

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

LANGLEY OFFICIAL COMMUNITY PLAN BYLAW 1979 NO. 1842

AMENDMENT (FORT LANGLEY COMMUNITY PLAN) BYLAW 1987 No. 2527

AMENDMENT (FORT LANGLEY DESIGN GUIDELINES INTENT) BYLAW 2014 NO. 5063

EXPLANATORY NOTE

Bylaw 2014 No. 5063 amends the Fort Langley Community Plan by clarifying the informative purpose of the Fort Langley Building Façade Design Guidelines, namely to assist but not bind Council in implementing the Fort Langley Community Plan.

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

LANGLEY OFFICIAL COMMUNITY PLAN BYLAW 1979 NO. 1842

AMENDMENT (FORT LANGLEY COMMUNITY PLAN) BYLAW 1987 NO. 2527

AMENDMENT (FORT LANGLEY DESIGN GUIDELINES INTENT) BYLAW 2014 NO. 5063

WHEREAS it is deemed necessary and desirable to amend “Langley Official Community Plan Bylaw 1979 No. 1842”;

NOW THEREFORE, the Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as “Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Fort Langley Community Plan) Bylaw 1987 No. 2527 Amendment (Fort Langley Design Guidelines Intent) Bylaw 2014 No. 5063”.
2. The Langley Official Community Plan Bylaw 1979 No. 1842 Amendment (Fort Langley Community Plan) Bylaw 1987 No. 2527 as amended is further amended by repealing the paragraph after Section 5.1 c) and replacing it with the following:

New signs that are not covered by a heritage alteration permit require a permit under the Sign Bylaw and must conform to the general building design guidelines.

A heritage alteration permit is not required for:

- a) façade improvements (any reconstruction or improvements including new siding, doors, windows, cornices or awnings or canopies to an elevation of an existing building) or signage that is in conformity with the general building design guidelines;
- b) minor additions that are less than 50 m² (538 sq. ft.) in floor area, do not front a road (other than a lane) and are in conformity with the general building design guidelines; or
- c) minor additions that are less than 50 m² (538 sq. ft.) in floor area, do not front a road (other than a lane) and are constructed in a similar style and of similar materials as the existing building.

The Fort Langley Building Façade Design Guidelines are non-binding policy guidelines for the Fort Langley Heritage Conservation Area. They are not part of the Fort Langley Community Plan and may be amended or repealed by Council resolution.

READ A FIRST TIME the	24	day of	February	, 2014.
READ A SECOND TIME the	24	day of	February	, 2014.
PUBLIC HEARING HELD the		day of		, 2014.
READ A THIRD TIME the		day of		, 2014.
RECONSIDERED AND ADOPTED the		day of		, 2014.

_____ Mayor _____ Deputy Township Clerk

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

**TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500
AMENDMENT (STATEWOOD PROPERTIES LTD.) BYLAW 2014 NO. 5064**

EXPLANATORY NOTE

Bylaw 2014 No. 5064 rezones property located at 9220 Glover Road from Community Commercial Zone C-2 to Comprehensive Development Zone CD-100 to permit the development of a three storey, mixed use development.

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

**TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500
AMENDMENT (STATEWOOD PROPERTIES LTD.) BYLAW 2014 NO. 5064**

A Bylaw to amend Township of Langley Zoning Bylaw 1987 No. 2500

WHEREAS it is deemed necessary and desirable to amend “Township of Langley Zoning Bylaw 1987 No. 2500” as amended;

NOW THEREFORE, the Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as “Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Statewood Properties Ltd.) Bylaw 2014 No. 5064”.
2. The “Township of Langley Zoning Bylaw 1987 No. 2500” as amended is further amended by:
 - a. Adding to Section 104.1 – Zones the words “Comprehensive Development Zone CD-100” after the words “Comprehensive Development Zone CD-99”
 - b. Deleting the map in Section 104.5(3) and replacing it with the map shown in Schedule “A” attached to and forming part of this Bylaw.
 - c. Adding to Section 110.1 after the words “CD-99” the words “CD-100 – 2,200 m²”
 - d. By adding after Section 999 “Comprehensive Development Zone CD-99” the following as Section 1000 “Comprehensive Development Zone CD-100”

1000 Comprehensive Development Zone CD-100

Uses Permitted

1000.1 In the CD-100 Zone only the following uses are permitted and all other uses are prohibited:

- 1) *accessory buildings and uses*
- 2) *assembly uses*
- 3) *commercial uses*
- 4) *group childrens’ day care*
- 5) *hotels*
- 6) *licensee retail store* subject to the provisions of the “Liquor Control and Licensing Act” and Regulations pursuant thereto
- 7) *liquor primary use* subject to the provisions of the “Liquor Control and Licensing Act” and Regulations pursuant thereto
- 8) *refund container return centre* up to a maximum size of 280 m² (3,000 ft²)
- 9) *residential uses* subject to Section 1000.3

Commercial Uses

1000.2 All business shall be conducted within a completely enclosed *building* except for parking, loading, display, eating areas and seasonal *uses*, where accessory to a permitted *use*. No storage areas shall be located in any required front yard setback.

Residential Uses

- 1000.3 1) A *residential use* shall be located above the first floor of the *building*, and shall have a *gross floor area* no greater than twice the gross floor area of the non-*residential use* contained within the same *building*.
- 2) The maximum number of *dwelling units* shall not exceed *one dwelling unit* per 135 m² of *lot area* (74 units per hectare).

Lot Coverage

1000.4 *Buildings* and *structures* shall not cover more than 40% of the *lot area*, except that where at least 50% of the required parking spaces are within the *building* or underground, *lot coverage* may be increased to a maximum of 67%.

Siting of Buildings and Structures

1000.5 No *building* or *structure* shall be sited less than a) 0 metres from a *front lot line*; b) 0.2 metres from a *rear lot line*; and, c) 0.4 metres from a *side lot line*.

Height of Buildings and Structures

1000.6 Except as provided for in Section 104.5 the *height of buildings* and *structures* shall not exceed 13.69 metres.

Parking and Loading

1000.7 Parking and loading shall be provided in accordance with Section 107.

Subdivision Requirements

1000.8 All lots created by *subdivision* shall comply with Section 110 of this Bylaw and the Township of Langley Subdivision and Development Servicing Bylaw 2011 No. 4861 as amended.

- 3. The “Township of Langley Zoning Bylaw 1987 No. 2500” as amended is further amended by rezoning the lands described as:

Lot A District Lot 19 Group 2 NWD Plan BCP51658

as shown delineated on Schedule “B” attached to and forming part of this Bylaw to Comprehensive Development Zone CD-100.

READ A FIRST TIME the	24	day of	February	, 2014.
READ A SECOND TIME the	24	day of	February	, 2014.
PUBLIC HEARING HELD the		day of		, 2014.
READ A THIRD TIME the		day of		, 2014.
RECONSIDERED AND ADOPTED the		day of		, 2014.

_____ Mayor _____ Deputy Township Clerk

SCHEDULE 'B' BYLAW NO. 5064



THE CORPORATION OF THE TOWNSHIP OF LANGLEY

**TOWNSHIP OF LANGLEY SIGN BYLAW 2012 NO. 4927
AMENDMENT (FORT LANGLEY GUIDELINES) BYLAW 2014 NO. 5068**

EXPLANATORY NOTE

Bylaw 2014 No. 5068 amends the Township of Langley Sign Bylaw to ensure consistency with the informative intent of the Fort Langley Community Plan and specifically the general building design guidelines.

Township of
Langley



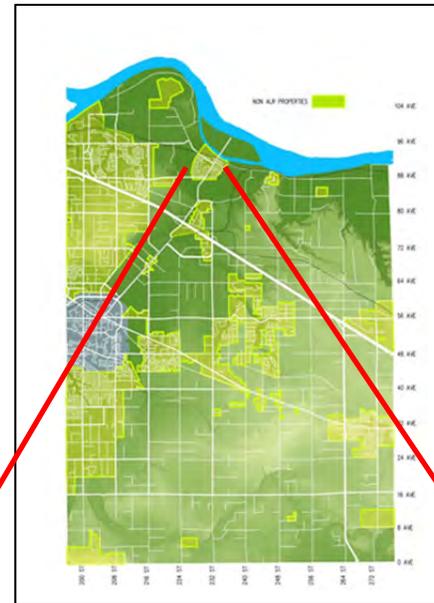
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REPORT TO MAYOR AND COUNCIL

PRESENTED:	FEBRUARY 24, 2014 – REGULAR EVENING MEETING	REPORT:	14-21
FROM:	COMMUNITY DEVELOPMENT DIVISION	FILE:	11-33-0112
SUBJECT:	REZONING APPLICATION NO. 100411 AND OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)		

PROPOSAL:

Application to rezone a 0.22 ha (0.55 acre) site located at 9220 Glover Road to Comprehensive Development Zone CD-100 and issue a Heritage Alteration Permit for a three storey, mixed use development consisting of: 1,172 m² (12,617 ft²) of retail space and a 219 m² (2,352 ft²) restaurant on the ground floor; 1,278 m² (13,752 ft²) of second floor office space; and 1,220 m² (13,137 ft²) of third floor residential space, consisting of 9 dwelling units. The purpose of the rezoning is to allow the proposed 3 storey building at a height of 13.69 metres (44' 11"), a site coverage of 66.4%, and rear yard setback of 20.9 cm (8¼ in). Concurrently an amendment to the Fort Langley Community Plan and the Township's Sign Bylaw is proposed.



RECOMMENDATION SUMMARY:

That Council give first and second reading to Bylaws No. 5063, 5064 and 5068 subject to eight (8) development prerequisites being completed prior to final reading, issuance of Heritage Alteration Permit No. 100748 subject to seven (7) conditions noting ten (10) building permit conditions, and that staff be authorized to schedule a public hearing for Bylaws No. 5063 and 5064 and a public input opportunity for Heritage Alteration Permit No. 100748 to be held in conjunction with the public hearing.

RATIONALE:

The proposal is consistent with development previously approved by Council.



RECOMMENDATIONS:

That Council give first and second reading to Fort Langley Community Plan Amendment Bylaw (Statewood Properties Ltd.) Bylaw 2014 No. 5063 and Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Statewood Properties Ltd.) Bylaw 2014 No. 5064 rezoning a 0.22 ha (0.55 acre) site located at 9220 Glover Road to Comprehensive Development Zone CD-100 to facilitate the development of a three (3) storey mixed use development, subject to the following development prerequisites being satisfied prior to Council's consideration of final adoption:

1. A Servicing Agreement being entered into with the Township to secure required road and utility upgrades and extensions in accordance with the Township's Subdivision and Development Servicing Bylaw to the acceptance of the Township;
2. Completion of an erosion and sediment control plan and provision of security in accordance with the Erosion and Sediment Control Bylaw to the acceptance of the Township;
3. Provision of road dedications, widenings, and necessary traffic improvements to the acceptance of the Township in accordance with the Township's Subdivision and Development Servicing Bylaw and the Fort Langley Community Plan;
4. Compliance with the Child Friendly Amenity Area requirements to the acceptance of the Township;
5. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
6. Registration of a right of way for a 5.0 metre by 5.0 metre corner truncation at the south east corner of Mavis Avenue and Glover Road to the acceptance of the Township;
7. Registration of restrictive covenants acceptable to the Township identifying the units proposed to be incorporated into the development to comply with the Basic Adaptable Housing Requirements Policy;
8. Payment of applicable supplemental Rezoning fees, Site Servicing Review fee and compliance with the Township's 5% Neighbourhood Park Land Acquisition Policy;

That Council consider opportunities for consultation on proposed Fort Langley Community Plan amendment Bylaw (Statewood Properties Ltd.) No. 5063 with persons, organizations and authorities, as outlined in this staff report as sufficient consultation for the purposes of Section 879 of the Local Government Act;

That Council consider that Fort Langley Community Plan Amendment Bylaw (Statewood Properties Ltd.) Bylaw 2014 No. 5063 is consistent with the Township's 2010 – 2016 Financial Plan and with Metro Vancouver's Integrated Liquid Waste Resource Management Plan and Integrated Solid Waste and Resource Management Plan;

That Council confirm and ratify its November 20, 2012 resolution that amended Section 1.4 of the Fort Langley Building Façade Design Guidelines to read as follows:

Proposed building height should respect the precedent of scale within the heritage alteration permit area and provide appropriate transition to adjacent buildings;

REZONING APPLICATION NO. 100411 AND
 OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
 Page 3 . . .

That Council authorize the issuance of Heritage Alteration Permit No. 100748, at time of final reading of Bylaw No. 5064, subject to the following conditions:

- a. Building plans being in substantial compliance with Schedules “A” through “K”;
- b. Landscape plans being in substantial compliance with Schedules “L” through “P”, in compliance with the Township’s Street Tree and Boulevard Planting Policy, and to the final acceptance of the Township;
- c. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with the Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) to the acceptance of the Township;
- d. Compliance with the Child Friendly Amenity Area requirements to the acceptance of the Township;
- e. All signage being in substantial compliance with Schedules “A” through “F” and “H” through “K”, and the Township of Langley Sign Bylaw;
- f. Rooftop mechanical equipment being located so that it is screened from view by compatible architectural treatments; and,
- g. All refuse areas being either located inside the building or in an enclosure in compliance with Schedule “F” to the acceptance of the Township.

Although not part of the Heritage Alteration Permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

- a. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township’s Exterior Lighting Impact Policy to the acceptance of the Township;
- b. Provision of a restrictive covenant, acceptable to the Township, that identifies and secures the three (3) adaptable housing units and one (1) accessible housing unit as defined by the Township’s Basic Adaptable Housing Requirements Policy;
- c. Payment of cash-in-lieu amount for Child Friendly Amenity Area equivalency, to include land and improvement value, to the acceptance of the Township;
- d. Payment of cash-in-lieu amount for Replacement Tree shortfall to the acceptance of the Township;
- e. Landscape and boulevard improvements being secured by letter of credit at Building Permit;
- f. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw, and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
- g. A Highways Use Permit being secured for any projections (i.e. awnings and signage) onto municipal roads, if any, to the satisfaction of the Township;
- h. Submission of a geotechnical report prepared by a geotechnical engineer to the acceptance of the Township;
- i. Payment of applicable Development Cost Charges, 5% Neighbourhood Parkland Acquisition Fee, and Building Permit Administration Fees; and,
- j. Payment of supplemental Heritage Alteration Permit application fees, if any;

That Council authorize staff to schedule the required public hearing for the Fort Langley Community Plan amendment and Rezoning Bylaws in conjunction with the public input opportunity for proposed Heritage Alteration Permit No. 100748; and further

That Council give first and second reading to the Corporation of the Township of Langley Sign Bylaw 2012 No. 4927 Amendment (Fort Langley Guidelines) Bylaw 2014 No. 5068.

REZONING APPLICATION NO. 100411 AND
OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
(STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
Page 4 . . .

EXECUTIVE SUMMARY:

An application for Rezoning and a Heritage Alteration Permit has been received from Statewood Properties Ltd. that proposes a three (3) storey mixed use development (retail, office, residential), the “Coulter Berry Building”, on a 0.22 ha (0.55 acre) site at 9220 Glover Road (southeast corner of Mavis Avenue and Glover Road) in Fort Langley. The subject site is zoned Community Commercial Zone (C-2), located within the Heritage Conservation Area of the Fort Langley Community Plan.

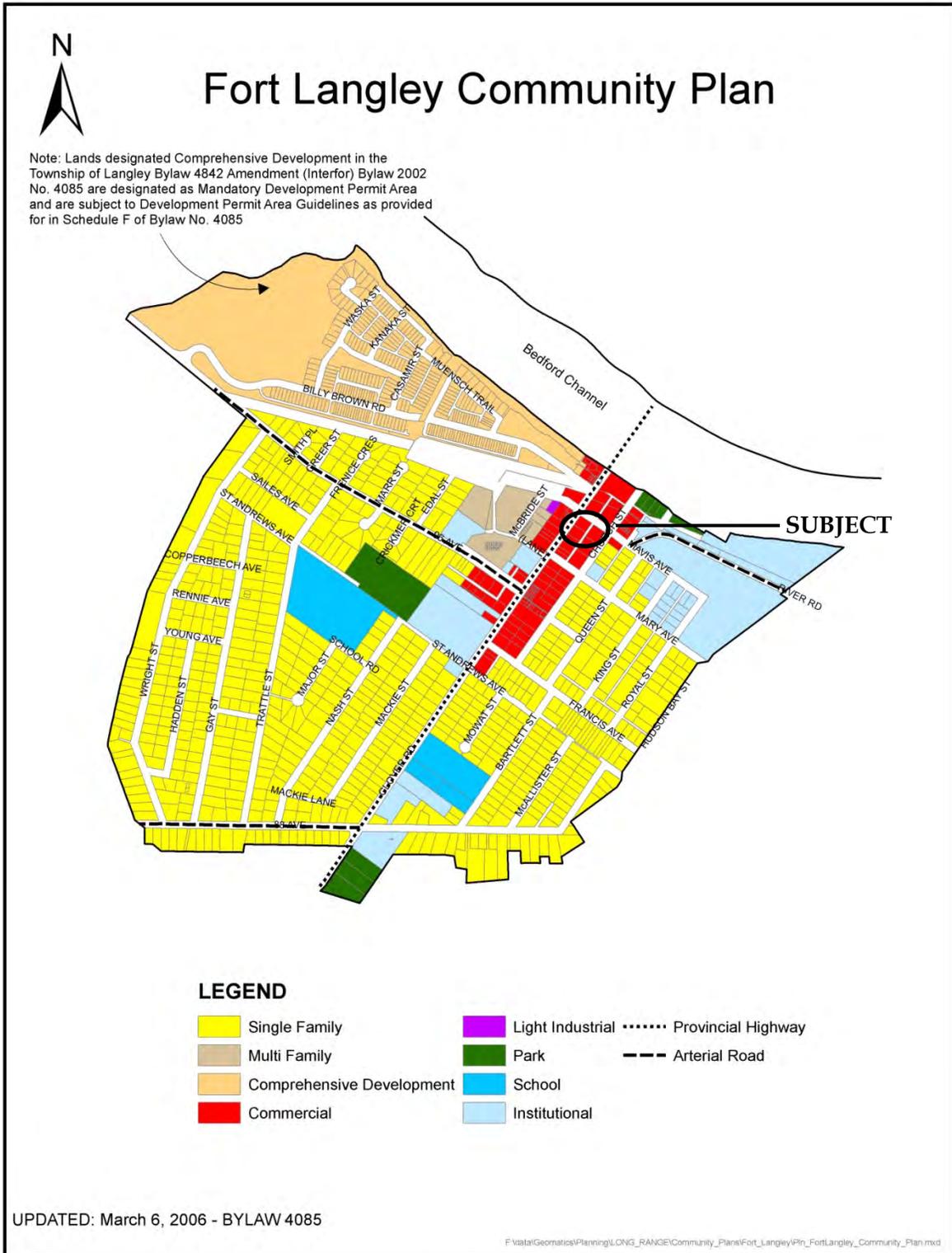
The proposal is considered to be generally consistent with the overall objectives of the Fort Langley Community Plan. An amendment to the Fort Langley Community Plan is proposed to clarify that the “Fort Langley Building Façade Design Guidelines” are non-binding policy guidelines which are not part of the Fort Langley Community Plan and which may be amended or repealed by Council resolution. A companion amendment to the Township’s Sign Bylaw is also proposed for added clarity.

Staff recommend that Council give first and second reading to Bylaws No. 5063, 5064 and 5068 subject to eight (8) development prerequisites being completed prior to final reading, issuance of Heritage Alteration Permit No. 100748 subject to seven (7) conditions noting ten (10) building permit conditions, and that staff be authorized to schedule a public hearing for Bylaws No. 5063 and 5064 and a public input opportunity for Heritage Alteration Permit No. 100748 to be held in conjunction with the public hearing.

PURPOSE:

The purpose of this report is to advise and make recommendations to Council with respect to Fort Langley Community Plan Amendment Bylaw No. 5063, Rezoning Bylaw No. 5064, Heritage Alteration Permit 100748, and Sign Bylaw Amendment No. 5068.

REZONING APPLICATION NO. 100411 AND
 OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
 Page 5 . . .



REZONING APPLICATION NO. 100411 AND
OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
(STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
Page 6 . . .



ZONING BYLAW NO. 2500

REZONING APPLICATION NO. 100411 AND
OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
(STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
Page 8 . . .



RENDERING- SUBMITTED BY APPLICANT



REZONING APPLICATION NO. 100411 AND
 OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
 Page 9 . . .

REFERENCE:

Owners/Applicant:	Statewood Properties Ltd. 205 – 280 Nelson Street Vancouver, BC V6B 2E2
Agent:	Keystone Architecture and Planning Ltd. 110 – 2881 Garden Street Abbotsford, BC V2T 4X1
Legal Description:	Lot A, District Lot 19, Group 2, New Westminster District Plan BCP51658.
Location:	9220 Glover Road
Area:	0.22 ha (0.55 acre)
Existing Zoning:	Community Commercial Zone C-2
Proposed Zoning:	Comprehensive Development Zone CD-100
Fort Langley Community Plan:	Commercial, Heritage Conservation Area

BACKGROUND/HISTORY:

Part of the subject site is the location of the original Coulter and Berry General Store built in 1897 - 1898. The original store was destroyed by fire in the late 1920's and rebuilt. The general store changed owners three times before a new 268 m² (2,880 ft²) warehouse occupied by Tommy's Market and the Lucky Dollar store was built on the site in 1969. In 1970, a 675 m² (7,268 ft²) retail store was added to the site. The Fort Supply Company, subsequently renamed the IGA, moved to the site in 1975. The Fort Supply Company building was owned and operated by the Lee Family for thirty-five years until its destruction by fire on January 4, 2011.

On July 25, 2011, Council considered and approved a Heritage Alteration Permit (DP100652) for development consisting of two (2) two (2) storey retail / office buildings (736 m² / 7,920 ft²) fronting Glover Road and Mavis Avenue on a portion of the subject site (formerly 9224 Glover Road) as part of the "Fort Langley IGA/ Marcon Developments Ltd." application. Although the grocery store component of that application has proceeded to construction, development of the portion of the site proposed to accommodate the two (2) two (2) storey retail / office buildings has since changed ownership and now forms part of the subject application, along with the site formerly occupied by "Frontier Hardware" at 9202 Glover Road.

On November 20, 2012, Council issued Heritage Alteration Permit No. 100685, which varied the existing Zoning Bylaw provisions regulating height, site coverage and rear yard setback on the site.

On June 21, 2013, the Township issued Building Permit No. BP125536 to permit demolition of buildings and structures on the site.

On August 19, 2013, the Township issued Building Permit No. BP125892 to permit excavation on the site.

REZONING APPLICATION NO. 100411 AND
 OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
 Page 10 . . .

In October 2013, heritage alteration permit No. 100685 was set aside as a result of a BC Supreme Court ruling (*Society of Fort Langley Residents for Sustainable Development et al v. Township of Langley*). The court ruled that, in issuing the Heritage Alteration Permit, the Township varied “density of use” contrary to Section 972(4)(a) of the *Local Government Act*. The ruling noted that Council may amend the existing C-2 zone provisions regulating height, site coverage and rear yard setback by adopting a Zoning Bylaw amendment.

The applicant has submitted a rezoning application for a site specific Comprehensive Development zone based on the existing C-2 zone, with modifications that allow for the increased height, site coverage and reduced rear yard setback of the proposal.

The Township has initiated a concurrent application to amend the Fort Langley Community Plan to clarify the original purpose, role and intent of the Fort Langley Building Façade Design Guidelines.

The applicant has also applied for a Heritage Alteration Permit to accommodate a revised mixed use development on the subject site.

DISCUSSION/ANALYSIS:

The application proposes to rezone 0.22 ha (0.55 acre) of land to Comprehensive Development Zone CD-100 to facilitate the construction of a three (3) storey mixed use development with 1,172 m² (12,617 ft²) of first floor retail space and a 219 m² (2,352 ft²) restaurant, 1,278 m² (13,752 ft²) of second floor office space, and 1,220 m² (13,137 ft²) of third floor residential space (9 dwelling units) at a height of 13.69 metres (44’11”).

The application is considered in light of the Fort Langley Community Plan and the heritage guidelines contained therein and requirements found in the Zoning Bylaw; both the General Regulations Section and the proposed CD-100 Zone that closely resembles the existing C-2 Community Commercial zoning regulations (with the exceptions for height, site coverage, and rear yard setback to accommodate the proposed development). Heritage Alteration Permits are required for development of property contained within the Fort Langley Heritage Conservation Area.

The subject property was previously two (2) lots (formerly addressed as 9202 and 9224 Glover Road), which have been consolidated into a single lot with a civic address of 9220 Glover Road. The site is currently vacant, as site excavation work commenced following approval of the Heritage Alteration Permit No. 100685 in November 2012.

Surrounding land uses include:

North: Mavis Avenue, beyond which are established commercial uses (zoned Community Commercial Zone C-2)
South: Along Glover Road established commercial uses (zoned Community Commercial Zone C-2)

REZONING APPLICATION NO. 100411 AND
 OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
 Page 11 . . .

- East:** A rear lane, beyond which is the newly constructed Lee's Market grocery store, beyond which is the former site of Reid's blacksmith shop and garage (zoned Community Commercial Zone C-2) located further east on the opposite side of Church Street; a Heritage Alteration Permit was approved for that site in April 2013 and construction is currently in progress for a mixed use building with ground floor commercial space and four (4) apartments above;
- West:** Glover Road beyond which are established commercial uses (zoned Community Commercial Zone C-2)

Fort Langley Community Plan Amendment:

Section 5.1 of the Fort Langley Community Plan designates a Heritage Conservation Area (HCA) for the purpose of providing long-term protection to a distinct district with special heritage value or character. The goal of a HCA is to enhance the unique characteristics of a heritage area by providing a comprehensive approach to managing heritage area resources and ensuring compatible new development. Design guidelines that specify how area objectives are to be met are a requirement of all HCA's.

The Fort Langley Community Plan contains three (3) binding design guidelines in Section 5.1 as noted below:

"General building design guidelines are as follows:

- a) Historic buildings should be renovated and restored in a manner appropriate to their individual period and style and, whenever possible, original forms, materials and details should be uncovered or left in place and preserved;*
- b) New construction and infill projects should be designed to blend harmoniously with historic elements of the streetscape; and*
- c) Decorative styles which are out of place with the architectural evolution of Fort Langley should be avoided."*

In addition to these binding guidelines, Council has adopted by resolution (May 3, 1993) a comprehensive set of non-binding policy guidelines (known as the "Fort Langley Building Façade Design Guidelines"). The intent of the proposed amendment to the Fort Langley Community Plan is to clarify that the "Fort Langley Building Façade Design Guidelines" are non-binding policy guidelines which are not part of the Fort Langley Community Plan and which may be amended or repealed by Council resolution. A companion amendment to the Township's Sign Bylaw is also proposed for added clarity.

Official Community Plan Consultation Policy:

In accordance with Council's Official Community Plan Consultation Policy (07-621), the Langley School District and Kwantlen First Nation, in addition to standard agency referrals and the Fort Langley Business Improvement Association and the Fort Langley Community Association, were consulted as part of the Official Community Plan (OCP) amendment application process. The School District did not express any concerns regarding the proposed amendments (see Attachment D). Neither the Kwantlen First Nation nor the Fort Langley Business Improvement Association or the Fort Langley Community Association have responded to the referral.

REZONING APPLICATION NO. 100411 AND
 OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
 Page 12 . . .

Zoning Amendment:

The subject site is currently zoned Community Commercial Zone (C-2). Bylaw No. 5064 proposes to create a site specific Comprehensive Development CD-100 zone to accommodate the proposed development. The proposed CD-100 Zone is based upon the provisions of the existing C-2 zone with the exceptions of height, site coverage and rear yard setback. The CD-100 Zone will accommodate:

- building height of 13.69 m / 44'11" (versus 9.0 m / 29'6" in the C-2 Zone);
- site coverage of up to 67% (versus a maximum of 60% in the C-2 Zone) for buildings with at least 50% of required parking spaces within the building or underground; and
- a rear yard setback proposed at 20.9 cm / 8¼ in (versus a rear yard setback of 3.0 m / 9'10" in the C-2 Zone).

These exceptions are to accommodate the proposed development in its current configuration. The project complies with the provisions of the site's proposed CD-100 zoning in terms of siting, site coverage, parking, height, use and density.

Sign Bylaw Amendment:

The Township's Sign Bylaw (Section 9.1) makes specific provision for review of signage within the Fort Langley Heritage Conservation Area. In order to ensure consistency between the Sign Bylaw and the proposed amendment to the Fort Langley Official Community Plan, a companion amendment is required to the Township of Langley Sign Bylaw. The intent of the amendment is to ensure that signage within the Fort Langley Heritage Conservation Area continues to be reviewed in light of the general building design guidelines of the Plan.

Heritage Alteration Permit:

In accordance with Council's policy, supporting materials have been submitted detailing the proposed development's form, character and siting. Heritage Alteration Permit guidelines relevant to the site are contained in the Fort Langley Community Plan. Proposed Heritage Alteration Permit No. 100748 is attached to this report (see Attachment A).

The proponent has submitted a design rationale (Attachment B), which states in part:

The Coulter Berry Building's proposed architecture represents and approach to contextual heritage area design that strives to complement the prevailing historic qualities of the Fort Langley commercial core without overtly mimicking them in an anachronistic manner.

Coulter Berry Building:

The proponent has submitted elevations and a rendering detailing the form, height, exterior finishing, architectural style and massing of the proposed apartment building. The proposed three (3) storey building is composed of ten (10) ground floor commercial retail units (including a restaurant space), six (6) second floor office units and nine (9) third floor residential units.

REZONING APPLICATION NO. 100411 AND
OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
(STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
Page 13 . . .

The current proposal differs from the previously approved development under HAP100685, with a reduction in dwelling units (from 10 units to 9 units), a reduction in the floor area of the restaurant (from a 2 storey plus roof top patio of 274 m² (2,945 ft²) to one storey of 216 m² (2,324 ft²)), an increase of floor area to the ground floor retail from 979 m² (10,537 ft²) to 1,175 m² (12,650 ft²). The second floor office space has been reduced slightly in size, from the approved 1,166 m² (12,551 ft²) to the proposed 1,163 m² (12,514 ft²). The proposed building height (13.69 m / 44'11"), site coverage (67%), parking (60 spaces) and building siting comply with the CD-100 zoning provisions.

Heritage Guideline Review

The applicable heritage guidelines for the proposal are as follows:

- a) historic buildings should be renovated and restored in a manner appropriate to their individual period and style and, whenever possible, original forms, materials and details should be uncovered or left in place and preserved;
- b) new construction and infill projects should be designed to blend harmoniously with historic elements of the streetscape; and
- c) decorative styles which are out of place with the architectural evolution of Fort Langley should be avoided

The proposed project has been designed to blend harmoniously with the streetscape primarily through the use of vertical facade elements that approximate the width of traditionally sized lots within the immediate area. What appears to be four distinct facades facing Glover Road and three facing Mavis Avenue, together create the appearance of a series of buildings that have been built incrementally overtime. Made distinctive through variations in their material styling, these facades reflect the existing rhythm and pattern of the street, while acknowledging a process that has given shape to the existing context overtime.

Although the architectural evolution of Fort Langley has been predominantly characterized by the use of wood construction, other materials have been introduced into the area over time, resulting in a diverse range of both modest and decorative buildings that define the eclectic appearance that characterizes the Fort Langley commercial district today. Traditional wood materials, or wood replicates, common to Fort Langley, in combination with brick masonry constructed using traditional methods and colours are proposed for this project. While the use of brick is presented on a larger scale than has previously existed, its use reinforces and complements the traditional styling of the early 20th century period during which the historic sites encompassed by the conservation area were built.

The proposed building heights (3 storeys, 13.69 m), site coverage (66.4%) and building siting comply with the provisions of the Comprehensive Development CD-100 zone. The development in staff's opinion complies with the intent of the Fort Langley Community Plan and with the Fort Langley Building Façade Guidelines for the area.

REZONING APPLICATION NO. 100411 AND
 OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
 Page 14 . . .

Heritage Review Panel/Heritage Advisory Committee:

The Heritage Review Panel, a standing subcommittee of the Heritage Advisory Committee, has reviewed the proposed development at their January 29, 2014 meeting (meeting notes provided in Attachment “C”) and offered the following summary comments:

In summary, it was observed that the new application is considerably changed from the original proposal. Although concerns regarding the height of the building remain, changes to the proposed character and design of the project were viewed as positive in achieving a better fit for this project with the Fort Langley village.

The comment was offered that people come to Fort Langley for its “main street” environment, which resonates a past or tradition that is difficult for large scale developments to convey. The original building was bulky and did not particularly fit with the existing street or reflect the past, and this application addresses that issue. It was thought that people visiting Fort Langley will still experience the same environment, and that this re-designed project will add to the visual inventory of images and sites of its visitors. The Panel also reiterated the desire for a review of the design guidelines with public input. The community does need some confidence that there is a plan and a means to address the issue of how things will evolve and be sustainable. First Nations and other design elements should be suggested for inclusion in the review.

The Heritage Advisory Committee, at their February 5, 2014 meeting, passed the following resolution in regards to the proposed development:

That the Heritage Advisory Committee accepts the comments from the Heritage Review Panel regarding the Coulter Berry resubmission.

Façade Guideline Review:

The proposed Coulter Berry Building has been reviewed against the Fort Langley Building Façade Design Guidelines, which provide non-binding direction on the general massing and architecture of the building, the design elements incorporated into the facades (including windows and doors), and additional styling details of items such as canopies, signage and lighting.

The revised proposal departs from the previous application by replacing a primarily horizontal façade with a series of vertical building facades characterized by their own distinct historic styling and character.



New Design



Previously Approved Design

REZONING APPLICATION NO. 100411 AND
OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
(STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
Page 15 . . .

Materials: The use of brick as a full façade material finish presents a new and more extensive use of this material in this context than has previously existed. Based on the colour and materials board submitted, traditional red, brown and buff colour tones consistent with the recommendations for the area are proposed, and standard full-size brick with traditional brick detailing will be used throughout the project.

Colour Scheme: Given the proposed change in materials, a darker more muted colour scheme than the previous application is proposed that is more in keeping with the Fort Langley colour palette.

Windows and Doors: Consistent with the extensive use of brick proposed, window configurations have changed to include the use of arched windows, while doors have a traditional appearance consistent with the façades in which they occur.

Canopies and awnings: Canopies and awnings over the proposed building entries have been reduced from 13 to 4 around the perimeter of the building.

Lighting: Various period lighting is noted in the drawings and is consistent with the traditional styling encouraged by the guidelines.

Signage: Hanging signs have been converted to fascia sign bands, which are incorporated into the building design providing a cleaner more integrated appearance for signage on the building. In some locations, recessed signage, flat fixed signage or single lettering is indicated. All of these types of signs are consistent with character of the signage recommended for the area.

Adaptable Housing:

While there are currently no requirements for adaptable housing in Fort Langley, the application proposes to provide three (3) adaptable housing units and one (1) accessible housing unit. The adaptable units will be secured by restrictive covenant prior to final reading.

Landscaping:

As the building is sited at property line on Glover Road, the landscape plans for the development focus on planting areas within the parking lots and adjacent to the rear lot line where space allows. The proposed landscaping (Schedules M through P to the Heritage Alteration Permit) meets the requirements of the Zoning Bylaw for parking lot landscaping. The applicant proposes to provide an upper level deck with landscape screening consisting of raised planters for the two residential units, and three raised planters with one tree in each on the restricted access rooftop. The applicant also proposes to provide a special paving installation at the corner of Mavis Avenue and the rear lane, and an area of special paving at the corner of Mavis Avenue and Glover Road. A final landscape plan to the acceptance of the Township is required as a condition of the Heritage Alteration Permit.

REZONING APPLICATION NO. 100411 AND
OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
(STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
Page 16 . . .

Child Friendly Amenity Areas:

The proposal currently does not provide a Child Friendly Amenity Area on site and will therefore be required to meet the requirements for providing this amenity by providing a cash-in-lieu payment. The previously approved project proposed a cash-in-lieu payment, with the funds being used to provide additional play equipment at a local park. The cash-in-lieu approach taking into account the value of land and improvements (play equipment and associated landscaping), as well as locating required Child Friendly Area 'off-site' have been previously considered for the 'Outlook' townhouse project (20984 – 83 Avenue) and the 'Elements' apartment project (20100 and 20200 block - 66 Avenue). Details of this approach including the cash-in-lieu amount to include land and improved value is included as a Heritage Alteration Permit requirement to the acceptance of the Township.

Tree Protection/ Replacement:

As the site was previously cleared and excavated for underground parking, no significant trees exist on the site. In accordance with the Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection), 17 replacement trees are required for the development.

The applicant has proposed to plant 5 trees on the site, the shortfall of replacement trees (12) will be provided in the form of a cash-in-lieu payment. The applicant will be providing a minimum of 5 street trees on Glover Road and Mavis Avenue. As a result, 10 trees will be in place following development of the site. Final approval of the tree replacement plan is subject to the acceptance of the Township as a condition of the Heritage Alteration Permit

Transit:

Transit service is currently provided approximately two (2) blocks south of the site on Glover Road by the C62 (Walnut Grove/Langley Centre) community shuttle.

Servicing:

Full urban services exist to the subject site. Prior to work commencing on the site, a site specific on-site servicing and stormwater management plan is required to be submitted in accordance with the Township's Subdivision and Development Servicing Bylaw to the acceptance of the Township. In addition, an erosion and sediment control plan is required in accordance with the Erosion and Sediment Control Bylaw to the acceptance of the Township.

Prior to final reading, the applicant is required to enter into a Servicing Agreement to secure works and services such as construction of road works, tree replacement, stormwater management plan and utility upgrades and/or extensions to the acceptance of the Township. Road dedications, widening, and necessary traffic improvements for will be required in accordance with the Subdivision and Development Servicing Bylaw and the Fort Langley Community Plan. The applicant will also be required to provide erosion and sediment control measures in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township of Langley.

Access and Parking:

Vehicle access to the building is provided from the rear lane. A loading bay has been provided which is accessed from the rear lane as well.

REZONING APPLICATION NO. 100411 AND
 OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
 Page 17 . . .

The amount of parking required on site by the development is determined by the uses proposed on the site, and the parking generation numbers applied to those uses. Within Fort Langley's commercial area, the regulations that apply to the parking generation numbers are: Section 107 Parking and Loading Requirements of the Zoning Bylaw to establish the base parking required; the Fort Langley Off-Street Parking Bylaw 1995 No. 3472 Section 11 (b) to grant parking credits for redevelopment of existing sites; and, the Township's Zoning Bylaw Section 107.1(2) which allows for a 50% reduction in parking required in Fort Langley for commercial uses.

The parking for the site, using these regulations, is then calculated as follows:

Base Zoning Bylaw Requirements (Section 107 of Zoning Bylaw)

<u>Proposed Uses</u>	<u>Stalls Required</u>
Retail: 1,175 m ² (12,650 ft ²)	59 parking stalls required
Office: 1,277 m ² (13,752 ft ²)	46 parking stalls required
Restaurant: 216 m ² (2,324 ft ²)	11 parking stalls required
<u>Residential: 9 units</u>	<u>14 stalls required (includes 1 visitor stall)</u>
Total Parking Based on Uses	130 stalls required

Credits from Ft Langley Off-Street Parking Bylaw 1995 No. 3472

Hardware Building:	Credit
Retail: 384 m ² (4,137 ft ²)	19 stalls
Office: 169 m ² (1,819 ft ²)	6 stalls
Total Credit	25 stalls

Zoning Bylaw Section 107.1(2)

Commercial Parking Stalls required

As per Zoning Bylaw	116 stalls
Minus credit	25 stalls
<u>50% commercial reduction</u>	<u>46 stalls ((116-25) * 50%)</u>
Total Parking Required	60 stalls (46 commercial + 14 residential)
Total Parking Provided	60 stalls

As such, the parking proposed is in compliance with the Zoning Bylaw and Fort Langley Off-Street Parking Bylaw 1995 No. 3472.

School Site:

School District 35 has indicated that the proposal will generate up to 2 school aged children; 1 elementary and 1 secondary school (Attachment D). The applicable school catchment for elementary students is Fort Langley, located approximately 870 metres to the south of the site at 8877 Bartlett Street. The applicable school catchment for secondary students is DW Poppy, located approximately 11.5 km to the south of the subject site at 23752 - 52nd Avenue. Langley Fine Arts School is located 925 metres to the southwest of the subject site at 9096 Trattle Street. The closest secondary school is Walnut Grove Secondary, located approximately 5.3 km to the west of the subject site in Walnut Grove at 8919 Walnut Grove Drive.

Parks:

The proposed development falls within the Fort Langley Community Plan area. The Fort Langley National Historic Site is located approximately 135 metres to the east of the subject site, and the Fort Langley Community Park is located approximately 650 metres to the south west of the subject site.

REZONING APPLICATION NO. 100411 AND
 OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
 HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
 (STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
 Page 18 . . .

Exterior Lighting Impact Policy:

Council's Exterior Lighting Impact Policy is intended to address concerns regarding off-site lighting impacts from commercial and industrial development located within 150 metres from residential and rural properties. The subject site is located in close proximity to residential properties. Compliance with the exterior lighting policy will be secured through provision of an Exterior Lighting Impact Plan prior to building permit approval.

Environmental Considerations:

The Township's Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township's Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Streamside Protection Bylaw, Erosion and Sediment Control Bylaw, and Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations.

The provision of stormwater management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter. There are no watercourses on the site.

Development Prerequisites:

Prior to final reading, the following items must be finalized:

1. A Servicing Agreement being entered into with the Township to secure required road and utility upgrades and extensions in accordance with the Township's Subdivision and Development Servicing Bylaw to the acceptance of the Township;
2. Completion of an erosion and sediment control plan and provision of security in accordance with the Erosion and Sediment Control Bylaw to the acceptance of the Township;
3. Provision of road dedications, widenings, and necessary traffic improvements to the acceptance of the Township in accordance with the Township's Subdivision and Development Servicing Bylaw and the Fort Langley Community Plan;
4. Compliance with the Child Friendly Amenity Area requirements to the acceptance of the Township;
5. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
6. Registration of a right of way for a 5.0 metre by 5.0 metre corner truncation at the south east corner of Mavis Avenue and Glover Road to the acceptance of the township;
7. Registration of restrictive covenants acceptable to the Township identifying the units proposed to incorporate the Basic Adaptable Housing Requirements Policy; and,
8. Payment of applicable supplemental Rezoning fees, Site Servicing Review fee and compliance with the Township's 5% Neighbourhood Park Land Acquisition Policy.

POLICY CONSIDERATIONS:

The subject site is designated Commercial in the Fort Langley Community Plan, is currently zoned Community Commercial (C-2) and located in the Fort Langley Heritage Conservation Area. Council had previously reviewed, and approved, a similar project for this site. The proposal that is subject of this application is similar in most respects and has improved the overall design of the project. An amendment to the Fort Langley Community Plan is proposed to clarify the role of the "Fort Langley Building Façade Design Guidelines".

REZONING APPLICATION NO. 100411 AND
OFFICIAL COMMUNITY PLAN AMENDMENT APPLICATION NO. 000006
HERITAGE ALTERATION PERMIT APPLICATION NO. 100748
(STATEWOOD PROPERTIES LTD. / 9220 GLOVER ROAD)
Page 19 . . .

Staff recommend that Council give first and second reading to Bylaws No. 5063, 5064 and 5068 subject to eight (8) development prerequisites being completed prior to final reading, issuance of Heritage Alteration Permit No. 100748 subject to seven (7) conditions noting ten (10) building permit conditions, and that staff be authorized to schedule a public hearing for Bylaws No. 5063 and 5064 and a public input opportunity for Heritage Alteration Permit No. 100748 to be held in conjunction with the public hearing.

Respectfully submitted,

Chris Laing
SENIOR DEVELOPMENT PLANNER
for
COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A Heritage Alteration Permit No. 100748:

- SCHEDULE A Rendering
- SCHEDULE B Rendering
- SCHEDULE C Rendering
- SCHEDULE D Rendering
- SCHEDULE E Rendering
- SCHEDULE F Rendering
- SCHEDULE G Site Plan
- SCHEDULE H Building Elevations
- SCHEDULE I Building Elevations
- SCHEDULE J Materials and Colour
- SCHEDULE K Materials and Colour
- SCHEDULE L Landscape & Tree Plan
- SCHEDULE M 3rd Floor Landscape Plan
- SCHEDULE N Streetscape Section
- SCHEDULE O Screen Fence Details
- SCHEDULE P Landscape Details

ATTACHMENT B Developer Letter of Intent

ATTACHMENT C Heritage Review Panel Meeting Notes

ATTACHMENT D School District 35 comments

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Heritage Alteration Permit No. 100748

This Permit is issued this _____ day of _____, 2014 to:

1. NAME & ADDRESS: Statewood Properties Ltd.
2480 – 1066 West Hastings Street
Vancouver, BC V6E 3X2

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Lot A District Lot 19, GRP 2, NWD Plan BCP51658
PID: 028-968-956

CIVIC ADDRESS: 9220 Glover Road

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:
 - a. Building plans being in substantial compliance with Schedules “A” through “K”;
 - b. Landscape plans being in substantial compliance with Schedules “L” and “P”, in compliance with the Township’s Street Tree and Boulevard Planting Policy, and to the final acceptance of the Township;
 - c. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with the Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) to the acceptance of the Township;
 - d. Compliance with the Child Friendly Amenity Area requirements to the acceptance of the Township;
 - e. All signage being in substantial compliance with Schedule “A” through “F” and “H” through “K” and the Township of Langley Sign Bylaw;
 - f. Rooftop mechanical equipment being located so that it is screened from view by compatible architectural treatments; and,
 - g. All refuse areas being located inside the building to the acceptance of the Township.

4. Although not part of the Heritage Alteration Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:
 - a. Provision of an exterior lighting impact plan prepared by an electrical engineer in compliance with the provisions of the Township’s Exterior Lighting Impact Policy to the acceptance of the Township;
 - b. Provision of a restrictive covenant, acceptable to the Township, that identifies and secures the four (4) adaptable housing units as defined by the Township’s Basic Adaptable Housing Requirements Policy;
 - c. Payment of cash-in-lieu amount for Child Friendly Amenity Area equivalency, to include land and improvement value, to the acceptance of the Township;
 - d. Payment of cash-in-lieu amount for Replacement Tree shortfall to the acceptance of the Township;
 - e. Landscape and boulevard improvements being secured by letter of credit at Building Permit;

- f. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw, and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
 - g. A Highways Use Permit being secured for any projections (i.e. awnings and signage) onto municipal roads, if any, to the satisfaction of the Township;
 - h. Submission of a geotechnical report prepared by a geotechnical engineer to the acceptance of the Township;
 - i. Payment of applicable Development Cost Charges, 5% Neighbourhood Parkland Acquisition Fee, and Building Permit Administration Fees; and,
 - j. Payment of supplemental Heritage Alteration Permit application fees, if any.
5. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Heritage Alteration Permit shall be substantially commenced within two years after the date the Heritage Alteration Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2014.

Attachments:

SCHEDULE A	Rendering
SCHEDULE B	Rendering
SCHEDULE C	Rendering
SCHEDULE D	Rendering
SCHEDULE E	Rendering
SCHEDULE F	Rendering
SCHEDULE G	Site Plan
SCHEDULE H	Building Elevations
SCHEDULE I	Building Elevations
SCHEDULE J	Materials and Colour
SCHEDULE K	Materials and Colour
SCHEDULE L	Landscape & Tree Plan
SCHEDULE M	3 rd Floor Landscape Plan
SCHEDULE N	Streetscape Section
SCHEDULE O	Screen Fence Details
SCHEDULE P	Landscape Details



AERIAL VIEW - LANE & PARKING LOT



STREET VIEW - LANE & PARKING LOT



STREET VIEW - CORNER OF GLOVER & MAVIS



STREET VIEW - CORNER OF MAVIS & LANE



STREET VIEW - RESTAURANT ON GLOVER



STREET VIEW - BREEZEWAY ON GLOVER

GOULTER BERRY BUILDING 2.0

9220 GLOVER ROAD, FORT LANGLEY



NORTH-WEST ELEVATION (Facing Glover)
3/32" = 1'-0"



NORTH ELEVATION (Corner of Glover & Mavis)
3/32" = 1'-0"



NORTH-EAST ELEVATION (Facing Mavis)
3/32" = 1'-0"



SOUTH-EAST ELEVATION (Facing Lane)
3/32" = 1'-0"

GENERAL NOTES: 1. FINISHES ON ALL FACES AND CORNER ROUNDS BY TRADES/CONTRACTOR. ALSO VERIFY LOCALITY OF FINISHES IS REQUIRED. 2. SEE FINISHED ELEVATIONS FOR MATERIALS & FINISHES.



DD-6

SCHEDULE H BUILDING ELEVATIONS

GOULTER BERRY BUILDING 2.0

9220 GLOVER ROAD, FORT LANGLEY



SOUTH-EAST ELEVATION (close-up)
3/32" = 1'-0"



SOUTH-WEST ELEVATION
3/32" = 1'-0"



INSIDE BREEZEWAY, NORTH-EAST ELEVATION
3/32" = 1'-0"



SOUTH-WEST ELEVATION (Close-up including Breezeway)
3/32" = 1'-0"



SOUTH ELEVATION (inside corner)
3/32" = 1'-0"

GENERAL NOTES:
1. DRAWING IS A GUIDE FOR ALL APPLICABLE CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITY.



DD-7

SCHEDULE M 3rd FLOOR LANDSCAPE PLAN

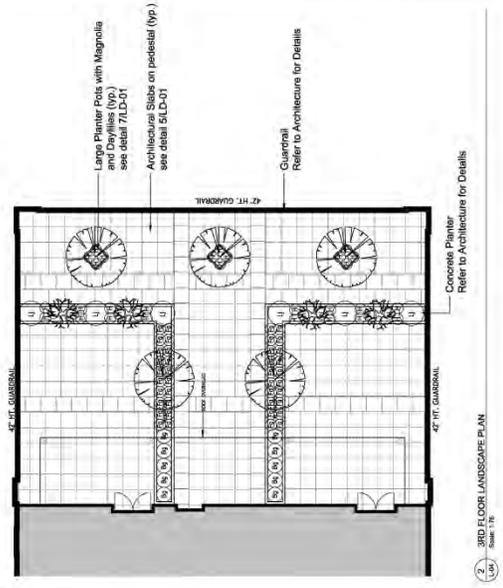
F.1

3RD FLOOR TREE PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
10	<i>Juniperus scopulorum</i>	Royal Star Juniper	5	2.25 FT. x 1.5 FT.	200mm O.C.
11	<i>Magnolia stellata</i>	Star Magnolia	4	3.0 FT. x 1.5 FT.	200mm O.C.

3RD FLOOR SHRUB PLANTING SCHEDULE

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	SPACING
12	<i>Juniperus scopulorum</i>	Royal Star Juniper	10	42 FT. x 18 FT.	500mm O.C.
13	<i>Magnolia stellata</i>	Star Magnolia	40	42 FT. x 18 FT.	500mm O.C.
14	<i>Juniperus scopulorum</i>	Royal Star Juniper	1	42 FT. x 18 FT.	500mm O.C.
15	<i>Magnolia stellata</i>	Star Magnolia	1	42 FT. x 18 FT.	500mm O.C.



3RD FLOOR LANDSCAPE PLAN
 Scale: 1/8" = 1'-0"

Labels on plan: Large Planter Pots with Magnolia and Daylilies (typ.) see detail 7LD-01; Architectural Slabs on pedestal (typ.) see detail 5LD-01; Concrete Planter Refer to Architecture for Details; Guards Refer to Architecture for Details.

NOTES:

- ALL PLANT MATERIAL SHALL MEET OR EXCEED STANDARDS REQUIRED BY BCMA OR BCMA GUIDELINES.
- PLANT MATERIAL SHALL BE SUPPLIED BY THE CONTRACTOR AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL BY THE CONSULTANT PRIOR TO DELIVERY TO THE SITE.
- AMEND TO ORIGINAL RECOMMENDATIONS PRIOR TO SPREADING ON SITE SUBJECT TO CONSULTANT APPROVAL.
- TOPSOIL DEPTH FOR PLANTING AS FOLLOWS:
 - A. SPRINGS: 450MM
 - B. SPRINGS: 300MM
 - C. SPRINGS: 150MM
1. ALL PLANTING MATERIAL TO BE INSTALLED IN ALL DESIGNATED PLANTING AREAS.

3RD FLOOR TREE LEGEND

	<i>Juniperus scopulorum</i>	Royal Star
	<i>Magnolia stellata</i>	Royal Star

3RD FLOOR LANDSCAPE LEGEND

10	<i>Juniperus scopulorum</i>	Royal Star
11	<i>Magnolia stellata</i>	Royal Star
12	<i>Juniperus scopulorum</i>	Royal Star
13	<i>Magnolia stellata</i>	Royal Star
14	<i>Juniperus scopulorum</i>	Royal Star
15	<i>Magnolia stellata</i>	Royal Star

3RD FLOOR LANDSCAPE PLAN
 Drawing Title

DP2013-03
 VZD Project #

L-04
 Drawing #

Project: THE COULTER BERRY BUILDING #21

Location: 9020 Glover Road, Fort Langley, B.C.

Drawn: [Signature]

Checked: [Signature]

Approved: [Signature]

Scale: 1/8" = 1'-0"

Original Date: Dec. 14, 2013

Revised: [None]





January 22, 2014

Township of Langley
Community Development Division
22170 – 50th Avenue
Langley, BC
V2Y 2Y8

COULTER BERRY BUILDING

LETTER of DESIGN and PLANNING RATIONALE

Overview

The Coulter Berry Building is proposed to be a three story, mixed-use, building with significant underground parking, located at the most important commercial corner in heart of the village of Fort Langley. The proposal is committed to high quality construction and mechanical systems for certification within Leadership in Energy and Environmental Design, and to achieving LEED Gold status.

The Coulter Berry location warrants and deserves a signature building, with a signature design. The design team believes that it has created an exceptional development proposal in terms of architecture, materials, amenities, and site design. Coulter Berry respects and enhances the architectural character and walkability of the public realm with signature façade designs and a committed focus on the pedestrian experience.

Location Context

The proposed development site covers an area of 0.55 acres, or 24,156 square feet. The development lot is bounded by Glover Road to the West, Mavis Avenue to the North, a rear lane shared with Lee's Market to the East, and an existing restaurant to the South.

With the primary orientation of Lee's Market's being towards the lane and rear, not the street, presenting a walkable design that respects the lane as a pedestrian realm has been a design prerequisite. Maintaining a reasonably scaled interface to the under-developed property to the south was also a requirement. In this regard, Coulter Berry's design strives to minimize the visual impact of the transition between these two properties — Coulter Berry and Beatniks Bistro — with reduced height and a thoughtful wall treatment that will better enclose their outdoor patio area, provide visual interest, and height variation.

Primary Mixed-Uses

The proposed building contemplates three primary uses horizontally separated by floor:

- Retail on the ground level, at the sidewalk.
- Offices on the 2nd floor.
- 9 residences on the 3rd floor.

This very rare combination of retail, offices and residences in roughly equal proportions has significant inherent benefits to the local economy, while maintaining a village atmosphere.

New, high-quality retail locations will increase the variety of shopping and services for both local residents and visitors alike. Additional office space will help reduce Fort Langley's dependence on fair-weather visitors, generating more consistent, weekday activity, in addition to providing more employment opportunities for Fort Langley residents within walking distance. New residences of varied sizes and cost will also help support local businesses, add more 'eyes on the street,' and create new housing options within the commercial core for people within a wide range of income.

Maximizing mixed-use potential with three uses that support local residents and the local economy within the context of the Fort Langley Official Community Plan has been a key objective of the design team.

Mixed-use developments bring residents closer to the things they need on a daily basis, reducing traffic demand on local roadways. Mixed-use developments also make the use of land and municipal infrastructure more efficient, minimize automobile use, improve overall community design, conserve environmental resources, and reduce demand for greenfield development conversing more land for open spaces. The value of three primary uses within a single development, especially in a compact commercial village area such as Fort Langley, cannot be overstated.

Fort Langley Official Community Plan

The Fort Langley OCP (FLOCP) sets out a series of objectives and principles that Coulter Berry's proposed design responds to directly. The Fort Langley OCP includes provisions that anticipate development proposals of 3 stories within downtown Fort Langley, such as Coulter Berry.

- The FLOCP permits taller buildings and contemplates buildings that are 12 meters high, which is a three-story baseline. It notes that it would be a challenge to develop buildings of this size, at the time, given the constraints of on-site sewage systems. The scale and character of the core area would be protected by requiring new 3 story buildings to be in a style responding to the heritage theme, which Coulter Berry certainly does, and does well (FLOCP 2.3.1).

- The FLOCP "anticipates an increase in commercial and tourist-oriented development in the downtown" and "encourages new commercial enterprises to locate in the core area" which should be "promoted as both a local and a specialized, tourist-oriented shopping area" (FLCP 2.8.3). With extensive, well-designed retail units, Coulter Berry will improve the variety and quality of retail services within Fort Langley, and offices will enable new companies to locate in Fort Langley, preferably within walking distance of local residences.
- The FLOCP anticipated that residential units would be introduced over retail stores (FLOCP 2.2). In addition, it states explicitly that "residential uses are permitted above the first floor in commercial buildings" and that this form of development "could be increased significantly" when sanitary sewer service becomes available (FLOCP 2.4). With residences in the commercial area, with many inherent benefits, Coulter Berry is responding directly to what the OCP encourages, more people living in the commercial area, and more housing options for a more complete community.
- A higher density residential use in the commercial core was anticipated to be "74 units per hectare" consistent with the zoning in place then and now (FLOCP 2.3.1). In order to achieve this density above the first floor, a 3 story building would be necessary, such as the 3 story Heritage Manor at 9214 Glover Road. The zoning bylaw allows the gross floor area of residential to be up to twice the gross floor area of the first floor commercial, or 1 unit per 135 square meter, or 74 units per hectare, again, only possible within 3 story buildings.
- The provision of adequate parking is a key objective of the FLOCP "since it will ensure the viability of the downtown as a commercial and tourist destination". 88% of Coulter Berry's required parking is hidden underground to enable a design that minimizes impact on the quality of the pedestrian realm, exactly what the FLOCP requests of development applications, such that "any new parking areas created within the commercial core should be planned with the minimum possible impact on the pedestrian ambiance of the area (FLCP 2.10).

The downtown of Fort Langley received sanitary sewer service in 1993, after many years of community discussion. The opposition to the installation of sanitary sewer was related to fear of rampant development. In order to appease those fears the Township of Langley limited the capacity of the the sewer system to serve only the downtown area and a few institutional uses within Fort Langley. In addition, the Zoning Bylaw amended the maximum height of buildings from 12 metres to 9 metres in the core area. The change in height meant that the Township had extra control over development since either a rezoning or a variance would be required to achieve the 12 metre height allowed for in the FLOCP. This control was felt to be important at the time as the installation of a sanitary sewer system removed the constraint of providing on-site sewage facilities and a parking requirement had not yet been implemented.

Coulter Berry as proposed is clearly permitted by the Fort Langley Official Community Plan, and directly addresses many of its policies regarding walkability, pedestrian-orientation, and hiding parking underground.

Parking

To maximize walkability and enable a pedestrian-orientated design, Coulter Berry proposes to provide an underground parkade for 53 vehicles, 88% of the required parking. We locate 7 stalls, the remainder of the required parking, at the rear, away from and out of sight of the two public sidewalks adjacent to the development site.

The value of underground parking to enhancing the pedestrian realm of Fort Langley in the vicinity of this central location is significant. Without this significant majority of parking underground, an alternative design based on a large surface parking lot consuming approximately 55% of the development site's surface area would have to be contemplated. Instead, the proposed design preserves precious ground level spaces for people-orientated features.

Coulter Berry provides ample parking to support its proposed uses, but the three primary mixed-uses proposed will interact very positively in terms of parking demand. Retail and restaurant uses need parking more during the evenings and on weekends, while offices need parking during the day within the work week, and residences use parking overnight. These three uses will share parking stalls, reducing the combined demand for parking stalls compared to single-use developments.

Within Fort Langley's commercial area, commercial uses are granted a 50% reduction from Township of Langley requirements in automobile orientated areas, such as Willowbrook, because of Fort Langley's walkability, available on-street parking, and public parking areas within close proximity to the commercial core.

However, the 3rd floor residences do not qualify for this 50% reduction. A 3rd floor of residences economically enables the vast majority of the required retail and office parking to be located underground and out of sight from the pedestrian. By providing 100% of the required residential parking of 14 stalls underground as well, the 3rd floor would have no negative impact on Fort Langley public parking. Instead, the 3rd floor provides a significant improvement with more commercial parking, especially when compared to the adjacent single story and two story restaurant or cafe uses that provide no parking for customers whatsoever.

In addition to standard vehicle parking, the Coulter Berry proposal includes an electrical service rough-in for two electric car charging stations to be installed at some point in the future, when this vehicle type becomes more common. Extensive bicycle parking is also a key component of the proposed design to support and encourage other modes of transportation to and from the Coulter Berry development. There are 45 bicycle parking stalls in total, at ground level and underground, an unprecedented amount of bicycle parking for a development of this relatively modest size. We have also added two changing rooms with showers to further support and encourage bicycle commuting by commercial users to even further reduce demand for vehicle parking within Fort Langley.

Heritage Context

The Coulter Berry Building's proposed architecture represents an approach to contextual heritage area design that strives to complement the prevailing historic qualities of the

Fort Langley commercial core without overtly mimicking them in an anachronistic manner.

The design team developed the form and massing of the proposed building to preserve a rhythm and scale typically associated with a traditional 'main street' by presenting the exterior appearance of a group of individual building façades that have built up over time, avoiding a single monolithic façade. The vertical expressions of separate sections visually reduces the perceived scale of the proposed building, both from a distance and as a pedestrian on the adjacent and opposite public sidewalks.

Materials and architectural details have been designed to blend harmoniously with the existing historic structures within the heritage area, while also conveying a timeless aspect that will ensure that Coulter Berry retains its design integrity and attractiveness indefinitely.

The decision to incorporate brick masonry as a primary exterior finish material along Glover Road and the corners has been based on the desire to utilize durable and authentic materials in a manner that complements the historic character of downtown Fort Langley, symbolizing the stability of the commercial area going forward.

The commercial core of Fort Langley covers a relatively large area, from St. Andrews Avenue to the Bedford Channel on both sides of Glover Road, as well as portions of 96th Avenue and Billy Brown Road. In addition, Mary Avenue from Glover Road to Church Street and Mavis Avenue from McBride Street to River Road, along with the entire the west side of Church Street from Francis Avenue to the waterfront, are all areas designated as core commercial. Over time, it is assumed that this area will have substantial infilling and redevelopment.



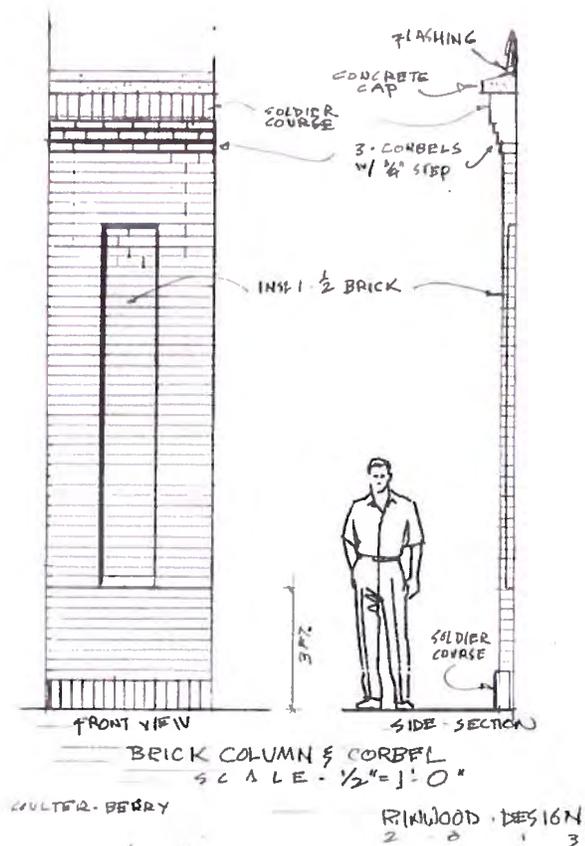
A key feature of this commercial area has always been its eclectic mix of building styles and materials, from the Cornation Block's original chimney features to the Hope Barn's still existing stucco-like cladding, to the tall industrial silos of the Roger's Feedmill and the bee-hive burners of the MacDonald Cedar Mill.

The design team expects that the use of brick masonry for only just over 50% of the Coulter Berry Building will be a welcome relief from the recent trend of hardi-plank as the very much predominant building material, with lacks a certain authenticity compared to wood or brick. Understandably, hardi-plank material is popular for its concrete durability, while resembling wood siding. However, overuse of hardi-plank risks dilution of the authenticity of past heritage and, in particular, Fort Langley's eclectic nature.

An expanded variety of building materials to include brick masonry will add to, not take away from, Fort Langley's unique character. In the opinion of Robert Inwood, the Façade Design Guidelines were never intended to prevent artistic and authentic use of traditional building materials. In the context of a relatively large core area with substantial infill and redevelopment yet to occur, the brick with historic design details proposed for the Coulter Berry Building will provide relief necessary from the creeping homogeneity of hardi-plank, and thereby help maintain Fort Langley's authentic, eclectic and valued character.

To that end, a variety of traditional brick types and styles of detailing have been used in creative ways to provide a richly textured and polychromatic appearance to the structure's façades. Ornamental details have been chosen that reference and are sympathetic to the historic Edwardian Classical architecture that is noted in the Fort Langley Heritage Façade Design Guidelines. The permanence and honesty of brick exemplifies the quality and commitment that Coulter Berry represents to the future prosperity of downtown Fort Langley.

Much care has been taken in the design of the building façades with wood textures to emulate the historic wooden structures found within Fort Langley. These designs ensure that the ornamental elements chosen are in character with the styles that were actually prevalent within the community. In some instances, archival photographs have been sourced to provide accurate templates for architectural features, and new decorative



details have been designed to reflect motifs derived from local indigenous environmental and cultural elements. Although modern materials have been used for the exterior envelope, every attempt has been made to ensure that their application is in accord with the historic precedent of Fort Langley's authentic character.

In addition, the architectural team's selection of subtle earth tone colours increases authenticity, while reducing the visual prominence of the proposed 3 story massing. Residential balconies have also served to add 3rd story articulation on the primary corner at Glover Road and Mavis Avenue, above the central breezeway entrance, and on the rear lane, further adding visual interest while contributing to a less imposing overall design.

Overall, Coulter Berry's design acknowledges and honours the authentic heritage of Fort Langley, will significantly enhance it, and establish a new benchmark for future designs, quality, and timeless appeal.

Anchored Primary Corner

The corner of Glover Road and Mavis Avenue is the most central corner within the commercial area of Fort Langley. As such, the location deserves and requires a prominent design as the highest architectural point within the proposed development. With a vertical common red brick the corner is visually "anchored", conveying strength, permanence, and quality.

This central location has also been selected to provide two artistic motifs of David Coulter and John Berry to the right and left the two primary brick pilasters, adjacent to the most prominent retail entrance.

From the south to the north, the Coulter Berry development site drops 3'8" in elevation, which is a design challenge. With this decrease in elevation, and the requirement for level 2nd and 3rd interior floors, the corner's design is slightly higher than would otherwise be needed to maintain architectural integrity and quality design. However, the design proposed has been designed to minimize its visual impact as much as possible. The corner feature does not span the entire width of the façade. Residential balcony areas have been used as adjacent setbacks to further reduce its prominence. Every attempt has been made to propose an architectural feature for the corner that reduces visual impact as much as possible, while maintaining the necessary prominence of a primary corner feature.

Rear Pedestrian Plaza

The orientation of the front of Lee's Market to the lane and rear, not the street, has been a preexisting design condition that cannot be ignored, and must be addressed with quality design to compensate. The orientation of the front of Lee's Market to the lane and rear, not the street, has been a preexisting design condition that cannot be ignored, and must be addressed with quality design to compensate. This adjacent development has

created the necessity that shared portions of the lane be regarded as a street and pedestrian realm, not simply a rear access lane.

Therefore, the need for the rear of the proposed Coulter Berry Building to be an attractive, useful and relevant pedestrian area was an additional design precedent, only possible because of the underground parkade, which is only possible because of the 3rd floor. With only 7 parking stalls required above ground at the rear, garbage and recycling bins located underground, and two locations designated for bicycle parking, the rear can be proposed as an inviting pedestrian realm in its own right.

The proposed Coulter Berry design has a rear setback of 8' at the thinnest point for a generous additional sidewalk along the northern section of the lane. The wood textured façade with pilasters mimics the Lee's Market's approved design. The Coulter Berry Building's footprint in this area also intentionally mimics the footprint of the Lee's Market, with two additional generous setbacks at the eastern corners of the building for similar open areas and improved pedestrian and vehicle visibility at the intersection and the pedestrian crossing across the lane. It is hoped that these design elements will create the impression the two developments were designed together.

In addition, the starting point of Coulter Berry's rear plaza also mimics the edge of Lee's Market's parking area. Coulter Berry's proposed design also has a deeper rear inset area of up to 60' that creates more interior exposure to the South and increased natural light penetration into interior spaces for improved occupant well being and health.

The surface finish for the Coulter Berry parking area will be pavers, not asphalt, raised to the same height as the adjacent sidewalks to reinforce the priority of the pedestrian ambiance. With this design, the option will be available to close this area for special events or other time periods for other uses, such as outdoor markets or during festivals, within a setting that can transition easily and not feel like a parking lot. Overall, the design at the rear sets a new standard in Fort Langley for improving the livability of so-called 'rear' spaces, with relevant pedestrian connections woven in.

Central Pedestrian Breezeway

A key element within the proposed design is a central pedestrian breezeway that connects Glover Road to Lee's Market and the rear parking plaza, and Lee's Market to Glover Road. The breezeway will be a generous 12' wide so that multiple people will be able to walk past and not need to sidestep each other. The breezeway's generous width will encourage its use, creating an inviting, very walkable corridor with high quality architectural treatments. The breezeway also serves to connect the building's office and residential entrance to Glover Road, preserving street frontage for an additional individual and permeable retail use more typical of historic streets.

The design team felt that the pedestrian connection to the rear at this proposed location, the middle of the consolidated development site, would better serve the community with a more relevant pedestrian connection to Lee's Market, than any alternative location.

A pedestrian connection within a side property line setback between buildings here, for example, would be undesirable given the lack of treatment of the existing fire wall provided by Beatniks Bistro, and the presence of very unsightly shipping containers that have been there for many years, currently used for cold storage. In addition, a side property line location for a pedestrian pathway would create a connection to nowhere, a rear lane location currently lacking any pedestrian amenities, while the proposed location within Coulter Berry will provide a continuous sidewalk to other areas.

Signature Café as Southern Interface

And yet another unique challenge and design condition is the underdeveloped property to the South, a very small cottage-style restaurant atypically set back from the sidewalk to accommodate extensive outdoor seating. Within the proposed Coulter Berry design, the design team incorporated reduced massing and adjacent wall treatments that would otherwise be unnecessary, specifically to accommodate their existing use and layout.

With a specialized restaurant or cafe unit and a unique façade, Coulter Berry as proposed "steps down" to height of 2 stories well before the southern property line. Thankfully, the south side of the adjacent property is not substantially exposed, with the adjacent structure located at the lot line exposing an untreated block wall, apparently anticipating an adjacent building there at some point in the future.



On the exposed portions of the southern wall of Coulter Berry, the extent and detailing of the brick masonry corner features have been enhanced with consistent textual relief work such as corbeling, cornice ledges and insets in the pilaster columns. Lighter coloured cast concrete cornices and soldier courses will create horizontal separation within the common red brick.

At the top of this interface three trees have been proposed to provide unique visual interest there, with a feature unusual and so far unexpected in Fort Langley. The "clap board" style siding for this wall has been enriched by incorporating an arrangement of decorative surface boards to provide both vertical and horizontal interest. The scale and sizing of the siding has been further altered by the use of different profiles, further defining the wall's façade.



The south wall treatment proposed is far superior architecturally, and in significant contrast to the painted cement block wall on the building south of Beatniks Bistro, or the interface provided by Beatniks Bistro. The design and proposed appearance of Coulter Berry's southern wall interface sets a new bar in architectural treatment of a fire wall.

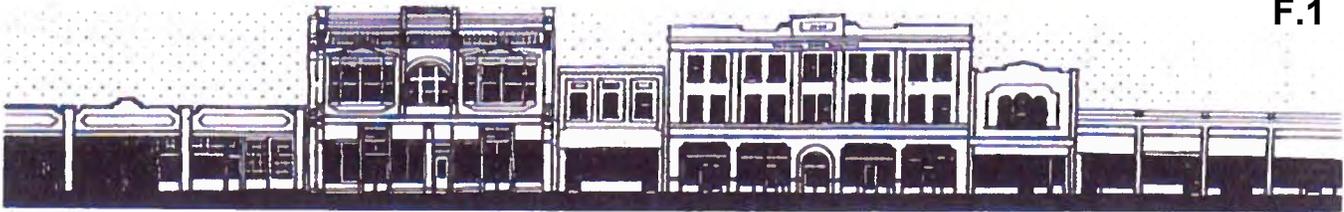
Conclusion

From beginning to end, the proposed Coulter Berry Building aims to become a showpiece asset within Fort Langley, and the Township of Langley as a whole, epitomizing the best of mixed-use planning principles, walkability, and pedestrian-orientated design.

The thoughtfully designed interaction of mixed-uses and numerous amenities will provide and support a variety of unique new destinations within the village's core area. LEED Gold construction, geothermal exchange, photovoltaic solar panels, and a custom mechanical system will all provide significant ongoing energy savings. Likewise, the architectural form and character present a distinctly heritage feel that will complement and add to the village's character for many decades and generations to come.

Best regards,

Norm Davis
Architect, AIBC, MAAA, MRAIC



MAINSTREET CONSULTING ASSOCIATES

Robert Inwood • R.R.T. Winlaw, B.C. Canada V0G 2J0 • Phone (250) 226-7405 Fax (250) 226-7711

January 20, 2014

COULTER BERRY DEVELOPMENT PROPOSAL **DESIGN RATIONALE and HERITAGE CONTEXT WITHIN FORT LANGLEY** **BUILDING FAÇADE DESIGN GUIDELINES**

INTRODUCTION

Based upon my background as the author of the original Township of Langley's Fort Langley Building Façade Design Guidelines, and my participation as a heritage design consultant to the Coulter Berry Building project, I would offer the following supplementary Design Rationale in support of the exterior finish concept that is being proposed in the most current (re)application for the project.

THE PROBLEM

At the core of the stated objectives for the Fort Langley Building Façade Design Guidelines is the premise of protecting and maintaining the authentic character of the community's recognized historic institutional and commercial structures, and assuring that design concepts for renovations and new construction are sympathetic and/or complementary to the historic architectural precedent. It is in the consideration of what exactly constitutes a 'sympathetic' and/or 'complimentary' design that the Guidelines become subjective and may present a challenge to interpretation.

The actual historic architecture of early Fort Langley was of a relatively modest nature, with the majority of structures being constructed of wood in a variety of Late Victorian styles. There are few remaining examples of these original structures within the commercial core area. Since the adoption of the heritage-orientated Building Façade Design Guidelines the majority of designs for Fort Langley based building façade renovations and new construction have mimicked the 'typical' appearance of the popular conception of Victorian architectural detailing, with varying degrees of success. The principle critique of this replication-based approach is that it creates a blurred line of perception between what are the actual 'true' examples of historic buildings and which are the modern contextual examples. There is also the concern that if the 'neo-traditional' detailing is not handled properly it may result in the

creation of façades that are stylistically incorrect and present a fake and tacky appearance that is counter-productive to the intent of the Building Façade Design Guidelines and the commercial objectives of the community.

This issue of authenticity and the 'interpretation of the Building Façade Design Guidelines' was raised to me by members of the Fort Langley heritage community and the Community Development Division in years past, particularly citing the concern that the replication approach to complimentary modern design was denigrating the appreciation of the true heritage structures, and asking for some potential recommendations for a solution to this tendency. It might further be noted that this specific issue is a frequently debated matter in both heritage and architectural circles.

THE SOLUTION

The Coulter Berry proposal has offered an opportunity to address some of these aesthetic concerns in a meaningful way, and it was in this spirit that I joined the design concept exercise hoping, through example, to provide some graphic concepts of potential alternate methods of achieving the desired contextual heritage objectives of compatibility without simply defaulting to faux period wood-faced façades. It is, perhaps, because of this slight divergence from the previous norm that the most recent proposal for the exterior finish materials — specifically the proposed inclusion of substantial areas of brick masonry and detailing of the Coulter Berry building — may raise concerns as to conformance with the intent of the Fort Langley Building Façade Design Guidelines.

In this regard my rationale and argument for the acceptability of brick as a suitable façade material in the Fort Langley business core would be multifold. First, it must initially be acknowledged that brick is listed as an allowed façade material within the Building Façade Design Guidelines. The stipulations for its use are limited to the size, colour, and detailing of its installation. Secondly, the brick elements that have been proposed for portions of the Coulter Berry exterior all conform to the criteria stated in the Fort Langley Building Façade Design Guidelines.

And finally, the larger conformity concern would seem to be whether the use of a material that does not have a substantial historic precedent for use in Fort Langley is "in conformance" with the intent of the Building Façade Design Guidelines. My personal opinion is that its use actually offers some solution to the previously outlined authenticity problems regarding the blurring of the perception between what is genuinely heritage and what is actually new 're-creation historic'. The fact that brick was not used extensively within historic Fort Langley provides a clear demarcation between the past and the present and, therefore, may aid in solving that perception problem, especially if subsequent development applications follow with additional inclusion of masonry elements.

The other key aesthetic component of the conformity issue is to provide designs that "compliment and/or are sympathetic" to the town's heritage ambience and marketing objectives. I believe that the proposed façade for the Coulter Berry structure satisfies this criteria successfully. Care has been taken in the design of both the masonry and wood façade elements to assure that that they are congruent with the prevailing architectural styles and detailing of the period of Fort Langley's historic construction, and provide fresh new ornamental features that avoid the tendency to unfortunate neo-Victorian anachronism. The brick masonry presents a substantial, durable and timeless material that conveys an intrinsic honesty of quality construction, and a subtle message of confidence in the future endurance and prosperity of the community.

COULTER BERRY

Whereas the Coulter Berry project may present a slight variance from previous replicative wood-based interpretations of the Building Façade Design Guidelines, I would submit that, in fact, Coulter Berry represents a positive approach to addressing some of the questionable and problematic aspects of design guideline principles, and offers a template for a more sophisticated and honest heritage-sympathetic design approach going forward.

Thank you for taking the time to consider these somewhat esoteric design elements in this matter. My own participation in the project notwithstanding, I feel that Coulter Berry as now revised is a very attractive and exciting proposal that will ultimately be appreciated as a positive attribute to the historic Fort Langley business core.

Respectfully submitted,



Robert Inwood, BFA, Design Principal, MCA



FORT LANGLEY HERITAGE REVIEW PANEL

MEETING NOTES

January 29, 2014
Bertrand Creek Meeting Room
4:45 pm – 6:00 pm

Present:

Tom Annandale, Chair
Chris Boughen
Fred Pepin
Wes Mufford
Janice Robertson
Bob Rogers

Township of Langley Staff:

Elaine Horricks, Heritage Planner
Chris Laing, Senior Development Planner
Denise Heichert, Administrative Assistant

Delegation:

Eric Woodward, Statewood Properties Ltd.
Norm Davis, Architect, Keystone Architecture

1. HERITAGE ALTERATION PERMIT AND REZONING APPLICATION, Coulter Berry Building, 9220 Glover Road, Fort Langley

Staff introduced the revised Coulter Berry building proposal combining rezoning and heritage alteration permit applications. The rezoning application will address setbacks, height, and site coverage while the Heritage Alteration Permit will address design and character of the proposed building. The package tabled included the meeting agenda, a design rationale from Norm Davis of Keystone Architecture, a supplementary design rationale from Robert Inwood of Mainstreet Consulting Associates with respect to the proposed design and the existing guidelines for the area; a list of changes that have been made to original application provided by the owner; and a full set of architectural drawings.

The Chair complemented the applicants on the quality of the information presented, noting the rationale is well-versed and thorough.

PRESENTATION BY DELEGATION AND DISCUSSION

Norm Davis advised that the rationale behind making changes to the original application include: addressing neighbourhood concerns; revisions to meet LEED Gold requirements; and the opportunity to amend the heritage character of the project by involving Robert Inwood further in the project.

Comments on the specific changes to the architectural drawings were provided by Mr. Davis as follows.

Site Plan (DD-1)

Changes include:

- A slight floor area reduction overall;
- Changing the back lane surface material from asphalt to pavers;
- An increased setback from the IGA, resulting in a larger sidewalk;
- Provision of a wider sidewalk in the indented area of the building at the rear;
- An increase to the width of breezeway from 10 feet to 12 feet.

Mr. Davis commented that the building has multiple frontages and the pedestrian access to all of them has been widened.

Discussion:

The Chair noted that the widened access to these frontages strengthens the site plan.

Underground Parkade (DD-2)

Changes include:

- The addition of another stair on the Mavis Avenue side of the building which will provide direct access to the outside at any hour without going through a lobby – this will assist in addressing security concerns for residents;
- The creation of two levels of security within the parkade – one for general access and the second for assigned parking;
- An increased garbage area;
- The addition of public and private bicycle parking; and
- The addition of showers and change rooms for cyclists, as required by LEED.

Discussion:

The panel inquired as to whether the dedicated parking was for tenants.

Mr. Davis noted that there are two levels of security access to the underground; one is open to visitors during office hours, (but which can be exited from at all hours), and the second is assigned for residential use (behind a gate and requiring a separate key fob). Additional security is provided residents through a lobby interphone.

1st Floor Plan – Retail (DD-3)

Changes include:

- Conversion of the restaurant unit, which was originally designed to have a mezzanine and rooftop, to a single storey main floor unit;
- The addition of an exterior covered area for tables and chairs at the front of the restaurant unit on Glover Road;
- The indentation of the building entrances to provide weather protection and the opportunity to include heritage features;
- The conversion of the previously “public washrooms” to designated use for building users only;
- Vestibule 141 is no longer an open space and a second door has been added.

Discussion:

The Panel inquired as to whether stamped concrete would be used throughout.

Mr. Davis noted further design details will be identified on the landscape plan. The intent is to use pavers on-site, and the public realm will be determined by city requirements. The landscaping is being designed by the same landscape architect that worked on Lee's Market.

2nd Floor Plan – Office (DD-4)

- This floor will now to be used for offices only, as the restaurant mezzanine has been removed.

Discussion:

None

3rd Floor Plan – Residential (DD-5)

Changes include:

- The reduction of the number of units from 10 to 9 to provide large units, including one accessible unit and four fully adaptable units;
- The replacement of the restaurant roof area with private patios to serve two residences. These patios have been substantially set back from the south property line to prevent overlook. Some mechanical units and trees will be located in this area and a roof canopy will be provided over a portion of the patios. This change has reduced the overall roof patio area from the original proposal.

Discussion:

The Panel inquired as to whether the overall floor area had changed.

Mr. Davis noted the area is the same, but the configuration has changed through the reduction of residential units, the removal of some decks and the increased articulation of other decks by setting them back further.

Roof Plan (DD-19)

Changes include:

- The addition of solar panels on the roof to meet LEED Gold standards. There is a point system for meeting the minimum threshold for the Gold standard, and the list of possible design items to achieve the points includes the use of solar panels.

Discussion:

None

Elevations (DD-6 to DD-12)

Changes are as follows:

- The northwest elevation (Glover Street) has changed from being a continuous horizontal elevation to a vertical one, defined by a series of distinct vertical facades that convey the appearance of a number of buildings that have developed over time;
- A small canopy and an outside seating area have been added in front of the restaurant;
- The façade to the north now incorporates a series of small brick arches;
- The breezeway now appears as a separate element;
- Cornices have been changed and lowered on most facades;
- The building has incorporated extensive detailing, most of which have been referenced from heritage photographs;
- Brick has been increased on the primary Glover and Mavis corner façade, and "Louis

Sullivan style arches” have been added at street level to the portion of the building fronting Mavis adjacent to the plaza facing the lane;

- Traditional brick detailing has been used for all the brick sections of the building – the large-scale rendering shows the dentils along the top and the brick corbelling that is characteristic of early turn-of-the century masonry buildings – Robert Inwood has provided the bracket details;
- Some hardie plank is still proposed in place of wood in some sections of the building as it is noncombustible;
- The colour palette has been changed to be more subdued overall and the actual colours are shown on the colour and materials board.

Mr. Woodward noted that these changes have been made voluntarily in an attempt to increase the positive aspects of the proposal. He indicated that the opposing opinion surrounding the scale issue will be addressed through the re-zoning portion of the application.

Discussion:

General comments regarding the form and character of the new proposal provided by the panel included:

- The colours are very much in keeping with Fort Langley;
- The top of the corner section of the building reads like a cross between an art deco and arts & crafts element;
- There is an increased sense of the period the building reflects, as the overall design is more “turn of the century”;
- The individualized façade sections are effective in addressing the building’s overall fit with the existing street pattern;
- The increased setbacks from the lane, and the brick detailing are positive changes to the original plans, as is the widened breezeway;
- It is an attractive design in its use of brick, brick elements, detailing and varied cornices;
- Well-considered linkage to Lee’s Market through the use of reflective symmetry that will create an attractive exterior space at the lane location.

The Panel expressed concerns with the height of the proposal and the precedent it will set in future. Mr. Woodward noted there are provisions in the Zoning Bylaw that stipulate if more than 50% of parking is provided underground or enclosed higher site coverage can be obtained. This proposal provides approximately 90% of its parking underground. The concern should be for further applications where underground parking is not provided at 90% but still proposes three storeys. Mr. Davis commented that underground parking provides for better pedestrian movement at grade level where people can live, work and shop without the intrusion of vehicles.

A discussion about the Guidelines ensued. Staff clarified that the re-zoning application will address the variances to the zoning bylaw for this particular site only.

SUMMARY COMMENTS

In summary, it was observed that the new application is considerably changed from the original proposal. Although concerns regarding the height of the building remain, changes to the proposed character and design of the project were viewed as positive in achieving a better fit for this project within the Fort Langley village.

The comment was offered that people come to Fort Langley for its ‘main street’ environment, which resonates a past or tradition that is difficult for large scale developments to convey. The

original building was bulky and did not particularly fit with the existing street or reflect the past, and this application addresses that issue. It was thought that people visiting Fort Langley will still experience the same environment, and that this re-designed project will add to the visual inventory of images and sites of its visitors.

The Panel also reiterated the desire for a review of the design guidelines with public input. The community does need some confidence that there is a plan and a means to address the issue of how things will evolve and be sustainable. First Nations and other design elements should be suggested for inclusion in the review.

Meeting adjourned at 5:55 pm



February 11, 2014

Chris Laing
 Development Planner
 Township of Langley
 20338 65 Avenue
 Langley, BC V2Y 3J1

RE: Project No. 11-33-0112 STATEWOOD PROPERTIES LTD.

Civic: 9220 Glover Road
 Legal: Lot A District Lot 19 Group 2 NWD Plan BCP51658

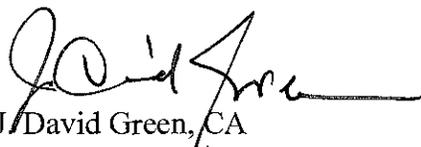
We have reviewed the above proposal. We calculate the approximate number of students generated by this proposal will be as follows:

Type of Housing	Number of Units	Elementary K-7	Secondary 8-12
Condos	9	1	1
Catchment School		Ft. Langley	DW Poppy

These schools have sufficient capacity to accommodate the correct number of students generated by this development.

Please advise if you need any other information.

Yours sincerely,


 J. David Green, CA
 Secretary-Treasurer