

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

**TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500
AMENDMENT (GENARIS PROPERTIES LTD.) BYLAW 2019 NO. 5436**

EXPLANATORY NOTE

Bylaw 2019 No. 5436 rezones a portion of property located at 20559 – 86 Avenue from Suburban Residential Zone SR-2 to Comprehensive Development CD-137 to permit a development consisting of ten (10) townhouse and eight (8) duplex units.

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

TOWNSHIP OF LANGLEY ZONING BYLAW 1987 NO. 2500

AMENDMENT (GENARIS PROPERTIES LTD.) BYLAW 2019 NO. 5436

A Bylaw to amend Township of Langley Zoning Bylaw 1987 No. 2500

The Municipal Council of the Corporation of the Township of Langley, in Open Meeting Assembled, ENACTS AS FOLLOWS:

1. This Bylaw may be cited for all purposes as “Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Genaris Properties Ltd.) Bylaw 2019 No. 5436”.
2. The “Township of Langley Zoning Bylaw 1987 No. 2500” as amended is further amended by:
 - a. Adding to the Table of Contents and Section 104.1 – Zones the words “Comprehensive Development Zone CD-137” after the words “Comprehensive Development Zone CD-136”
 - b. Adding to Section 110.1 after the words “CD-136” the words “CD-137 – 0.42 ha.”
 - c. Adding after Section 1036 “Comprehensive Development Zone CD-136” the following as Section 1037 “Comprehensive Development Zone CD-137”

1037 COMPREHENSIVE DEVELOPMENT ZONE CD-137

Uses Permitted

- 1037.1 In the CD-137 Zone only the following *uses* are permitted and all other *uses* are prohibited:
- 1) *accessory buildings and uses*
 - 2) *accessory home occupations* subject to Section 104.3)
 - 3) *townhouses*
 - 4) *duplexes*

Residential Density

- 1037.2 The density permitted shall be no less than 20 units per hectare (8 units per acre) and no greater than 25 units per hectare (10 units per acre).

Lot Coverage

- 1037.3 *Buildings and structures* shall not cover more than 40% of the *lot area*.

Siting of Buildings and Structures

- 1037.4 *Buildings and structures* shall be sited in accordance with the provisions of the Development Permit.

Height of Buildings and Structures

- 1037.5 The *height of buildings and structures* shall not exceed three (3) storeys.

Parking and Loading

- 1037.6 Parking and loading shall be provided in accordance with Section 107 and be in accordance with the provisions of the Development Permit.

Subdivision Requirements

- 1037.7 All *lots* created by *subdivision* shall comply with Section 110 of this Bylaw and the Subdivision and Development Servicing Bylaw 2011 No. 4861 as amended.

Landscaping, Screening and Fencing

- 1037.8 Landscaping areas, landscaping screens and fencing shall be provided in accordance with the provisions of a Development Permit.

Age Friendly Amenity

- 1037.9 Age Friendly Amenity areas shall be provided in accordance with Section 111.5 and in accordance with the Development Permit.

Development Permit Requirements

- 1037.10 An application for a Development Permit shall be submitted to Council for its consideration prior to issuance of a *Building Permit*.

3. The "Township of Langley Zoning Bylaw 1987 No. 2500" as amended is further amended by rezoning the lands described as:

Portion of Lot 31 Section 26 Township 8 New Westminster District Plan 48848

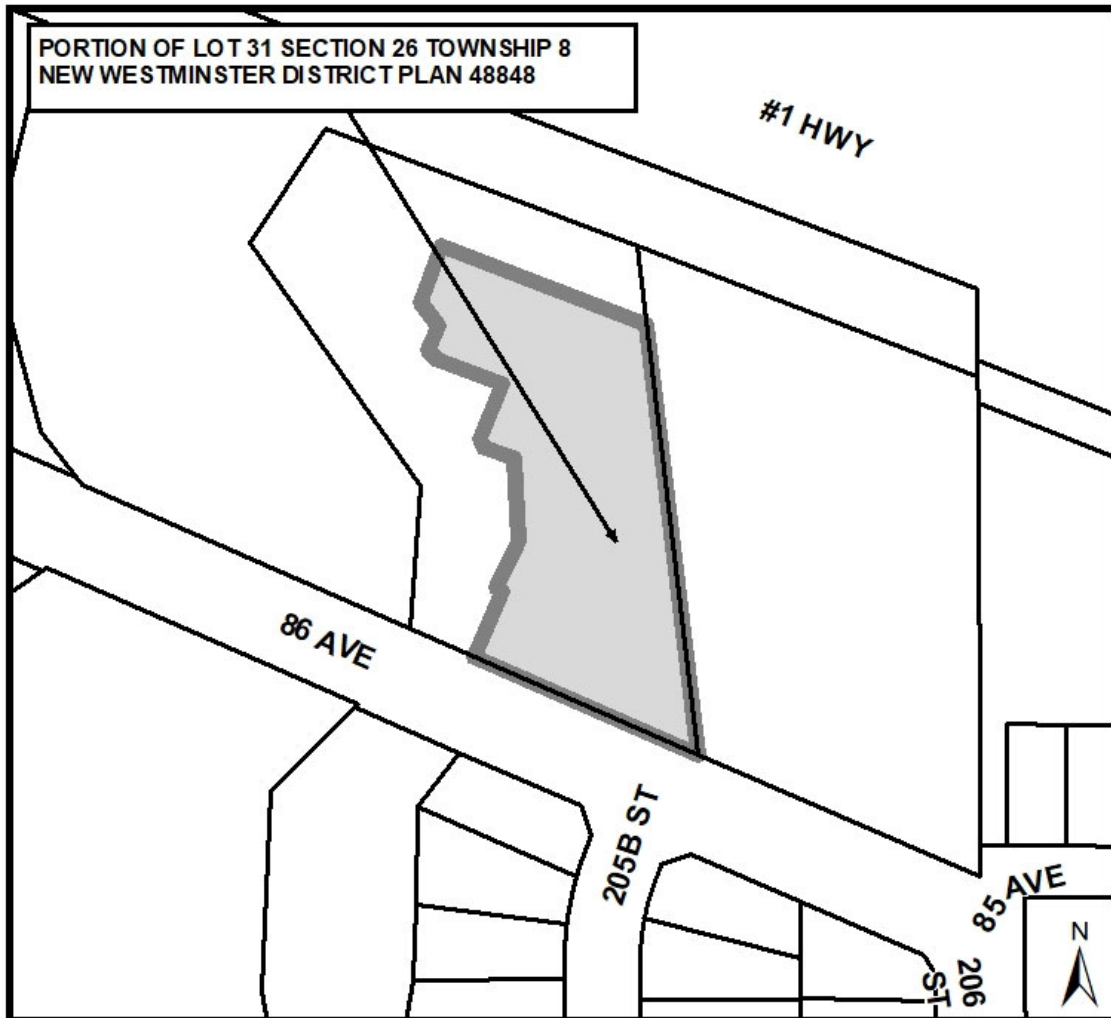
as shown delineated on Schedule "A" attached to and forming part of this Bylaw to Comprehensive Development Zone CD-137.

READ A FIRST TIME the	13	day of	May	, 2019.
READ A SECOND TIME the	13	day of	May	, 2019.
PUBLIC HEARING HELD the	27	day of	May	, 2019.
READ A THIRD TIME the		day of		, 2019.
APPROVED BY THE MINISTRY OF TRANSPORTATION AND INFRASTRUCTURE		day of		, 2019.
RECONSIDERED AND ADOPTED the		day of		, 2019.

_____ Mayor _____

Township Clerk

SCHEDULE 'A' BYLAW NO. 5436





REPORT TO MAYOR AND COUNCIL

PRESENTED: MAY 13, 2019 – REGULAR EVENING MEETING
FROM: COMMUNITY DEVELOPMENT DIVISION
SUBJECT: REZONING APPLICATION NO. 100503
 DEVELOPMENT PERMIT APPLICATION NO. 100945
 (GENARIS PROPERTIES LTD. / 20559 – 86 AVENUE)

REPORT: 19-73
FILE: 08-26-0192

PROPOSAL:

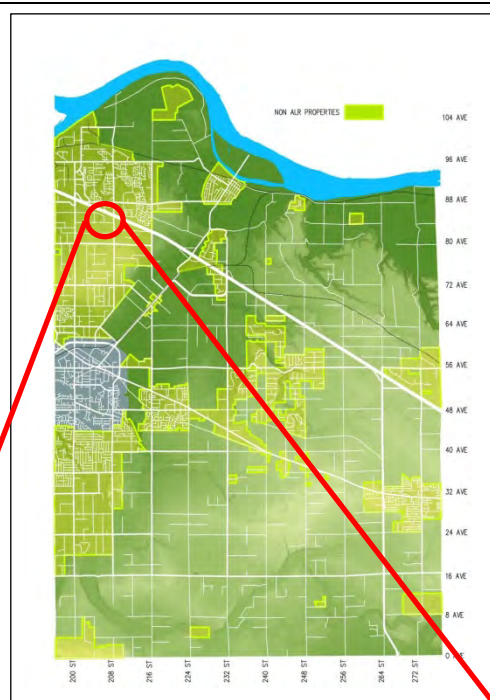
Application to rezone a portion of the 0.76 ha (1.86 ac) site located at 20559 – 86 Avenue to Comprehensive Development Zone CD-137 and issue a Development Permit to facilitate the development of ten (10) townhouse and eight (8) duplex units.

RECOMMENDATION SUMMARY:

That Council give first and second reading to Bylaw No. 5436 subject to twelve (12) development prerequisites being completed prior to final reading, authorize issuance of Development Permit No. 100945 subject to two (2) conditions, noting four (4) building permit conditions, and that staff be authorized to schedule the required Public Hearing.

RATIONALE:

The proposal complies with the Willoughby Community Plan and the Yorkson Neighbourhood Plan.



RECOMMENDATIONS:

That Council give first and second reading to Township of Langley Zoning Bylaw 1987 No. 2500 Amendment (Genaris Properties Ltd.) Bylaw 2019 No. 5436, rezoning a portion of the 0.76 ha (1.86 ac) site located at 20559 - 86 Avenue to Comprehensive Development Zone CD-137, to facilitate the development of ten (10) townhouse and eight (8) duplex units, subject to the following development prerequisites being satisfied prior to final reading:

1. A Servicing Agreement being entered into with the Township to secure required road and utility upgrades and extensions in accordance with the Township's Subdivision and Development Servicing Bylaw, to the acceptance of the Township;
2. Completion of an erosion and sediment control plan and provision of security in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
3. Provision of road dedications, widenings, and necessary traffic improvements for 86 Avenue, in accordance with the Township's Master Transportation Plan, Subdivision and Development Servicing Bylaw and the Yorkson Neighbourhood Plan, to the acceptance of the Township;
4. Dedication and construction of a 15 wide metre wide freeway buffer along the northern property line, consistent with the Yorkson Neighborhood Plan, to the acceptance of the Township;
5. Dedication of Streamside Protection and Enhancement Area adjacent to Yorkson Creek and construction of a 6.0 metre wide trail within the streamside protection area, to the acceptance of the Township, including acceptance of final streamside restoration and enhancement plans, maintenance and monitoring plans and security;
6. Approval of the rezoning bylaw by the Ministry of Transportation and Infrastructure;
7. Provision of a final tree management plan incorporating tree retention, replacement, protection details, and security in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection), to the acceptance of the Township;
8. Compliance with Age Friendly Amenity Area requirements to the acceptance of the Township;
9. Registration of a cross access easement in favour of the lot to the east (20585 - 86 Avenue / Lot 32 Section 26 Township 8 New Westminster District Plan 48848);
10. Registration of restrictive covenants acceptable to the Township:
 - a. Prohibiting parking on internal strata roadways (other than in clearly identified parking spaces);
 - b. Prohibiting garages from being developed for purposes other than the parking of vehicles, and prohibiting the development of secondary suites within individual units; and
 - c. Identifying the units (minimum 5%) required to incorporate the Adaptable Housing Requirements;
11. Compliance with the Community Amenity Contribution Policy (if applicable) and the requirements of the Yorkson Greenway Amenity Zoning Policy including payment of applicable Yorkson amenity fee;
12. Payment of applicable Neighbourhood Planning Administration fees, supplemental Rezoning fees, Site Servicing Review fee, ISDC review fee, Development Works Agreement (DWA) and Latecomer charges, and compliance with the Township's 5% Neighbourhood Parkland Acquisition Policy;

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That Council at the time of final reading of Rezoning Bylaw No. 5436 authorize the issuance of Development Permit No. 100945 for the proposed development subject to the following conditions:

- a. Building plans being in substantial compliance with Schedules “A” through “M”;
- b. On-site landscaping plans being in substantial compliance with Schedules “N” through “P”, and in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection) and the Township’s Street Trees and Boulevard Planting Policy, to the acceptance of the Township;

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit, the following items will need to be finalized:

- a. On-site landscaping to be secured by letter of credit at Building Permit stage;
- b. Written confirmation from the owner and Landscape Architect or Arborist that tree protection fencing identified in the tree management plan is in place;
- c. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
- d. Payment of supplemental Development Permit application fees, Development Cost Charges, and Building Permit Administration Fees; and further

That Council authorize staff to schedule the required Public Hearing for Rezoning Bylaw No. 5436 in conjunction with the hearing for proposed Development Permit No. 100945.

EXECUTIVE SUMMARY:

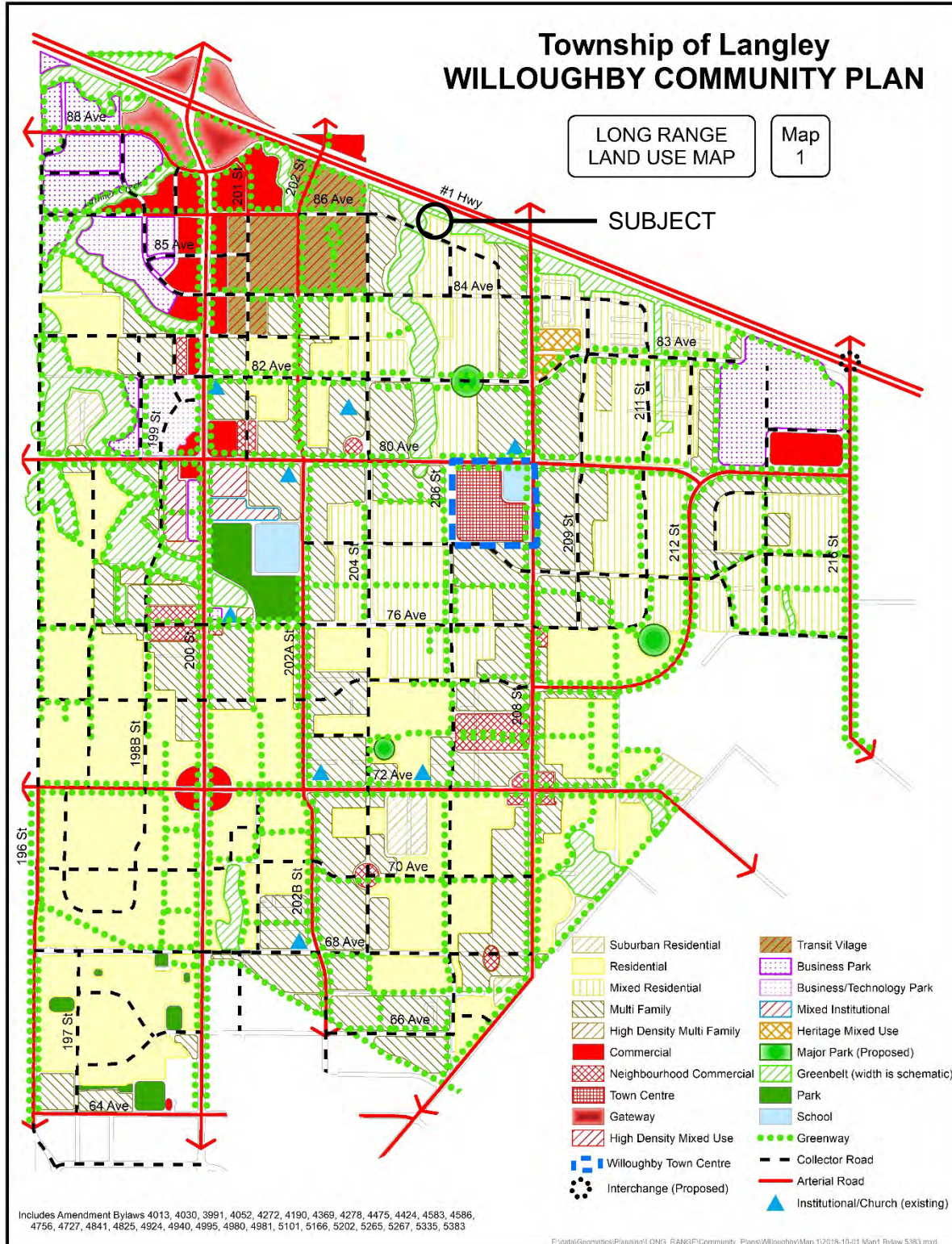
Genaris Properties Ltd. has applied to rezone a portion of the 0.76 ha (1.86 ac) site in the Yorkson neighbourhood to Comprehensive Development Zone CD-137 to facilitate the development of ten (10) townhouse and eight (8) duplex units. A Development Permit for the site is being processed in conjunction with the rezoning application, to provide Council the opportunity to review the form, character and siting of the development. Approximately 50% of the gross site area will be dedicated for public purposes including environmental (streamside) protection, road dedication or highway buffering.

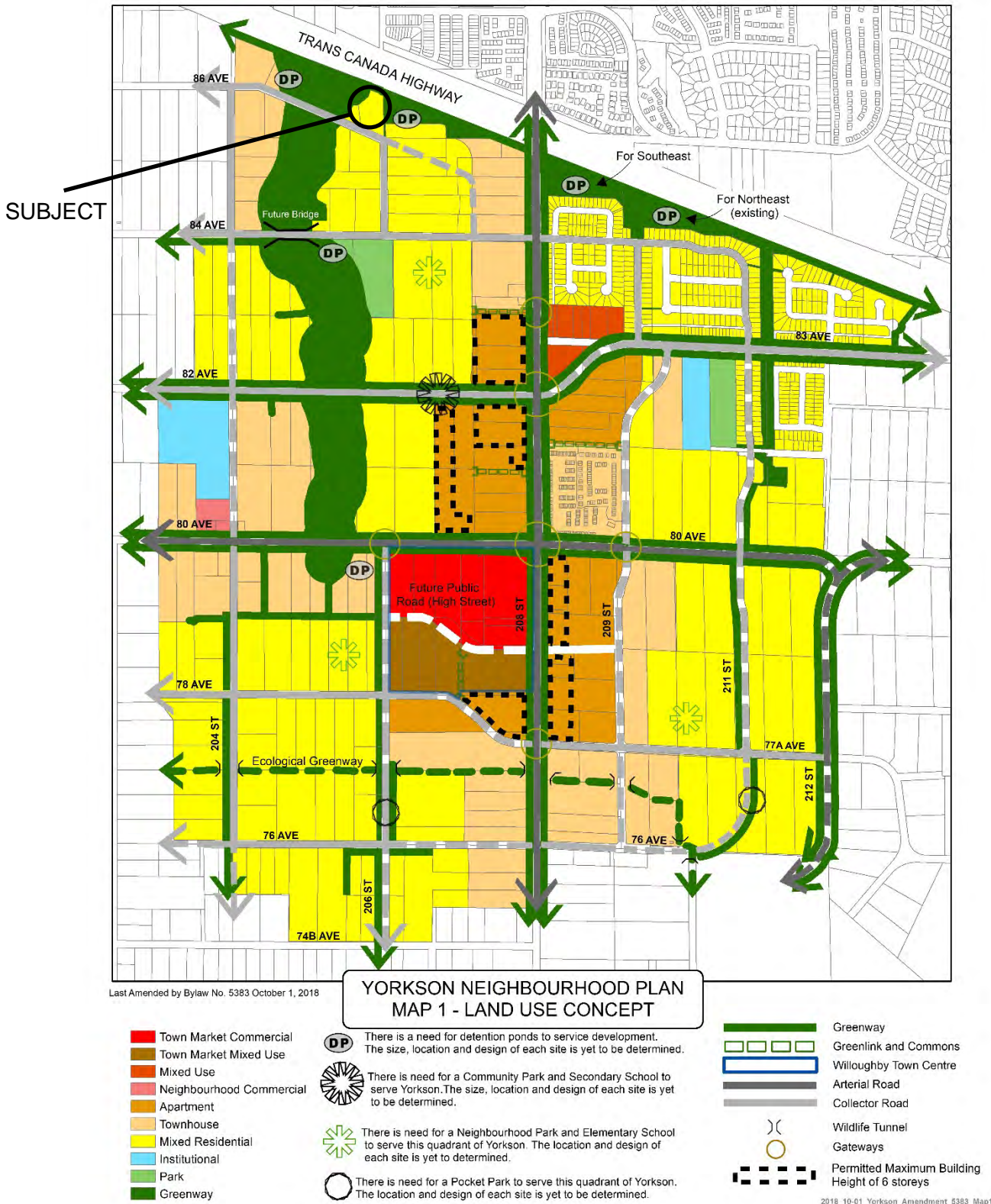
The development proposal complies with the provisions of the Willoughby Community Plan and Yorkson Neighbourhood Plan. Final reading of the rezoning bylaw is contingent upon completion of the twelve (12) development prerequisites outlined in this report.

PURPOSE:

The purpose of this report is to advise and make recommendations to Council with respect to Rezoning Bylaw No. 5436 and Development Permit No. 100945 in the Yorkson neighbourhood of Willoughby.

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ZONING BYLAW NO. 2500

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RENDERING – SUBMITTED BY APPLICANT



REZONING APPLICATION NO. 100503
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REFERENCE:

Owner	1104814 BC Ltd. 15926 - 56 Avenue Surrey, BC V3S 2J7
Agent:	Genaris Properties 15926 - 56 Avenue Surrey, BC V3S 2J7
Legal Description:	Lot 31 Section 26 Township 8 New Westminster District Plan 48848
Location:	20559 - 86 Avenue
Area:	0.76 ha (1.86 ac)
Existing Zoning:	Suburban Residential Zone SR-2
Proposed Zoning:	Comprehensive Development Zone CD-137
Willoughby Community Plan:	Mixed Residential
Yorkson Neighbourhood Plan:	"Mixed Residential" permitting 20-25 units per ha / 8-10 units per ac

DISCUSSION / ANALYSIS:

The subject land contains a single family house and is currently zoned Suburban Residential Zone SR-2, and is designated "Mixed Residential" in the Yorkson Neighbourhood Plan (NP). Genaris Properties Ltd. has applied on behalf of 1104814 BC Ltd., to rezone a portion of the 0.76 ha (1.86 ac) site to Comprehensive Development Zone CD-137 to facilitate a residential development comprising 18 multifamily units (ten (10) townhouse and eight (8) duplex units). A Development Permit for the site is being processed in conjunction with the rezoning application to provide Council with the opportunity to review the form, character and siting of the development.

Adjacent Uses:

North:	A Township owned lot beyond which is Highway No. 1;
South:	86 Avenue beyond which are single family lots zoned Compact Residential Zone R-CL(A), designated "Mixed Residential" in the Yorkson Neighborhood Plan;
East:	A site zoned Suburban Residential Zone SR-2, designated "Mixed Residential" in the Yorkson Neighborhood Plan;
West:	A Township lot containing Yorkson Creek designed "Greenway" in the Yorkson Neighborhood Plan, beyond which is another Township property containing a community stormwater detention pond.

Yorkson Neighbourhood Plan:

The Yorkson Neighbourhood Plan designates the site “Mixed Residential” which permits a minimum density of 20 units per hectare (8 units per acre) and a maximum density of 25 units per hectare (10 units per acre). The proposal satisfies the density requirements of the Yorkson Plan and results in an overall density of 23.7 units per hectare (9.7 units per acre).

Zoning Bylaw:

Rezoning Bylaw No. 5436 proposes to rezone approximately 0.36 ha (0.89 ac) of the subject site from Suburban Residential Zone SR-2 to Comprehensive Development Zone CD-137. The environmental conservation area adjacent to Yorkson Creek and the highway buffer along Highway 1 being dedicated to the Township will retain its existing Suburban Residential Zone SR-2 zoning.

Development Permit:

All of the Yorkson Neighbourhood Plan area is designated as a mandatory Development Permit area in the Willoughby Community Plan. The subject site is located in “Development Permit Area ‘B’ – Residential” which establishes objectives and guidelines for the form, character and siting of residential development. The primary objective of the development permit area designation is to encourage the development of attractive and safe residential areas and reduce conflict with adjacent land uses.

In accordance with Council's policy, a site plan, building elevations, rendering and landscape plans have been submitted detailing the development's form, character and siting. Proposed Development Permit No. 100945 is attached to this report (see Attachment A). Development Permit guidelines relevant to the site are contained in the Willoughby Community Plan (see Attachment B).

The proposed development consists of ten (10) townhouse and eight (8) duplex units in seven (7) building blocks. According to the applicant, the layout has been affected by the site's topography, environmental setbacks, internal road alignments and a requirement for a 15 metre wide highway buffer. The applicant has stated that the clustering of blocks, building setbacks, and building orientation have resulted in ample open space allowing for rich landscaping throughout the project. The internal driveway is located along the east property line allowing for shared access for future development on the adjacent property to the east.

The proposed unit sizes range from 147 to 167 m² (1,600 to 1,800 ft²). All units have double (side by side) garages. The application includes a colour scheme with dark and light grey for hardie panels and clear stain for cedar siding. Proposed finishes consist of stone veneer, prefabricated panels, hardy siding, and natural wood accents. According to the applicant, the architectural expression and finishing materials demonstrates an urban character using a west coast vocabulary with articulation and detailing.

The proposed building height (3 storeys), lot coverage (34%), density (23.7 uph / 9.7 upa), and siting complies with the provisions of the CD-137 zone. The development in staff's opinion complies with the applicable Development Permit guidelines (Attachment B).

Access and Parking:

The proposed main vehicular access to the site is from 86 Avenue. All units will have vehicle access from the internal strata roads. Prior to final reading of the rezoning bylaw, the applicant will be required to register a cross access easement in favour of the lot to the east (Lot 31 Section 26 Township 8 New Westminster District Plan 48848) to provide access for future development.

In compliance with the Zoning Bylaw, a total of 41 parking spaces are proposed as follows:

	Parking Spaces Required	Parking Spaces Provided
Residential Spaces (18 Double-Wide Units)	36	36
Visitor Parking Spaces	4	5
Total	40	41

Prior to final reading of the rezoning bylaw, the applicant will be required to register a restrictive covenant prohibiting parking on the internal strata roadways and prohibiting garages from being developed for purposes other than the parking of vehicles.

Adaptable Housing:

In accordance with Section 4.2.1(9) of the Yorkson Neighbourhood Plan a minimum of 5% of the units in a townhouse development shall provide adaptable housing. Council has chosen to implement this provision through the adoption and implementation of the Basic Adaptable Housing Requirements. In compliance with the Yorkson Neighbourhood Plan, one (1) adaptable unit will be provided. Prior to final reading of the rezoning bylaw, the applicant will be required to register a restrictive covenant identifying / securing the units required to incorporate the Adaptable Housing Requirements.

Community Amenity Contributions:

Staff note that Council on July 23, 2018 adopted a community Amenity Contributions (CAC) Policy applicable to rezoning applications for residential developments. Given this application was submitted prior to adoption of the policy, a twelve (12) month grace period applies to the application, requiring it to receive final reading by July 22, 2019 to be exempt from the policy. After the grace period ends the amenity contribution under the CAC policy will become applicable. This requirement has been included as a development prerequisite to be completed prior to final reading of the rezoning bylaw.

Highway Buffer and Pedestrian Connections:

As identified in the Yorkson NP, the applicant is required to dedicate and construct a 15 metre wide freeway along the northern property line. The applicant is dedicating approximately 730 m² (7,857 ft²) for a freeway buffer that will be provided with a planted berm area that includes trees and native plants species.

The applicant will also build a three (3) metre wide pedestrian trail within the outer six (6) metres of the eastern edge of the streamside protection area. The trail will provide a pedestrian connection from 86 Avenue to the existing trail located within the existing buffer area next to Highway No. 1. Details of the open space improvements are required to be finalized to the acceptance of the Township prior to final reading of the rezoning bylaw.

As a condition of final reading the proponent will be required to transfer the freeway buffer lot and environmental non-disturbance area to the Township, and secure construction of the pedestrian trail and habitat compensation as part of a Servicing Agreement. These areas and the road dedication for 86 Avenue widening constitute approximately 50% of the gross site area, with the remaining 50% being developed for multi-family residential purposes.

Landscaping

The landscape plan (Attachment A – Schedules “N” through “P”) proposes the planting of trees, shrubs and groundcovers around the perimeter of the site to accommodate the front yard design of the street fronting units as well as along the internal roadways and the common areas. The streetscape landscaping includes raised yards with a fence and walkways to the individual street fronting units to define the private and public realm.

Age Friendly Amenity Area:

Section 111.5 of the Township’s Zoning Bylaw requires provision of age friendly amenity areas (8 m² per residential unit) for townhouse developments, resulting in a requirement of 144 m² (1,550 ft²). The landscape architect has incorporated a centrally located age friendly amenity area totaling 155 m² (1,668 ft²). Final age friendly amenity area plans are subject to the final acceptance of the Township. This requirement has been included in the list of development prerequisites to be completed prior to final reading of the rezoning bylaw.

Tree Protection/Replacement:

The Integrated Site Design Concept (ISDC) along with the arborist report submitted by the applicant indicates that 85 significant trees exist on the subject site and within the required freeway and streamside dedications. According to the applicant’s arborist report, the majority of the trees designated for removal suffer from “leggy form”, “shade suppression”, “asymmetrical canopy growth”, “phototropic sweep”, or “codominant attachment” of the trunk. Given the multi-family context of the development, these trees are not suitable candidates for retention. No significant trees are proposed to be retained on the developed portion of the site and approximately 14 trees are proposed to be retained within the freeway buffer and streamside protection areas.

In accordance with the Township’s Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection), a total of 28 replacement trees are required and 92 replacement trees are proposed. In addition, approximately five (5) street trees are required along the road frontages (in compliance with the Township’s Street Tree and Boulevard Plantings Policy). Post development approximately 111 trees will be in place. Final tree retention, protection, and replacement plans are subject to the final acceptance of the Township. This requirement has been included in the list of development prerequisites to be completed prior to final reading of the rezoning bylaw.

Servicing:

Prior to final reading, the applicant is required to enter into a Servicing Agreement to secure servicing works such as construction of road works, pedestrian trail, tree replacement, a stormwater management plan, and utility upgrades and/or extensions in accordance with the Subdivision and Development Servicing Bylaw and the Yorkson Engineering Servicing Plan to the acceptance of the Township. The applicant will also be required to provide erosion and sediment control measures in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township.

Environmental Considerations:

The Township’s Sustainability Charter includes environmental objectives to protect and enhance rivers, streams, wildlife habitats and environmentally sensitive areas in the Township. These environmental objectives are supported by policy and guidance outlined in the Township’s Environmentally Sensitive Areas Study, Wildlife Habitat Conservation Strategy, Schedule 3 of the OCP, Erosion and Sediment Control Bylaw, and Subdivision and Development Servicing

Bylaw (Schedule I – Tree Protection) which promote sound environmental management practices and outline Township environmental performance expectations. The provision of stormwater management and sediment control measures and compliance with the Township's Subdivision and Development Servicing Bylaw (Schedule I – Tree Protection) satisfies the objectives of the Sustainability Charter.

Streamside Protection:

Township of Langley Official Community Plan Bylaw No. 1842 Schedule 3 Development Permit Areas: Streamside Protection and Enhancement (OCP Schedule 3) was adopted to establish and maintain undisturbed naturally vegetated zones along watercourses. The required widths of these no-disturbance zones, referred to as "Streamside Protection and Enhancement Development Areas" (SPEA), follows the Township watercourse classification system (i.e. Class A, Class B, Class C) which is based on channel type, water flow and fish presence.

A 130 metre (427 ft) long, segment of Yorkson Creek is contained within a ravine located along the western portion of the site. Yorkson Creek is a Class A (red-coded) watercourse and OCP Schedule 3 designates a 30 m wide SPEA (measured from ravine top-of-bank) adjacent to a Class A watercourse. The SPEA on the project site encompasses approximately 2,966 m² (31,926 ft²). OCP Schedule 3 allows for modification, or "flex", of the SPEA width provided the overall average SPEA width is maintained and SPEA enhancements are completed to offset habitat impacts of the modification.

The project proposes modification of approximately 180 m² (1,938 ft²) of SPEA. In accordance with OCP Schedule 3, the proposal would require a minimum SPEA increase of 180 m² (1,938 ft²) and a minimum 360 m² (3,875 ft²) of SPEA enhancements. The proposal provides a SPEA increase of 302 m² (3,251 ft²) and SPEA enhancements totalling 442 m² (4,758 ft²) thus exceeding minimum OCP Schedule 3 requirements. The SPEA will be dedicated to the Township and added to existing Township conservation area lands west of the site. A public trail will be constructed through the eastern portion of the SPEA. Dedication and enhancement of lands being added to the conservation area, including final acceptance of enhancement plans and details, trail alignment, fencing, signage and security, is listed as a prerequisite to final reading. Based on the results of the applicant's assessment and proposed streamside enhancements, the proposal is, in staff's opinion, consistent with the objectives of Schedule 3 of the OCP.

School Sites:

School District 35 has provided comments (Attachment D) and anticipates that the overall development will generate approximately three (3) new students for Willoughby Elementary School (located approximately 1.6 km southeast of the site), two (2) new students for Yorkson Creek Middle School (located approximately 300 m southeast of the site) and two (2) new students for RE Mountain Secondary School (located approximately 2.3 km southwest of the site).

Parks:

The closest park is the Yorkson Community Park located approximately 350 metres to the south of the subject site.

Transit:

Transit has been extended into the Yorkson neighbourhood. Bus route 595 is currently available on 208 Street, approximately 500 m to the east of the subject proposal. Transit service is also available on 200 Street and at Carvolth Transit Exchange (located approximately 500 m to the west of the subject site).

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Intergovernmental Implications:

As the subject site is located within 800 m of a controlled access highway (Highway No. 1), approval of the rezoning bylaw by the Ministry of Transportation and Infrastructure is required prior to Council's consideration of final reading. On November 14, 2018 the Ministry of Transportation and Infrastructure granted preliminary approval to the proposal.

Developer Held Public Information Meeting:

The applicant held a Public Information Meeting (PIM) on November 14, 2018 at Walnut Grove Community Centre. A summary of the meeting provided by the applicant is provided in Appendix C. Approximately five (5) residents attended the PIM.

POLICY CONSIDERATIONS:

The proposed development is located in an area designated as "Multi Family" in the Willoughby Community Plan and "Mixed Residential" in the Yorkson Neighbourhood Plan. The proposed development complies with the land use and density provisions of these plans, and with the proposed CD-137 zoning under the Township's Zoning Bylaw.

Staff recommend that Council give first and second reading to Bylaw No. 5436 (subject to 12 development prerequisites) and authorize issuance of the accompanying Development Permit No. 100945 (to be issued at time of final reading of the rezoning bylaw), and authorize staff to schedule the required Public Hearing.

Respectfully submitted,

Zorica Andjelic
 DEVELOPMENT PLANNER
 for
 COMMUNITY DEVELOPMENT DIVISION

ATTACHMENT A	Development Permit No.100945
ATTACHMENT B	Willoughby Community Plan – Development Permit Guidelines
ATTACHMENT C	Public Information Meeting Summary
ATTACHMENT D	School District Comments

THE CORPORATION OF THE TOWNSHIP OF LANGLEY

Development Permit No. 100945

This Permit is issued this _____ day of _____, 2019 to:

1. Name: 1104814 BC Ltd.
Address: 15926 – 56 Avenue
Surrey, BC
V3S 2J7

2. This permit applies to and only to those lands within the Municipality described as follows and to any and all buildings, structures and other development thereon:

LEGAL DESCRIPTION: Lot 31 Section 26 Township 8 New Westminster District Plan 48848

CIVIC ADDRESS: 20559 86 Avenue

3. This Permit is issued subject to compliance with all of the Bylaws of the Municipality of Langley applicable thereto, except as specifically varied or supplemented by this permit as follows:
- a) Building plans being in substantial compliance with Schedules “A” through “M”.
 - b) On-site landscaping plans being in substantial compliance with Schedules “N” through “P”, and in compliance with Subdivision and Development Servicing Bylaw (Schedule I - Tree Protection) and the Township’s Street Trees and Boulevard Planting Policy, to the acceptance of the Township;

Although not part of the Development Permit requirements, the applicant is advised that prior to issuance of a building permit the following items will need to be finalized:

- a. On-site landscaping to be secured by letter of credit at Building Permit stage;
 - b. Written confirmation from the owner and Landscape Architect or Arborist that tree protection fencing identified in the tree management plan is in place;
 - c. Submission of a site specific on-site servicing and stormwater management plan in accordance with the Subdivision and Development Servicing Bylaw and an erosion and sediment control plan in accordance with the Erosion and Sediment Control Bylaw, to the acceptance of the Township;
 - d. Payment of supplemental Development Permit application fees, Development Cost Charges, and Building Permit Administration Fees.
4. The land described herein shall be developed strictly in accordance with the terms, conditions and provisions of this Permit and any plans and specifications attached as a Schedule to this Permit which shall form a part hereof.

This Permit is not a Building Permit.

All developments forming part of this Development Permit shall be substantially commenced within two years after the date the Development Permit is issued.

This permit shall have the force and effect of a restrictive covenant running with the land and shall come into force on the date of an authorizing resolution passed by Council.

It is understood and agreed that the Municipality has made no representations, covenants, warranties, guarantees, promises or agreement (verbal or otherwise) with the developer other than those in this Permit.

This Permit shall enure to the benefit of and be binding upon the parties hereto and their respective heirs, executors, administrators, successors and assigns.

AUTHORIZING RESOLUTION PASSED BY COUNCIL THIS ____ DAY OF _____, 2019.

Attachments:

SCHEDULE A	Overall Site Plan
SCHEDULE B	Material and Colours
SCHEDULE C	Colour Streetscape
SCHEDULE D	Block 7 and Block 3 Colour Elevations
SCHEDULE E	Building Elevations (Block 1 North, South, East and West Elevations)
SCHEDULE F	Building Elevations (Block 2 Front and Rear Elevations)
SCHEDULE G	Building Elevations (Block 2 East and West Side Elevations)
SCHEDULE H	Building Elevations (Block 3 North, South, East and West Elevations)
SCHEDULE I	Building Elevations (Block 4 North, South, East and West Elevations)
SCHEDULE J	Building Elevations (Block 5 North, South, East and West Elevations)
SCHEDULE K	Building Elevations (Block 6 North, South, East and West Elevations)
SCHEDULE L	Building Elevations (Building 7 South and West Elevations)
SCHEDULE M	Building Elevations (Building 7 North and East Elevations)
SCHEDULE N	Landscape Plan
SCHEDULE O	Landscape Details
SCHEDULE P	Landscape Sections

SCHEDULE A
OVERALL SITE PLAN



**F. ADAB
ARCHITECTS
INC.**

2500 BROADVIEW AVENUE
SUITE 100
VANCOUVER, BC V6K 3K9
TEL: 604-271-1111
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This plan was prepared by the undersigned architect, who is a duly qualified and licensed architect in the Province of British Columbia, and who is not a party to any other plan or agreement which might affect or interfere with the execution of this plan. The undersigned architect is not responsible for any errors or omissions in this plan, and is not responsible for any consequences or liabilities arising from the use of this plan. The undersigned architect is not responsible for any consequences or liabilities arising from the use of this plan.

NO.	DATE	REVISION
1	2023-07-17	ISSUED FOR RECORDING & UP
2	2023-07-17	ISSUED FOR RECORDING & UP
3	2023-07-17	ISSUED FOR RECORDING & UP
4	2023-07-17	ISSUED FOR RECORDING & UP

PROJECT TITLE:
86 AVE. TOWNHOMES
20500, 86 AVENUE, LANGLEY

FOR:
GENARIS PROPERTIES
15028 - 58TH AVENUE
SURREY, B.C.

DRAWING TITLE:
SITE PLAN

DATE:	2023-07-17	SHEET NO.
SCALE:	N/A	A-1.3a
DRAWN:	A.A.	
CHECKED:	A.A.	
PROJECT NO.	1771	

The architectural expression and finishing materials demonstrates an urban character using a west coast vocabulary with articulations and detailing.



BLOCK 3 SOUTH ELEVATION

ISBN 7015
Raymond Guay
Illustrations / Illustrations
Illustrated by Raymond Guay

[illegible]

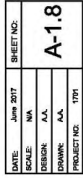
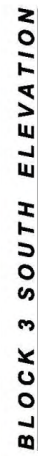
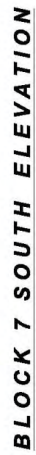
PROJECT TITLE:
36 AVE. TOWNHOMES
20668, 58TH AVENUE, LANGLEY

FOR
GENARIS PROPERTIES
15028 - 58TH AVENUE
SURREY, B.C.

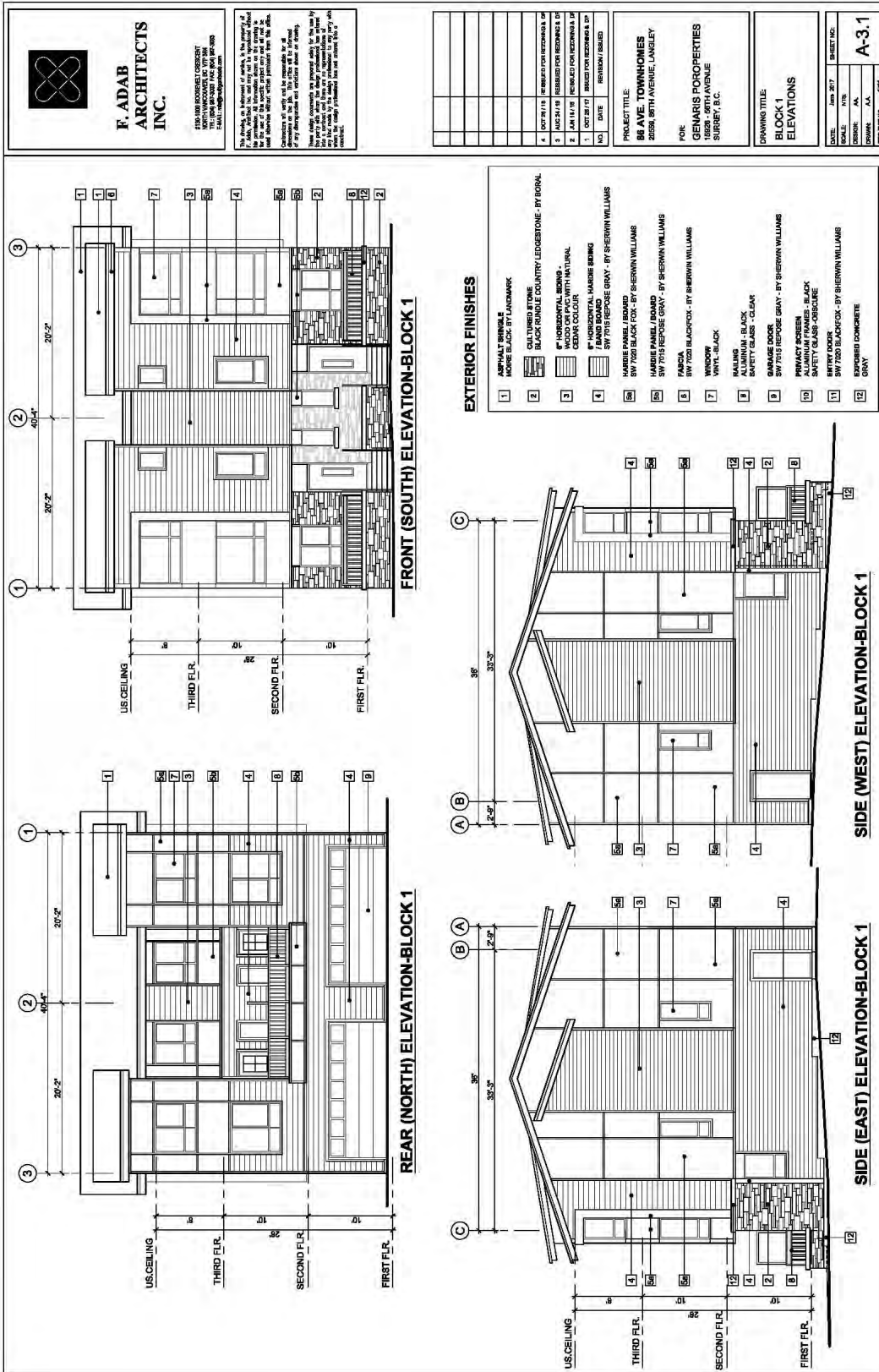
DRAWING TITLE:
**EXTERIOR FINISH -
BLOCK 3 COLOURED
ELEVATION**

DATE:	June 2017	SHEET NO:	A-1.6
SCALE:	N/A		
DESIGN:	AA		
DRAWN:	AA		
PROJECT NO:	1701		





SCHEDULE E BUILDING ELEVATIONS (BLOCK 1)



H.2 - Page 26

**Township of
Langley**

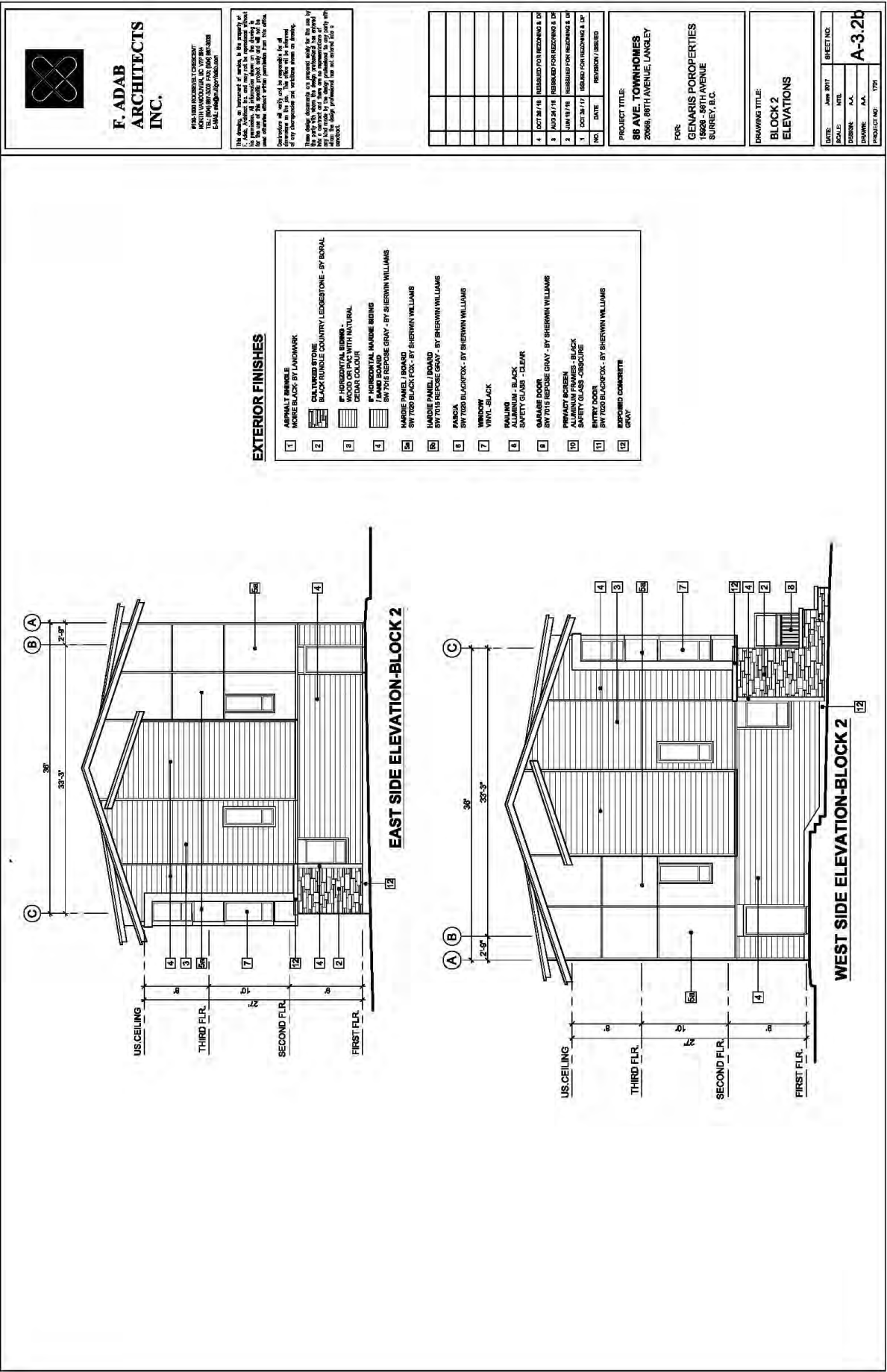


Est. 1873

SCHEDULE G
BUILDING ELEVATIONS (BLOCK 2)

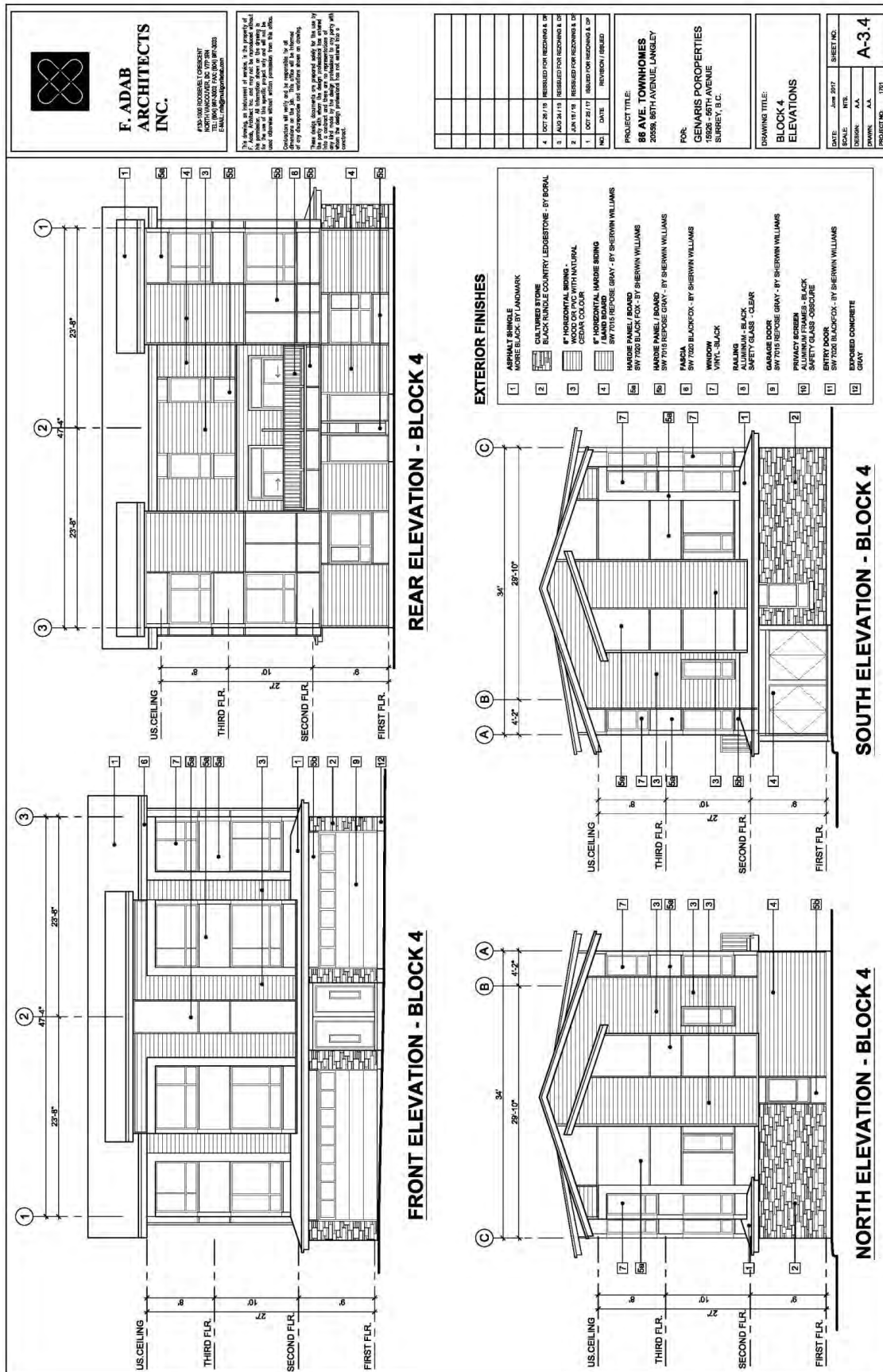


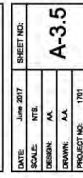
Est. 1827



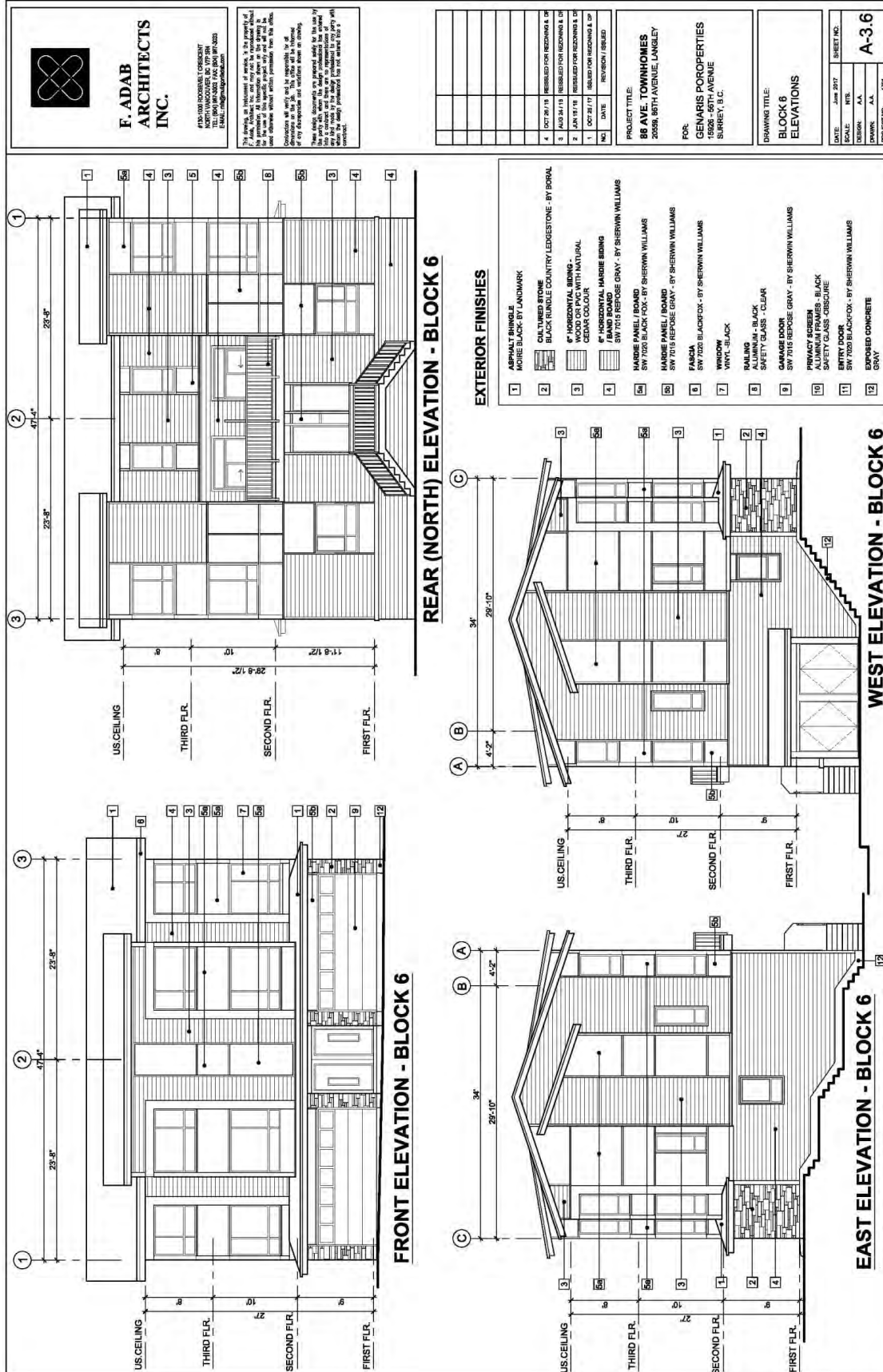


SCHEDULE I BUILDING ELEVATIONS (BLOCK 4)



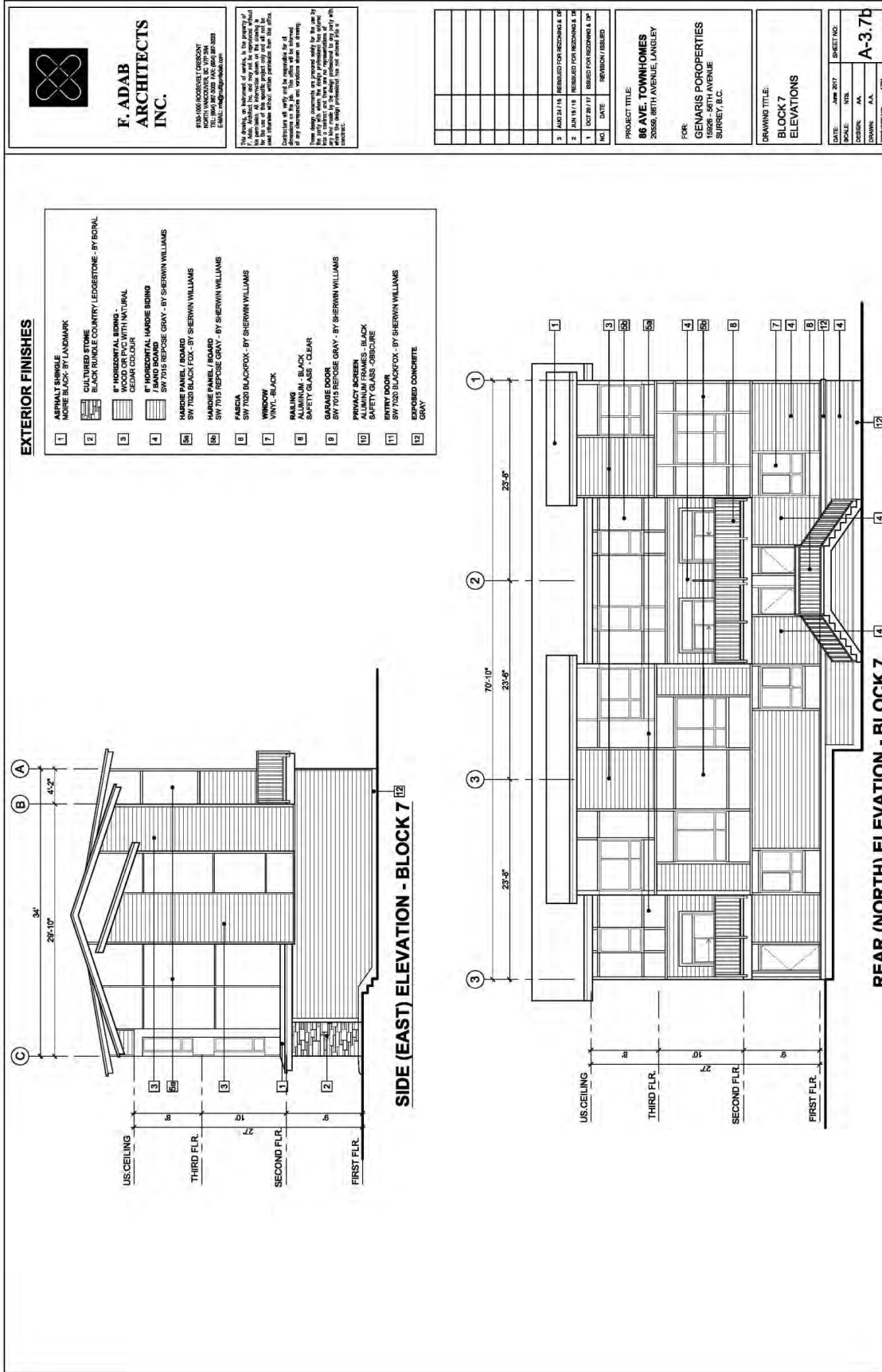


SCHEDULE K
BUILDING ELEVATIONS (BLOCK 6)



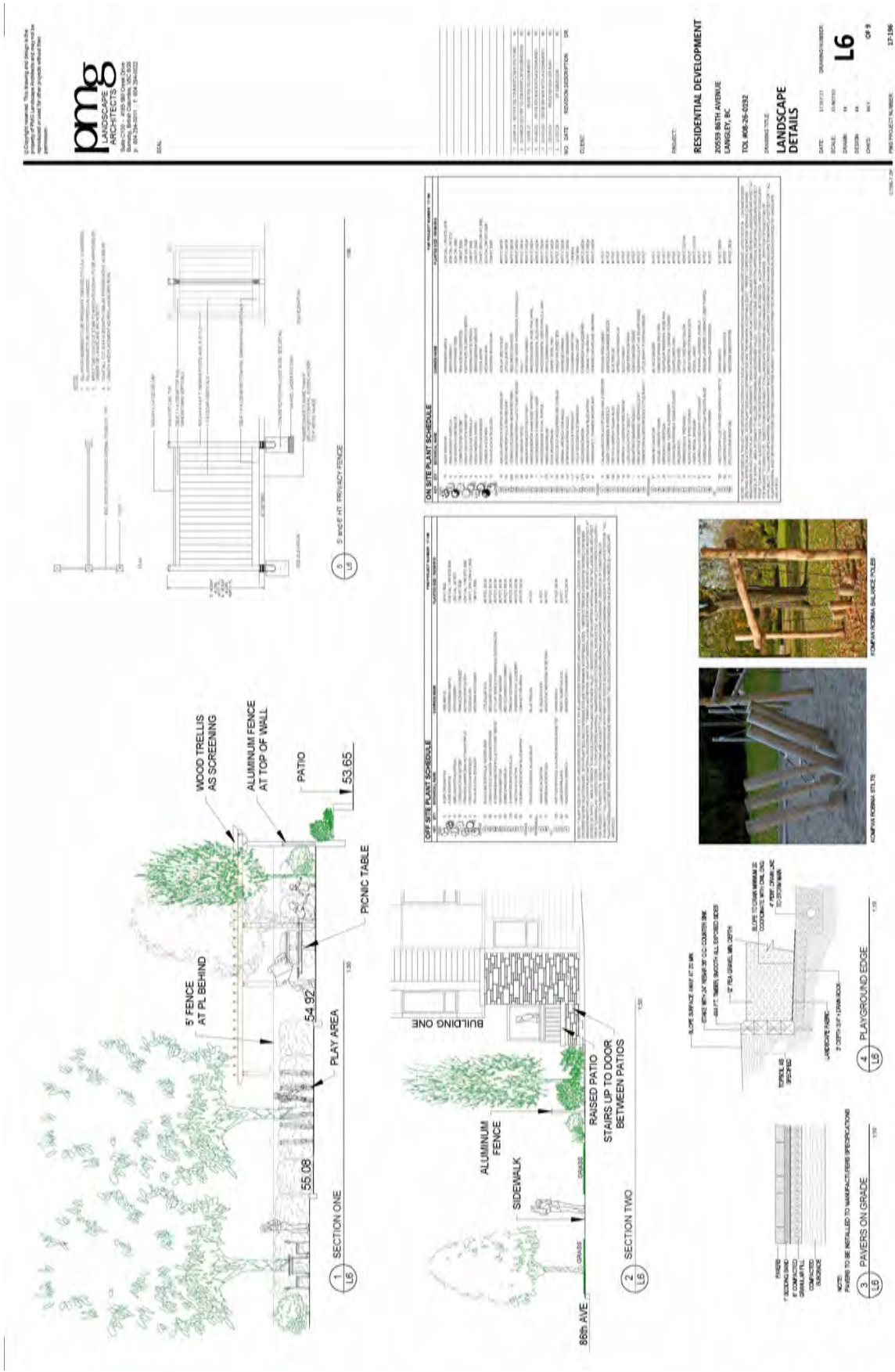


SCHEDULE M
BUILDING ELEVATIONS (BLOCK 7)

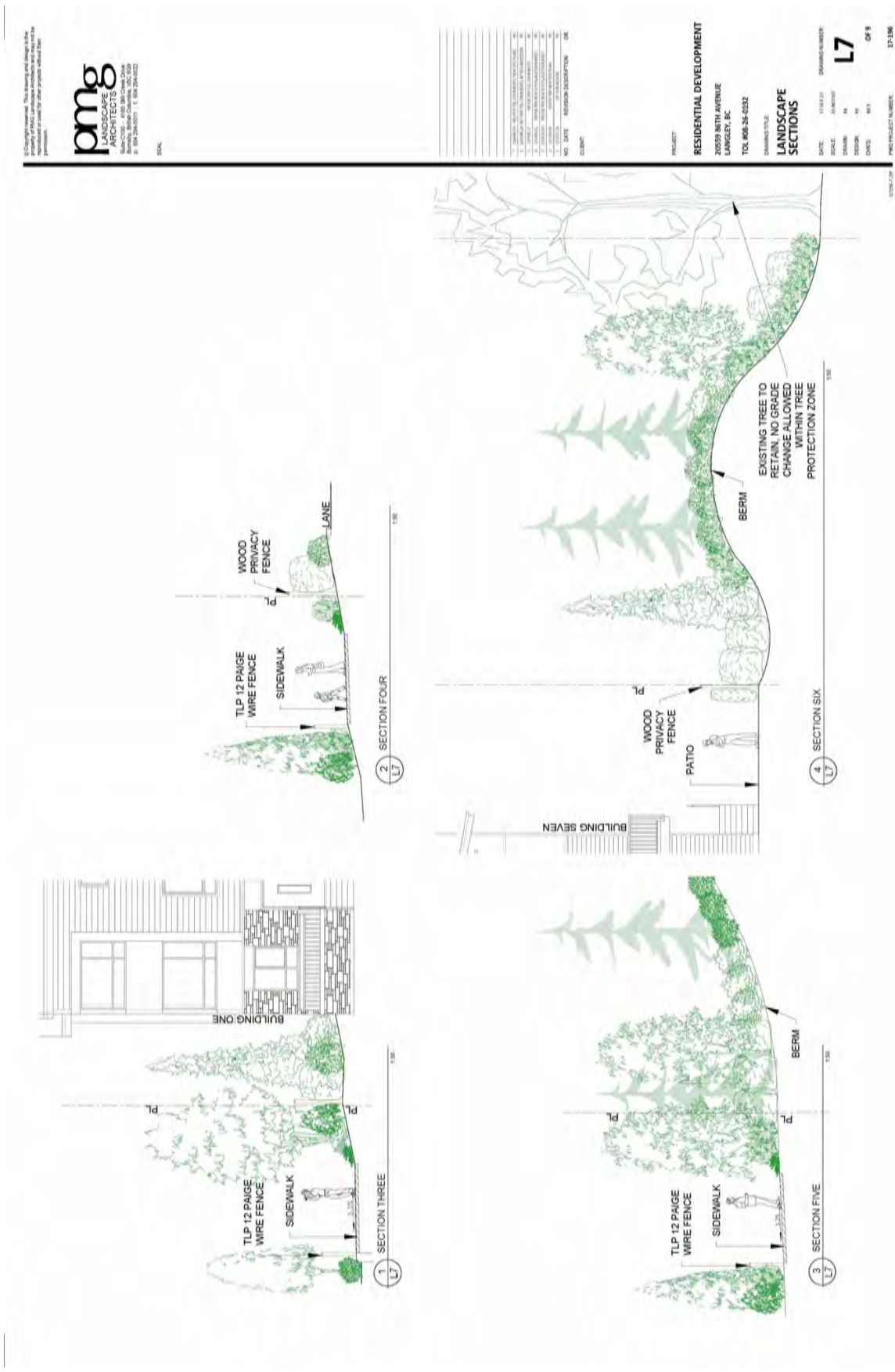




SCHEDULE O LANDSCAPE DETAILS



SCHEDULE P LANDSCAPE DETAILS



Attachment B4586
04/02/08**4.1.2 DEVELOPMENT PERMIT AREA “B” - RESIDENTIAL**

Lands identified as “Residential” on Map 4, Development Permit Areas are hereby designated as development permit areas under Section 488(1)(e) and (f) of the Local Government Act to establish objectives and provide guidelines for the form and character of intensive and multi family residential development.

The objective of this development permit area designation is to encourage development of attractive and safe multi family areas.

Unless the owner first obtains a development permit, land within this development permit area shall not be subdivided, and construction of, addition to or alteration of a multi family dwelling (including a townhouse, rowhouse, apartment, duplex, triplex or fourplex) must not be started.

Development permit guidelines are as follows:

4.1.2.1 GENERAL

The following general guidelines apply to all development within Development Permit Area “B.”

4.1.2.2 SINGLE FAMILY DEVELOPMENT*General*

- Single family developments shall enter into an Exterior Design Control Agreement (to be registered on title as a restrictive covenant) prior to final subdivision approval and to the acceptance of the Township. The agreement shall incorporate the following single family development permit guidelines.

Architectural Details

- No residential units shall back onto a public road or street greenway other than 212 Street between 76 and 80 Avenues.
- All building elevations visible from public land (i.e. parks, roads, greenways and detention pond sites) shall provide architectural detailing to be consistent with the front of the building.

Parking and Traffic/Pedestrian Circulation

- Where single-family lots abut an arterial road or a street greenway vehicular access and parking shall be provided via a rear lane or any other vehicular access from the rear of the property while retaining the front pedestrian access of the building facing the street.

Landscaping

- Fences adjacent to a street greenway shall not exceed 122 cm (48 inches) in height. These fences shall be designed to complement the building and be an open picket fence design. Fences must permit observation of the public realm and incorporate landscaping to soften their appearance from the road.

Building Form

- Pitched roofs are required. Pitched roofs shall have architectural grade roof material, including ridge caps and shadow lines.

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30/05/11**4.1.2.3 MULTIPLE UNIT DEVELOPMENT***General*

The following guidelines apply to all multiple-unit development including but not limited to apartment, townhouse, rowhouse, duplex, triplex and fourplex buildings.

Site Design

- While providing individual design character, buildings shall be designed to integrate and complement adjacent developments with respect to siting, setbacks, design, exterior finish, landscaping and parking areas. Facade and roofline articulation with porches and other projecting elements is required. Blank or undifferentiated facades shall be avoided.
- Buildings shall be sited and designed to maximize sun penetration to adjacent roads, sidewalks and properties.
- Buildings sited on corners shall address both street edges, shall express a visually stimulating 'landmark' architecture, and be massed to define the intersection.
- On sloping sites, buildings should be massed to create a terraced form of development and provide view opportunities for a majority of housing units.
- Site planning and landscaping for residential development should take into account established principles of Crime Prevention Through Environmental Design (CPTED) – including opportunities for neighbourhood surveillance of pathways, landscaped areas and roadways and provision of defensible space that is clearly separated by fences, landscaping or paving, readily visible by residents and adequately lit.
- In order to allow for stormwater infiltration to maintain flow in watercourses, development is encouraged to maintain low surface imperviousness through compact building form and site layout, consideration shall be given to alternative stormwater and road standards, use of pervious surface materials where feasible and preservation of existing vegetation.
- Multi family buildings shall be designed to maximize avoidance of leaky condominium syndrome by using industry best building practices.
- Mail box kiosks located within a stratified development shall be protected from the weather, be architecturally integrated into the development and be located adjacent to a visitor parking stall with pull-out.
- Presenting garages to public roads is discouraged. Offsetting garages behind the front face of the building is encouraged. Carports are not permitted. Developments shall register a restrictive covenant on title preventing conversion of the garage to any other use that prohibits vehicle storage.
- Development of street facing buildings (i.e. the front door is facing towards the municipal roadway) is required abutting a street or street greenway, other than 200 and 212 (between 76 and 80 Avenues) Streets.
- A pedestrian connection shall be provided from each development site to adjacent streets, street greenways, or public spaces. Public, semi-public and private space shall be clearly delineated.
- A strong street presence is required through inclusion of elements such as extended porches and patios, recessed entries, ground oriented units with direct pedestrian street access, and other similar arrangements. Where individual street access to residential units is not practical, building design should foster a relationship with the adjacent street and pedestrians using the street.
- Buildings should be oriented to streets, greenways, or other public spaces, neither gated nor turning away from the public realm, to provide overview for safety and encourage resident involvement with the activities of the neighbourhood.
- Pedestrian street access to individual residential units is strongly encouraged in order to reinforce pedestrian activity and street life.
- Private outdoor spaces of residential buildings fronting public streets shall provide a sense of separation while still contributing to the streetscape. Semi-private outdoor spaces adjacent to the public realm shall be similarly arranged.
- Private driveway access over greenways should be consolidated and minimized to ensure maximum safety of the users of the greenway. Private driveways may be restricted to laneway access only.

Building Form

- Roofscape is an important element of building design. Green roofs and green walls are encouraged in compliance with the BC Building Code. Roofs may also be developed to provide resident amenity. Open areas of flat roofs shall be finished with pavers or other coloured materials to enhance the view from above. Pitched roofs are required unless a green roof or amenity space incorporating landscaping is provided. Flat roofs shall be designed to enhance the view from adjacent buildings with patterned, textured and/or coloured materials and also include activity areas and or green roofs. Low albedo (light coloured) roofing should be used to the greatest possible extent consistent with appearance from above and avoidance of glare from light reflection for the visual comfort of occupants.
- Ground level and roof areas created by setbacks shall be used as active outdoor space wherever possible, arranged to create 'eyes on the street', and appropriately landscaped.
- Building entrances should be clearly identified by the architecture of the building and include articulation or added elements to provide weather protection.

Exterior Design and Finish

- The main entrance of the building should be clearly identified by the architecture of the building and include such elements as pedestrian awnings, canopies, and building overhangs to provide protection from the weather.
- Exterior finish of buildings shall be high quality to ensure integrity of the building envelope design, and to present an attractive appearance.
- Exterior materials, colours and textures shall be selected and applied in the context of newer residential and mixed use developments as well as overall community character.
- Acceptable wall cladding materials include natural and manufactured stone, brick masonry, wood, fiber cement composite siding and panels, metal, and glass. Vinyl as a secondary material is permitted, however, a variety of cladding orientation, material, design and/or colour shall be used. Stucco cladding materials may also be used, however are discouraged, and may not fill more than 25% of any wall surface.
- Glass elements incorporated into weather protection shall be frosted, or provided with other translucent finish, to maintain acceptable appearance between maintenance cycles.
- Mechanical equipment shall be screened or integrated with the roof form, as viewed from the street or higher buildings, in a manner consistent with the overall architecture of the building.
- To provide visual interest elevations of buildings facing a street shall have architectural details such as roofline height, varied colour treatments, windows, articulation in the building envelope, etc.
- Building elevations that are visible from adjacent roads, municipal greenway or other public spaces shall be designed with the same level of care and attention in terms of character, articulation, fenestration, architectural detail, and material quality.
- All exposed base supports for structures that include signage, amenity features, building appurtenances and other site elements shall be architecturally integrated into the overall site design. Unadorned concrete and metal is not permitted.

Landscaping

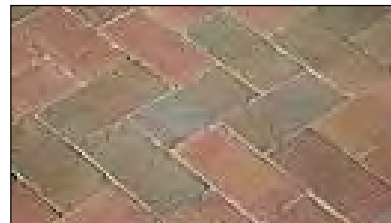
- Significant tree stands and tree corridors shall be incorporated into the development. A Tree Management Plan shall be prepared and submitted in compliance with the Subdivision and Development Servicing Bylaw 2011 No. 4861 (Schedule I – Tree Protection), as amended from time to time.

- Roof top patios shall be landscaped with water and electrical outlets.
- On-site landscaping shall be required to enhance the appearance of the development, screen parking, loading and utility areas, and garbage containers/enclosures from adjacent properties and roadways. Best efforts should be made to appropriately screen all utility boxes and meters.
- A landscape plan shall be prepared by a registered B.C. Landscape Architect.
- Playground facilities shall be provided, in accordance with the Township's Child Friendly Amenity Area requirements, as amended.
- Entrances shall be articulated with appropriate low fencing and high quality features to provide distinction between public and private space.
- Where lots abut municipal property (i.e. environmental area or a park) a black coated chain link fence shall be constructed to municipal standard. If an adequately landscaped buffer (native plant species are encouraged) of at least 2 metres in width is provided on the greenway side of the fence to the acceptance of the Township, other fence types may be used provided they are visually permeable above 122 cm (48 inches) and do not exceed 180cm (6 feet) in total height.
- If security fencing is required for storage areas, black coated chain link fencing screened with hedging material may be used.
- A 5 metre wide landscaping area and a fence shall be provided on multi family properties along abutting lots designated for non residential development (other than municipal greenspace). Fences should be aesthetically designed and reflect adjacent residential building character where applicable.
- The use of perimeter berms (in most circumstances), high fences and security gates is not permitted to provide surveillance and a more pedestrian-friendly street system. Fences adjacent to a public road allowance or a street greenway shall not exceed 122 cm (48 inches) in height. These fences shall complement the building in terms of design character, materials, and colour. Fences must permit observation of the public realm and incorporate landscaping to soften their appearance from the road.
- Landscape materials and design, on development sites and within road right-of-ways and other public spaces, shall be selected in the context of adjacent developments as well as overall community character, all in consultation with the Township.
- Landscape site planning and design shall incorporate both hard and soft materials in support of the principles of CPTED.
- Where fencing or guards are used for life safety purposes or public/private space definition within the landscape, such enclosures shall be as transparent as possible in support of CPTED objectives.
- All retaining walls shall be composed of split face concrete block, natural stone, or patterned cast-in-place concrete. Material selection shall be in the context of, and integrate with similar installations on adjacent properties.
- The public realm shall incorporate street furniture and amenities, heritage artifacts, and public art pieces, to enhance the pedestrian experience and contribute to the character, unity and identity of the neighbourhood.
- The design, materials and finishes of site furniture and pedestrian walkways shall be selected and should be generally consistent throughout the neighbourhood.
- Street and site furniture shall be durable and have a low life-cycle cost; be selected to discourage vandalism and use for skateboard activity; and be designed to meet the needs of a wide range of users including children, seniors, and those with disability.
- On-site utilities shall be architecturally integrated into the development or screened from view through a combination of hard and/or soft landscaping.
- Landscape planting within residential and commercial areas shall use minimum 50% native plantings with appropriate character, and mixed with other non-invasive plants.

- Use of materials such as permeable paving to maximize surface permeability to the greatest extent possible and practical is encouraged.
- The following surface treatments shall be incorporated into on-site hard surfaces and/or walkway design as a substitute for conventional pavement in low traffic areas.
- Porous pavement in areas with low-risk of ground water contamination. Porous pavements may be applied to lanes/access roads, driveways, and low-traffic parking areas.



- Concrete grid / modular pavers in low-traffic areas and may be applied to lanes/access roads, driveways, and low-traffic parking areas, footpaths and bike paths.



- Grass Pave/Grasscrete/Golpha plastic reinforcement products used in conjunction with gravel or grass surfaces.



- Curb cuts may be used to divert runoff from road surfaces into swales or rainwater gardens which contribute to evapotranspiration.



- Multi-use trails shall be incorporated into the development to promote pedestrian and cyclist activity and link to the surrounding trail network.

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Parking Lot Landscaping

- Screen at-grade and structured parking or service areas located within a residential building from the public street through such treatments as soft and hard landscaping elements. Where possible, parking should be integrated into the building structure or provided below grade.
- If surface parking areas are required in multi-unit residential buildings, place them away from public view and not between the public street and the building. Design landscape parking areas so they do not detract from any rear yard amenity space.
- Provide a landscape buffer along the edges of multi-unit residential parking areas, in situations where they are along a public street. Provide breaks in the buffers to connect the sidewalk to walkways on the site. Buffers may include low shrubs, trees, and decorative fences.
- In addition to trees and landscaping around the perimeter of surface parking areas, shade trees and landscaping are required within parking lots as per Section 111 of Zoning Bylaw 1987 No. 2500 Landscape Requirements, as amended from time to time.
- Pedestrian connections should be facilitated throughout the development, including through parking lots, and to adjoining land uses.

Parking and Traffic/Pedestrian Circulation

- Pedestrian connections shall be provided throughout the development, including through parking lots, and to adjoining land uses. Ornamental paving materials (stamped and coloured concrete or better) are required for all pedestrian connections.
- Provision of underground parking is encouraged and shall be designed with CPTED principles. Access to either underground or structured parking should be from a lane if possible.
- Parking shall be provided in enclosed and secured garages attached to individual units or in a secure underground parkade.
- Tandem parking on all end units is not permitted.
- Surface parking should be provided for in a number of smaller areas rather than one large lot, and shall be located primarily in the interior of the site or otherwise screened from view. Surface parking shall integrate landscaping and other design elements to reduce the massing of parking areas. Vehicular entrances to surface parking areas shall be landscaped, not gated, to create a subtle boundary between the semi-private and public areas.
- Private driveway access over greenways should be consolidated and minimized to ensure maximum safety of the users of the greenway. Private driveways accessing arterial roads may be restricted.
- Wheelchair access shall be provided throughout the development.
- Pedestrian connections shall be clearly visible, landscaped, and provided with hard surfaces suitable for older people and wheelchairs.
- Highly detailed paving materials are required along the High Street to indicate such things as storefronts, thru traffic, seating areas, and aesthetic relief areas.



- Without compromising the safety of users, all surface parking shall be visually screened from sub-neighbourhood streets through a combination of building arrangement and landscaping.
- At grade frontage shall be for commercial uses with only the access and egress points visible from the street.
- Vehicular access and egress points shall be combined and the presence and appearance of garage entrances should be designed so that they do not dominate the street frontage of a building.
- Horizontal floor designs are preferred to allow for adaptive reuse. Scissored floor designs are discouraged.
- Garage entrances shall have less prominence than the pedestrian entrances. A separate pedestrian entrance to the garage shall be provided. This may be achieved through:
 - The relative importance of the garage entrance reduced by enhancing the pedestrian entrance.
 - Locating the entry on the side of the facade where it will draw less attention than if it is centered on the facade.
 - Recessing the portion of the facade where the entry is located to help conceal it.
 - Extending portions of the structure over the garage entry to help conceal it.
 - Emphasizing other elements of the facade to reduce the visual prominence of the garage entry.
 - Use of screening and landscaping to soften the appearance of the garage entry from the street.
 - Locating the garage entry where the topography of the site can help conceal it.
- Pedestrian entrances shall be separate from vehicular access points.
- Uses near access and egress points shall include design elements that reduce conflict between uses.
- Ramps to additional levels are to be contained within the structure and screened from view.
- Access and egress points shall have consistent sidewalk texture, colours and material for that portion intersecting with the streetscape.
- Provide separate parking areas for residential and commercial uses.
- The façade shall be architecturally integrated into the building and otherwise screened from view. Green walls and planters may be used in combination with architectural integration for this effect.
- Setbacks from above the second storey shall be incorporated into the design.
- If rooftop parking is provided additional landscaping shall be required consistent with Parking Lot Landscaping. Planters with arbors shall be provided continuously along the parapet.
- Lighting on the exterior (including the roof) shall be consistent with the entire building. Ornamental lighting shall be used on the rooftop parking areas.
- Public and private parking shall be clearly identified through a system of numbering and signage.

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- Underground parking structures shall be planned for the convenience and safety of users; shall have walls and ceilings finished in a light coloured paint for reflectivity; and shall incorporate motion-activated lighting to the greatest extent permitted.
- Adequate secured, sheltered and screened bicycle parking be provided on-site for short term and long term bicycle parking/storage facilities.
 - Short term bicycle parking should be in well-lit locations and clearly visible from a main building entrance and/or public roads with bicycle racks made of sturdy, theft-resistant material that is securely anchored to the floor or ground.
 - Longer term bicycle storage areas provided (secured in a separate room/enclosed area) as part of a parking structure should be located close to elevators and access points.

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4.1.2.4 TOWNHOUSES/ROWHOUSE

These guidelines are in addition to section 4.1.2.3 and apply to all townhouse and rowhouse developments.

Site Design

- Ground-oriented developments shall be designed with continuity in the design with respect to the exterior finishing materials and architectural detailing. Individual or paired units shall be significantly visually differentiated from other adjoining units (i.e. staggering in plan or elevation, varying rooflines, variation in exterior materials, variation in colour treatments, and architectural detailing).
- Developments which include multiple buildings on the same site shall include significant variation in the exterior design, façade, roofline articulation, material and colour of buildings.
- Units shall be oriented towards public roads, street greenways, natural areas, and greenlinks/commons where applicable.
- Scale building height and massing in proportion to open spaces.
- A pedestrian connection shall be provided from each development site to adjacent streets, street greenways, or public spaces. Public, semi-public and private space shall be clearly delineated.
- Tandem parking on end units is not permitted.

Landscaping

- Where there are multiple buildings on a site, buildings should be located to enclose courtyards and other landscaped spaces.

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4.1.2.5 APARTMENTS

These guidelines are in addition to section 4.1.2.3 and apply to all apartment developments.

Architectural Details

- Street facing facades of free-standing apartment buildings shall be designed for a pedestrian scale with the first storey architecturally differentiated from upper floors.
- The apparent mass of a building shall be reduced through roof design, facade articulation and shadowing.
- Incorporate a 'good neighbour' policy by ensuring building heights being stepped or terraced to relate to adjacent buildings.
- Building height and massing shall be in proportion to adjacent open space.

- The main entrance of each apartment building should include an awning, canopy, porte-cochere or other architectural element to provide protection from the weather.
- Orient the main building entrance to the street and provide a secondary building entrance and pedestrian link to adjacent municipal greenspace where applicable.
- Avoid blank or undifferentiated facades.
- Provide weather protection from parking area to front entrance where appropriate.

Landscaping

- Where there are multiple buildings on a site, buildings should be located to provide common space such as courtyards.

Parking and Traffic/Pedestrian Circulation

- Minimize above grade projection of parking structures.
- Provide drop-off areas at grade level near the main building entrance where possible.
- Provide resident parking underground or within the building.



Report of Public information meeting

Project : 20559 86th Ave
Date and time : Nov 14, 2018 – 17:00 to 20:00
Owner : Genaris Properties
Location : Walnut Grove Community Centre

Present at the meeting:

Zorica Andjelic: Planner Township of Langley
Azar Ahmadi: FAA, Architect
Harman Dhillon: Genaris Properties, Owner
Nirvair Singh: Centras, Civil Engineer

A total of five guests attended the meeting. The project was presented by the owner and the consultants. The project was well received and supported by the attendants, especially the effort to retain the green infrastructure and the benefits that the development will bring to the area.

The multiuse pathway and pedestrian trail proposed was also supported as proposed. The overall design of the project and selection of material was appreciated. Four guests presented their written responses, which are attached to this Letter. Most of the questions were raised about the proposed landscaping and building features.

Development information was provided by boards as follow:

Site plan, Statistics, Aerial map and photos, Exterior Finishes, Elevations, Floor plans, Sections, Landscape design, Civil design

Yours Truly,
F.Adab Architects

Open House for 20559 86th Ave, Langley, BC
Comments Form

Name and Contact Info	Comments
Cynthia Hamilton for Willoughby Residents Assn. willoughby.residents.assn@gmail.com	We would ask that you complete the sidewalk part of the project on the east side right to the corner we would like to discuss further.
<div>FOIPPA s 22(1)</div> <div></div>	Great developers, great location.
	Development looks very good, pleased to see that large green space will be preserved.
	EVERYTHING LOOKS GREAT THE BIN7 IS A GREAT IDEA - SAND BARRIA



15 October, 2018

Zorica Andjelic
Development Planner
Township of Langley
20338 65 Avenue
Langley, BC V2Y 3J1

RE: Project: 08-26-0192 / GENARIS PROPERTIES

CIVIC: 20559 - 86 Ave

LEGAL: Lot 31 Section 26 Township 8 NWD Plan 48848

We have reviewed the above proposal. We calculate the approximate number of students generated by this proposal will be as follows:

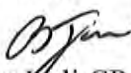
Type of Housing	Number of Units	Elementary K-5	Middle 6-8	Secondary 9-12
Townhouses	18	3	2	2

Given the current school catchments this development would impact Willoughby Elementary, Yorkson Creek Middle School and R.E. Mountain Secondary.

There is currently sufficient capacity within the School District to enroll the students as noted above if the projected numbers were actually seeking admission to schools at the present time. While the School District is committed to making every effort to enroll students at their catchment schools, such may not be possible in all cases.

Please advise if you need any other information.

Yours sincerely,


Brian Keli CPA, CMA
Secretary Treasurer