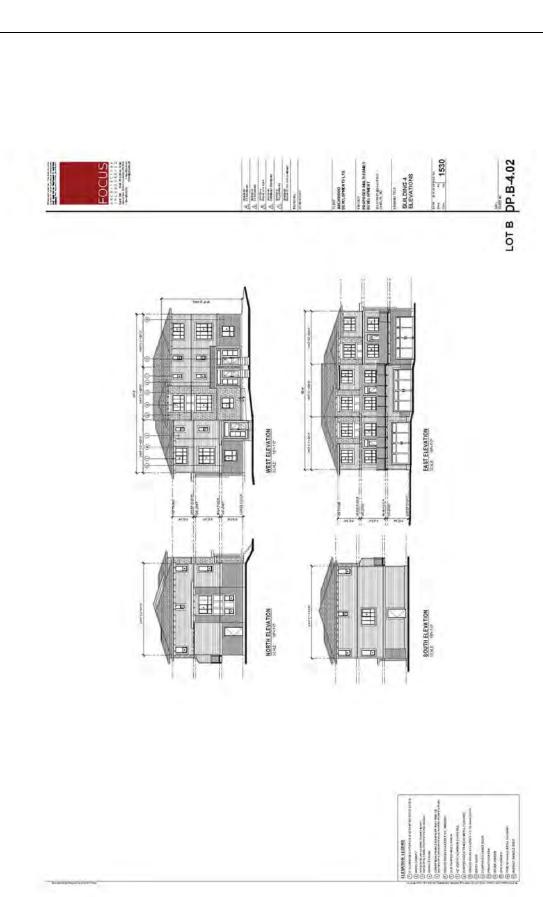


SCHEDULE AB LOT B – BUILDING 3 ELEVATIONS



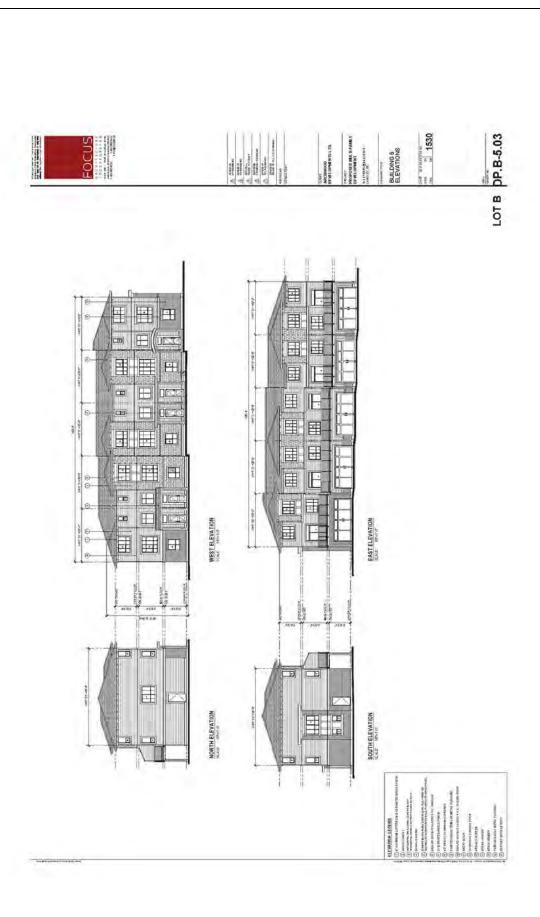


SCHEDULE AC LOT B – BUILDING 4 ELEVATIONS



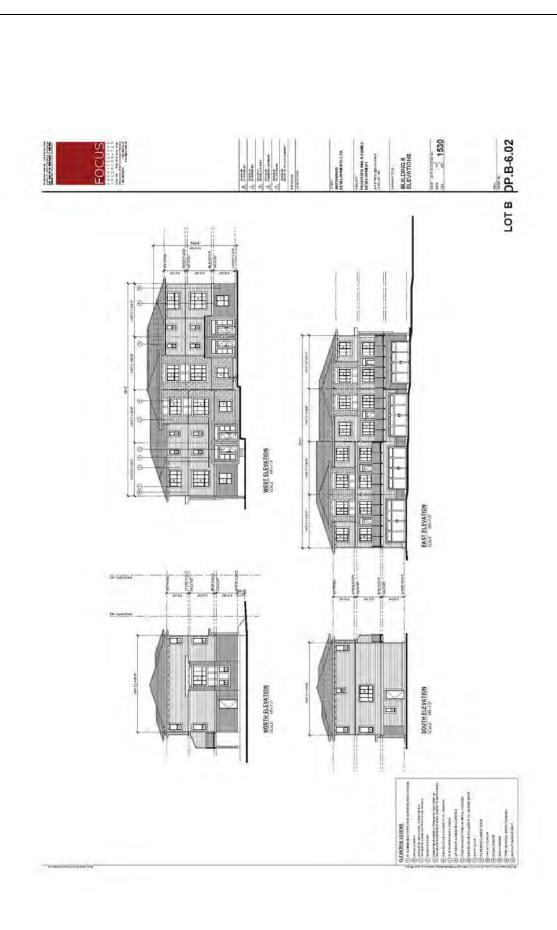


SCHEDULE AD LOT B – BUILDING 5 ELEVATIONS



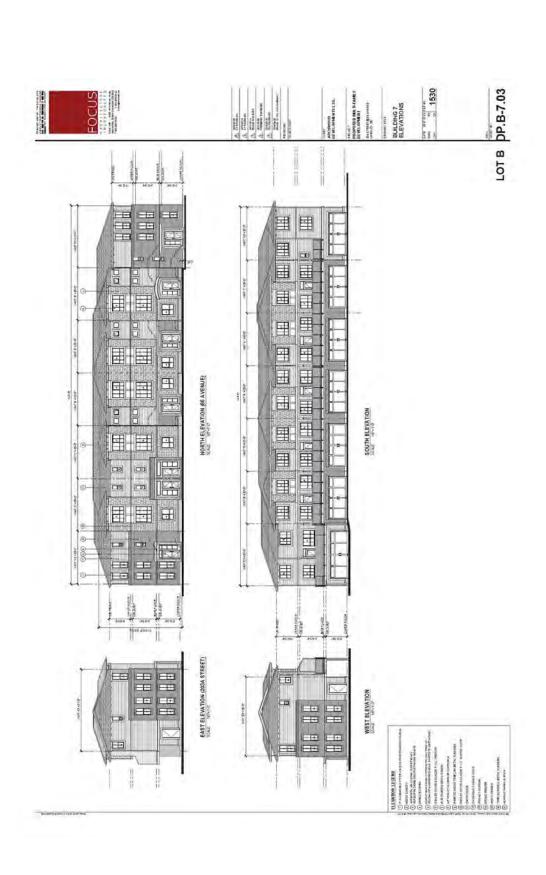


SCHEDULE AE LOT B – BUILDING 6 ELEVATIONS



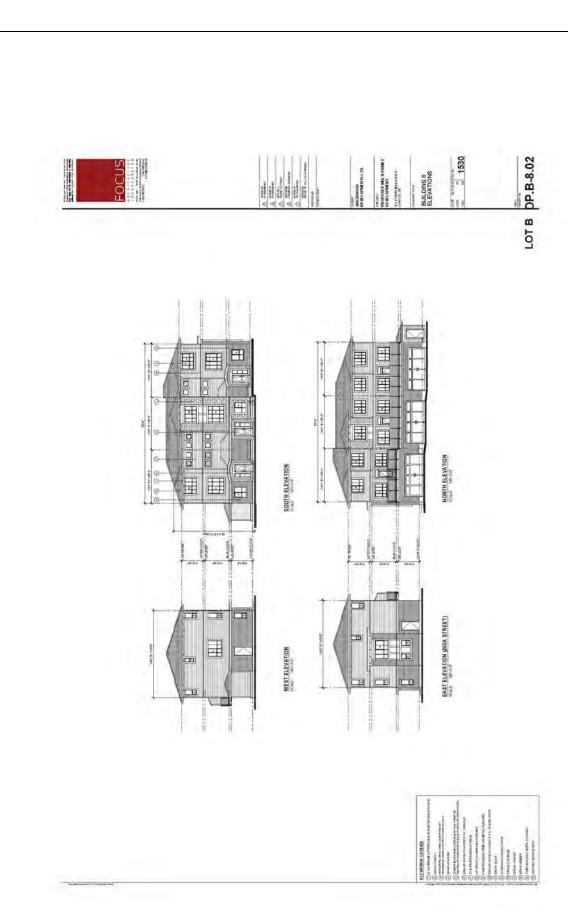


SCHEDULE AF LOT B – BUILDING 7 ELEVATIONS



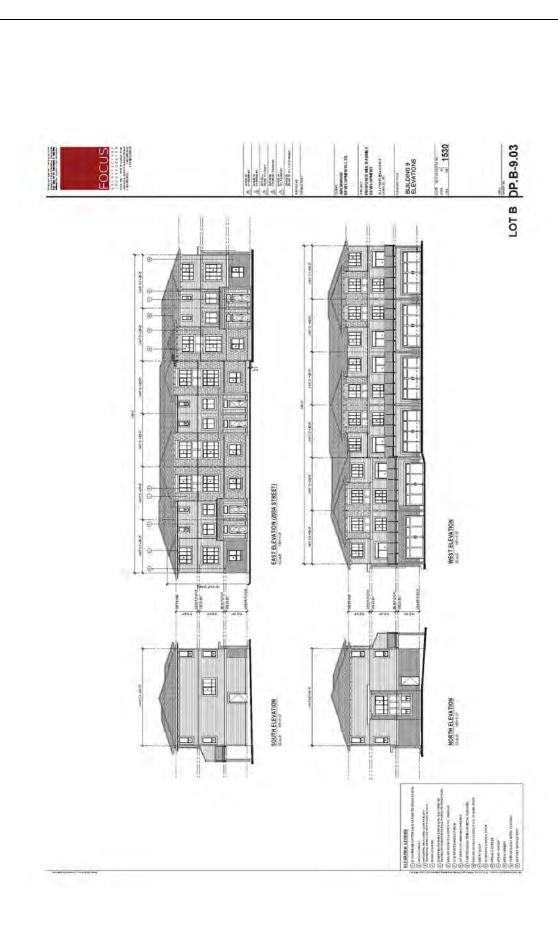


SCHEDULE AG LOT B – BUILDING 8 ELEVATIONS



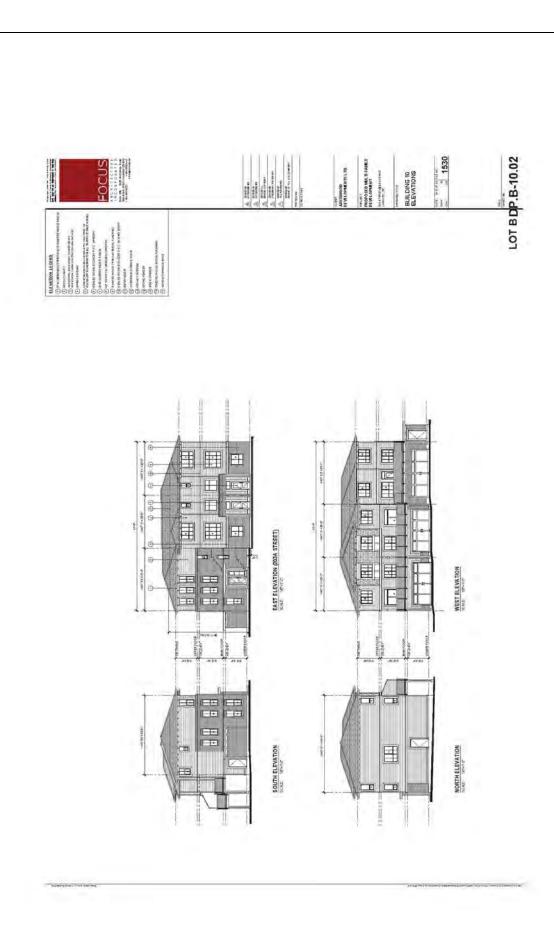


SCHEDULE AH LOT B – BUILDING 9 ELEVATIONS





SCHEDULE AI LOT B – BUILDING 10 ELEVATIONS





SCHEDULE AJ LOT B – CLOUR AND MATERIALS



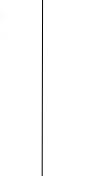


SCHEDULE AK LOT B – COLOUR AND MATERIALS



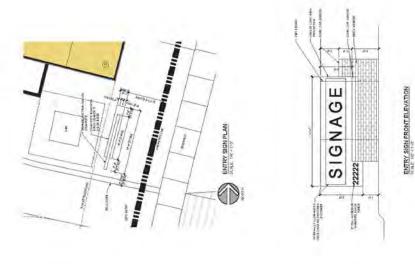






LOT BDP.B-0.01a

SCHEDULE AL LOT B – ENTRY SIGN



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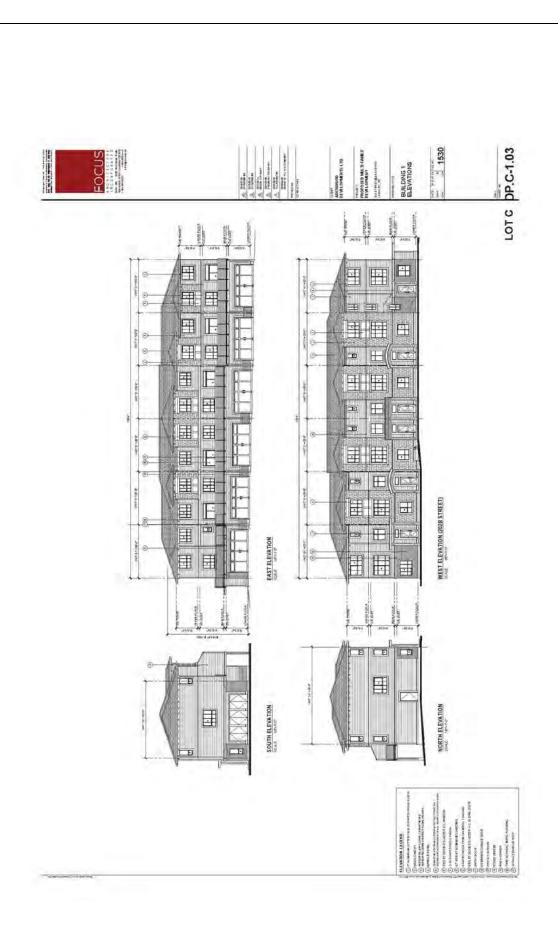


SCHEDULE AM LOT C – SITE PLAN



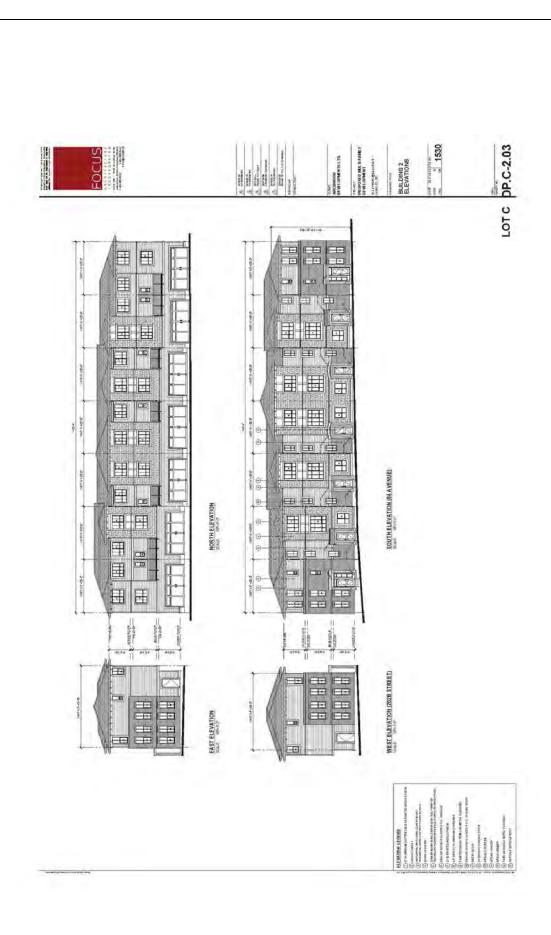


SCHEDULE AN LOT C – BUILDING 1 ELEVATIONS



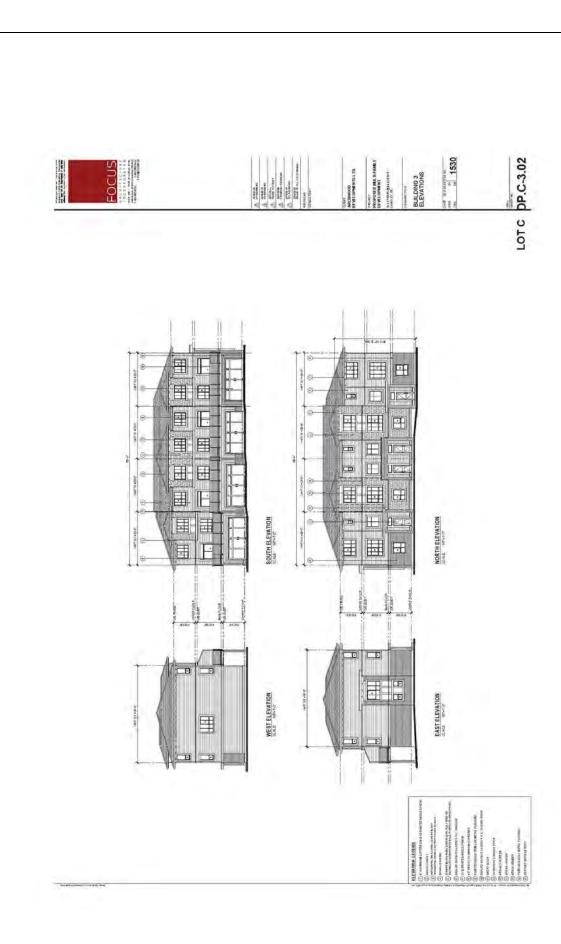


SCHEDULE AO LOT C – BUILDING 2 ELEVATIONS



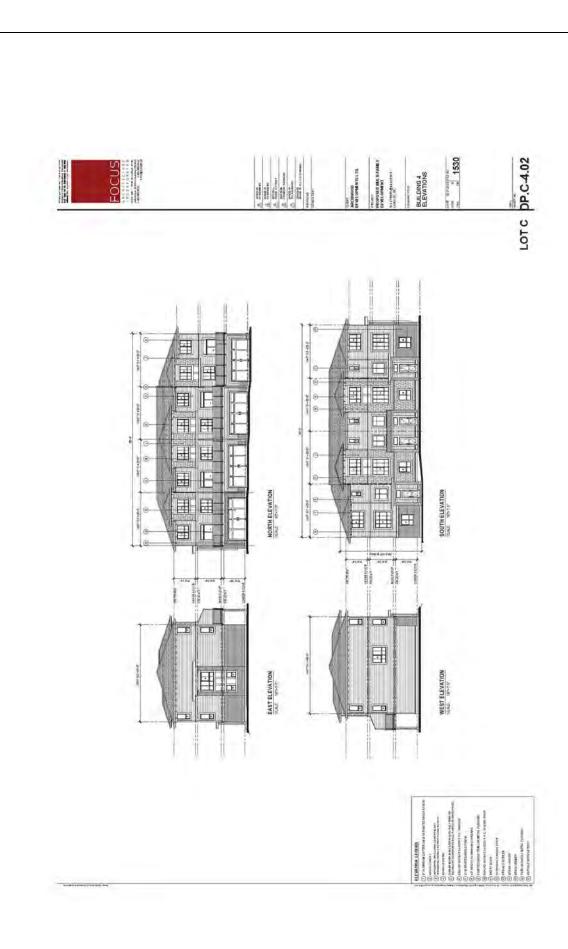


SCHEDULE AP LOT C – BUILDING 3 ELEVATIONS



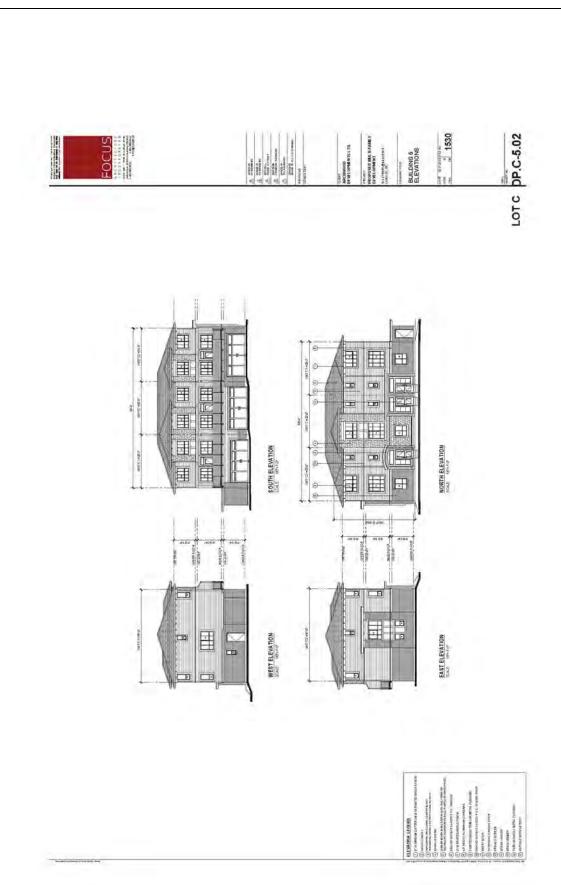


SCHEDULE AQ LOT C – BUILDING 4 ELEVATIONS



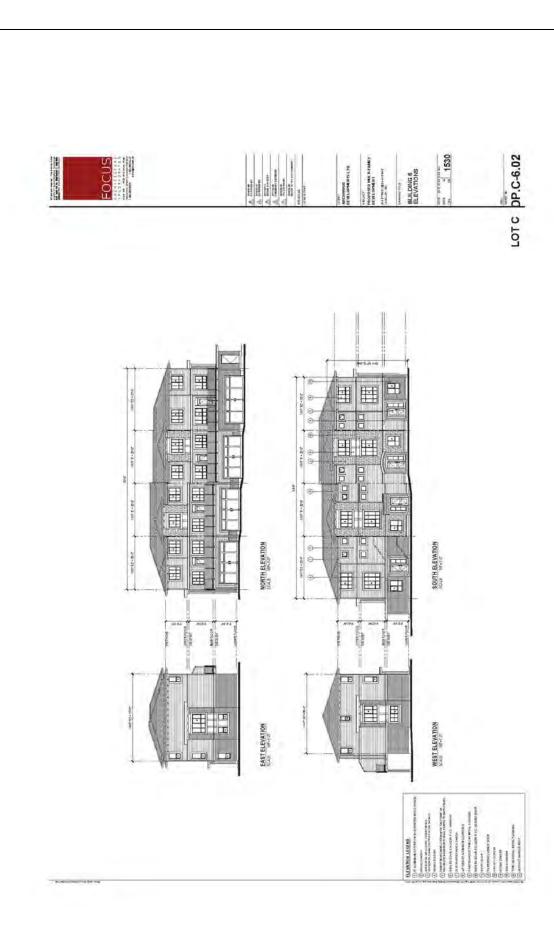


SCHEDULE AR LOT C – BUILDING 5 ELEVATIONS



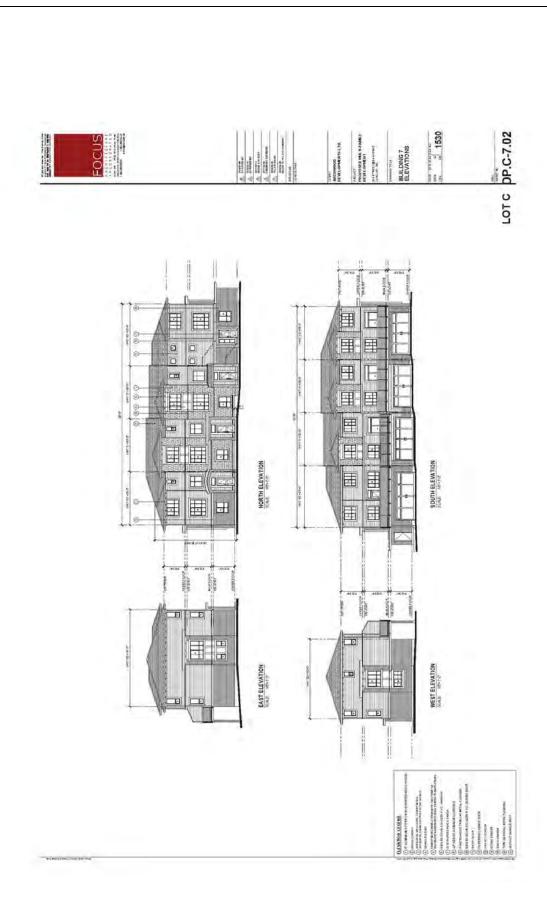


SCHEDULE AS LOT C – BUILDING 6 ELEVATIONS



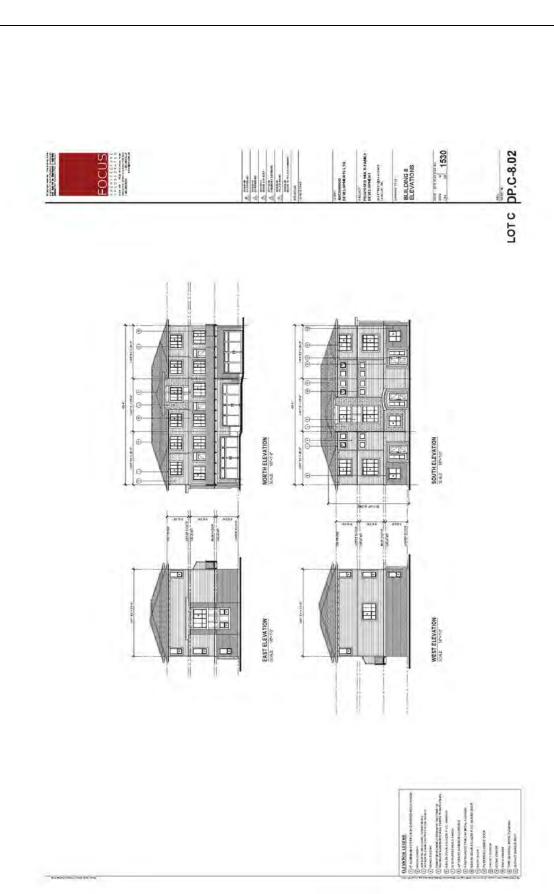


SCHEDULE AT LOT C – BUILDING 7 ELEVATIONS



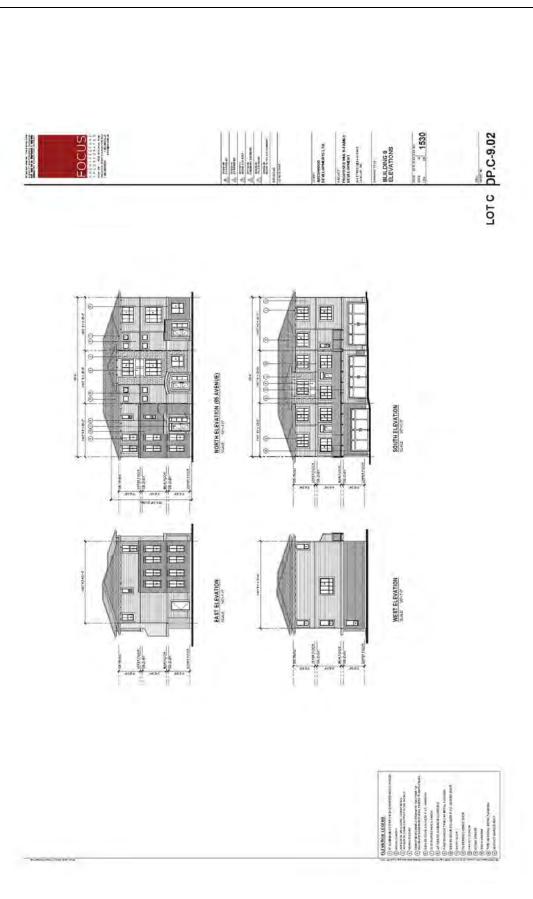


SCHEDULE AU LOT C – BUILDING 8 ELEVATIONS



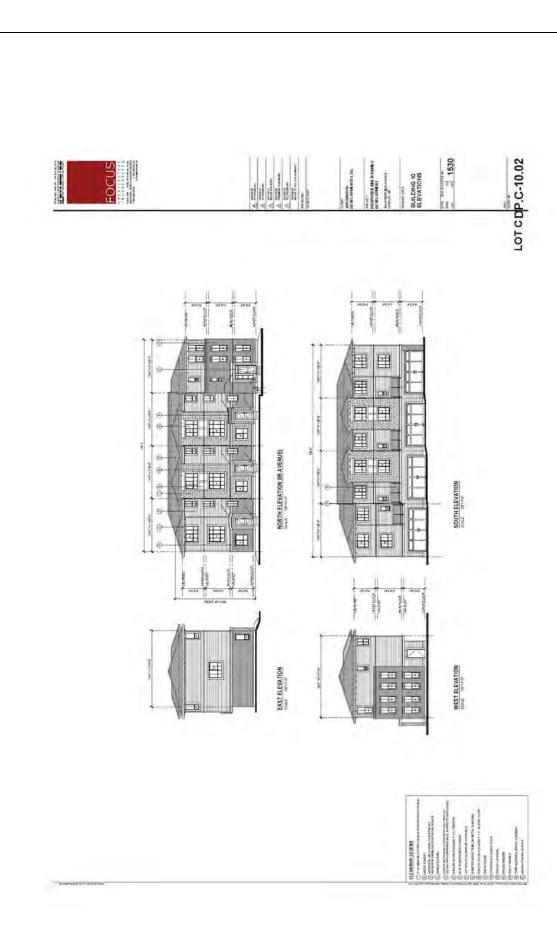


SCHEDULE AV LOT C – BUILDING 9 ELEVATIONS



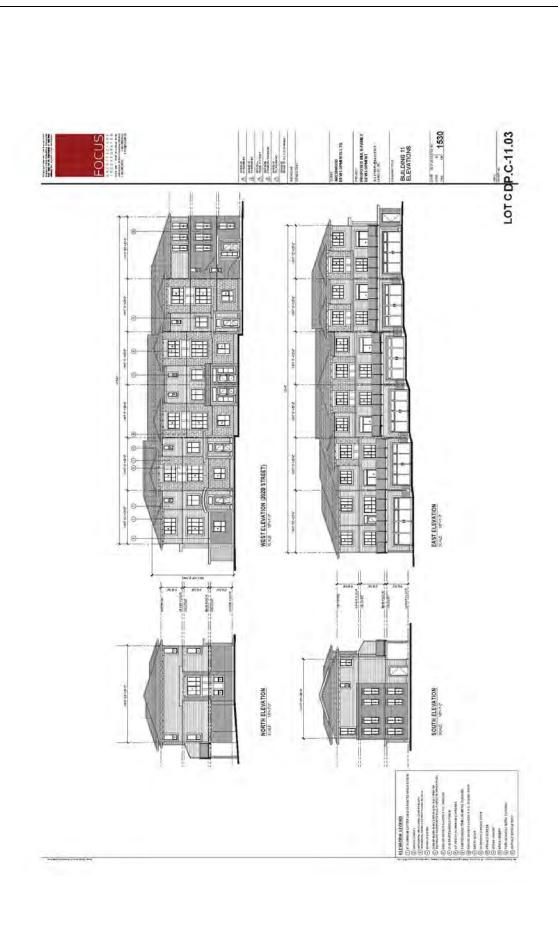


SCHEDULE AW LOT C – BUILDING 10 ELEVATIONS



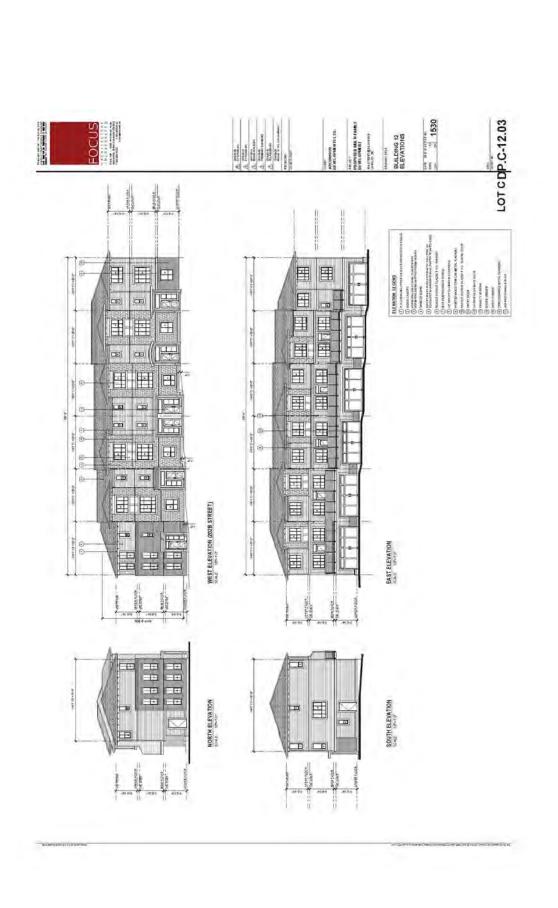


SCHEDULE AX LOT C – BUILDING 11 ELEVATIONS





SCHEDULE AY LOT C – BUILDING 12 ELEVATIONS





SCHEDULE AZ LOT C – COLOUR AND MATERIALS





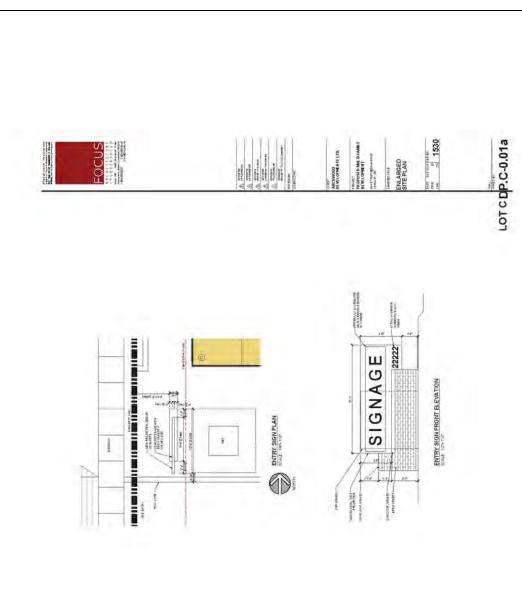
SCHEDULE BA LOT C – COLOUR AND MATERIALS





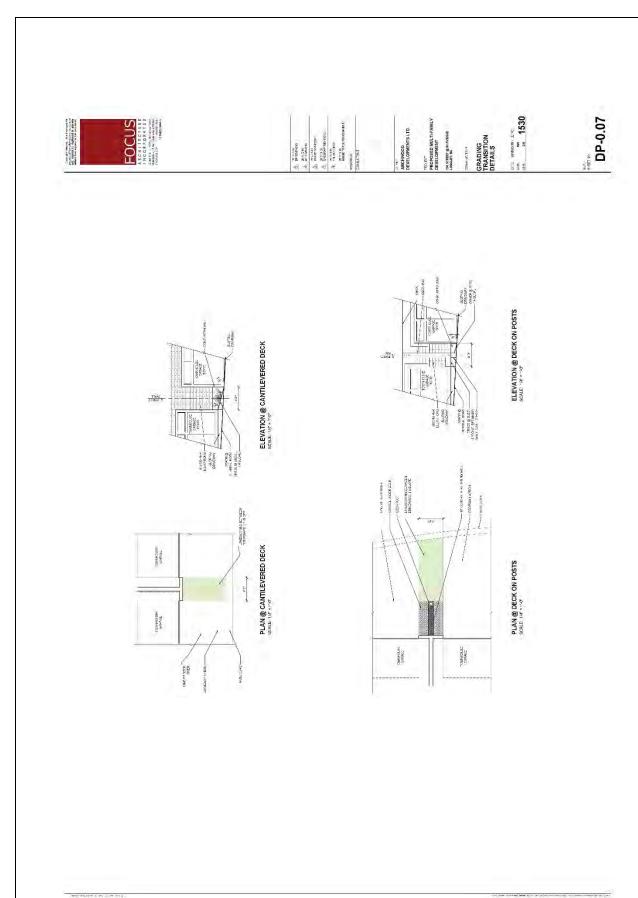


SCHEDULE BB LOT C – ENTRY SIGN





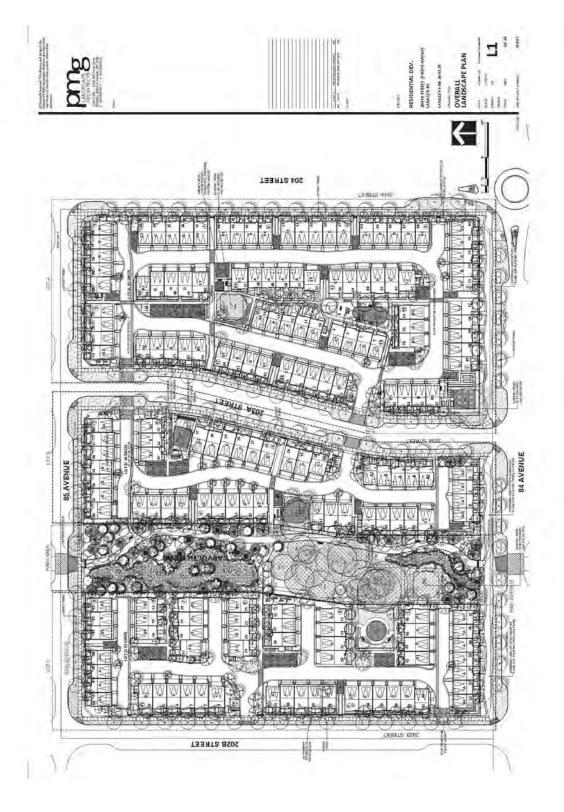
SCHEDULE BC TYPICAL DRIVEWAY GRADE TRANSITION DETAILS







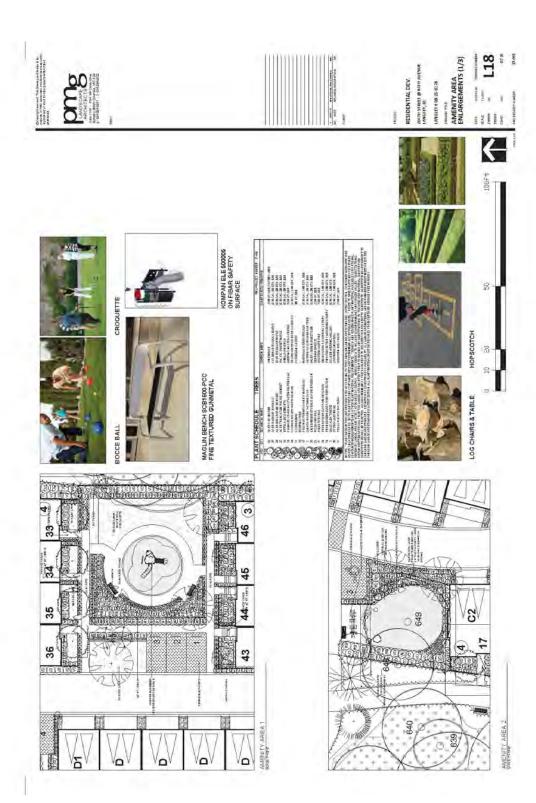
SCHEDULE BD OVERALL LANDSCAPE PLAN





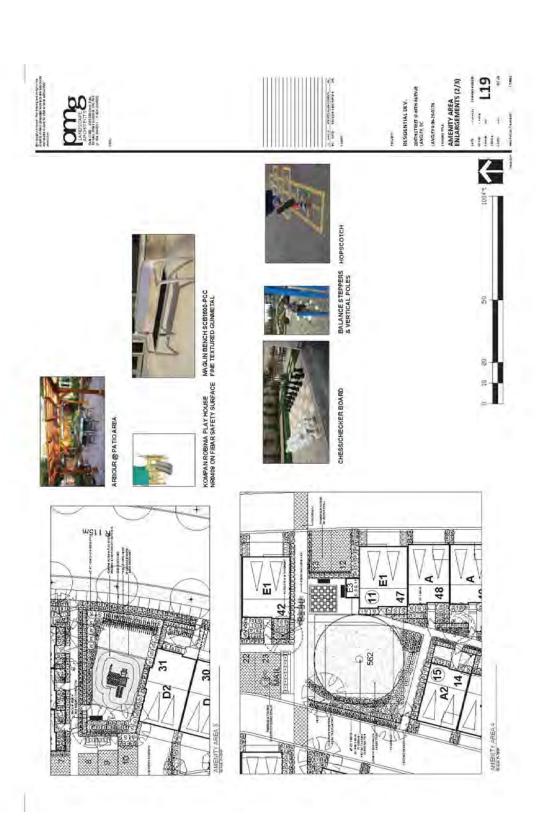


SCHEDULE BE AMENITY AREA LANDSCAPE PLAN









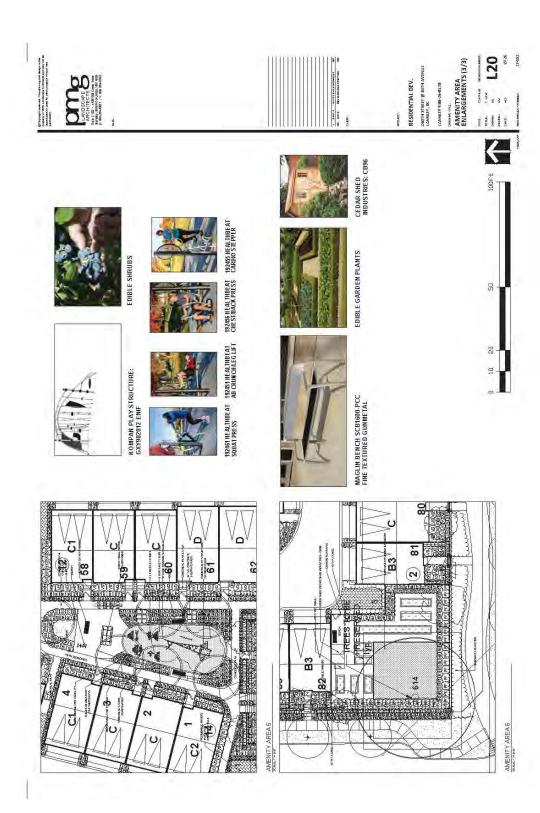
SCHEDULE BF AMENITY AREA LANDSCAPE PLAN







SCHEDULE BG AMENITY AREA LANDSCAPE PLAN



From:

Teresa Hanson

Sent:

Tuesday, July 16, 2019 3:35 PM

To:

CD Agenda Bylaw

Cc:

Dave Lind; Yolanda Leung

Subject:

Item for July 22, 2019 Council meeting agenda Bylaw No 5408 (Archwood

Developments Ltd.)

- Please place Bylaw No. 5408 (Archwood Developments Ltd.) on the Council agenda of July 22, 2019 for consideration of final reading and adoption.
- Please note that all development prerequisites listed in the Community Development Division report to Council of July 23, 2018 attached to the Bylaw have been satisfactorily addressed.
- The Public Hearing for the Bylaw was held on September 17, 2018 with third reading given on October 1, 2018.
- 4. Also, please place accompanying Development Permit No. 100895 on the same agenda for issuance by Council.